

**NOTE: THE FOLLOWING DOCUMENTATION  
WAS SUBMITTED FOR THE RECORD BEFORE  
OR AT THE PLANNING COMMISSION HEARING  
ON THIS ITEM WHICH IS NOW APPEARING  
BEFORE THE CITY COUNCIL**



# LESOURD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD, LAS VEGAS, NV 89101

## GENERAL NOTES

1. ALL CONTRACTORS AND SUBCONTRACTORS TO VISIT JOB SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS BEFORE SUBMITTING BIDS AND/OR PROCEEDING WITH ANY WORK.
2. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS. EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.
3. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, LOCAL BUILDING CODES AND ORDINANCES, OSHA AND ALL OTHER APPLICABLE CODES AND ALL OTHER GOVERNING AGENCY REGULATIONS AND JURISDICTION.
5. DIMENSIONS MARKED "CLEAR" INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH DRAWINGS BEFORE PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING OR ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE DESIGNER AND CONSULTING ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CORRECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
7. ALL FINISHES AND MATERIALS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONTRACTOR'S RESPONSIBILITY. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR EXACT MEANING, THE DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.
8. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.
9. ALL BURIED AND EXPOSED PIPING SHALL BE PROTECTED FROM DAMAGE AND SHALL BE PROTECTED FROM DAMAGE AND SHALL BE PROTECTED FROM DAMAGE.
10. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL.
11. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DOOR WORK WITH A MINIMUM OF CUTTING.
12. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKUP PLATES AND SUPPORTING BRACKETS FOR ALL STRUCTURAL MEMBERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
13. CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED.
14. MEASUREMENT AND PAYMENT: WORK SHALL NOT PROCEED BY DESIGNER AND/OR CONTRACTOR IN WHICH HE EXPECTS ACCURACY WITH THE CONTRACTOR'S DIMENSIONS. FOLLOWING COMPLETION OF ALL PROJECT ITEMS, THE CONTRACTOR SHALL SUBMIT A FINAL MEASUREMENT REPORT TO THE DESIGNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
15. SUBMITTALS: ALL SUBMITTALS BY CONTRACTOR OR SUBCONTRACTORS MUST BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION.
16. PUNCHLIST: AT PROJECT COMPLETION, A FINAL PUNCHLIST WILL BE FORWARDED BY THE OWNER AND DESIGNER. UPON COMPLETION OF THE PUNCHLIST, A FINAL PUNCHLIST WILL BE FORWARDED BY THE OWNER AND DESIGNER. UPON COMPLETION OF THE PUNCHLIST, A FINAL PUNCHLIST WILL BE FORWARDED BY THE OWNER AND DESIGNER. UPON COMPLETION OF THE PUNCHLIST, A FINAL PUNCHLIST WILL BE FORWARDED BY THE OWNER AND DESIGNER.
17. SHOP DRAWINGS: SHOP DRAWINGS AND PRODUCT LITERATURE AS REQUIRED, TO BE SUBMITTED TO THE OWNER/ENGINEER FOR APPROVAL.
18. NEITHER THE DESIGNER'S REVIEW NOR APPROVAL OF THE SHOP DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS ON DRAWINGS OR SPECIFICATIONS. NOR SHALL IT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DEVIATIONS FROM ANY PART OF THE SHOP DRAWINGS.
19. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT PERMISSION OF THE STRUCTURAL ENGINEER, UNLESS SPECIFICALLY NOTED OTHERWISE.
20. SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, AND PATCHING AS REQUIRED TO COMPLETE THE WORK. ALL PATCHED SURFACES SHALL MATCH ADJACENT EXISTING AND/OR NEWLY CONSTRUCTED SURFACES.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A MATERIAL WARRANTY AND MAINTENANCE MANUAL FOR ALL EQUIPMENT AND MATERIALS INSTALLED.

## SYMBOL LEGEND

SYMBOL	DETAIL CUT	BUILDING SECTION
	DETAIL CUT	BUILDING SECTION
	WINDOW	DETAIL BURIED
	EXTERIOR ELEVATION	
	BUILDING ELEVATION	
	ROOM NAME AND NUMBER	
	SECTION BURIED	
	DOOR TYPE	
	WINDOW TYPE	
	WALL TYPE	
	CEILING/SOFFIT	
	OUTLINE & CORELINE	
	CORELINE	
	NORTH ARROW	

## ABBREVIATIONS

AC	Asph/Flt	AC	Asph/Flt	AC	Asph/Flt
AD	Asph/Flt	AD	Asph/Flt	AD	Asph/Flt
AE	Asph/Flt	AE	Asph/Flt	AE	Asph/Flt
AF	Asph/Flt	AF	Asph/Flt	AF	Asph/Flt
AG	Asph/Flt	AG	Asph/Flt	AG	Asph/Flt
AH	Asph/Flt	AH	Asph/Flt	AH	Asph/Flt
AI	Asph/Flt	AI	Asph/Flt	AI	Asph/Flt
AJ	Asph/Flt	AJ	Asph/Flt	AJ	Asph/Flt
AK	Asph/Flt	AK	Asph/Flt	AK	Asph/Flt
AL	Asph/Flt	AL	Asph/Flt	AL	Asph/Flt
AM	Asph/Flt	AM	Asph/Flt	AM	Asph/Flt
AN	Asph/Flt	AN	Asph/Flt	AN	Asph/Flt
AO	Asph/Flt	AO	Asph/Flt	AO	Asph/Flt
AP	Asph/Flt	AP	Asph/Flt	AP	Asph/Flt
AQ	Asph/Flt	AQ	Asph/Flt	AQ	Asph/Flt
AR	Asph/Flt	AR	Asph/Flt	AR	Asph/Flt
AS	Asph/Flt	AS	Asph/Flt	AS	Asph/Flt
AT	Asph/Flt	AT	Asph/Flt	AT	Asph/Flt
AV	Asph/Flt	AV	Asph/Flt	AV	Asph/Flt
AW	Asph/Flt	AW	Asph/Flt	AW	Asph/Flt
AX	Asph/Flt	AX	Asph/Flt	AX	Asph/Flt
AY	Asph/Flt	AY	Asph/Flt	AY	Asph/Flt
AZ	Asph/Flt	AZ	Asph/Flt	AZ	Asph/Flt
BA	Asph/Flt	BA	Asph/Flt	BA	Asph/Flt
BB	Asph/Flt	BB	Asph/Flt	BB	Asph/Flt
BC	Asph/Flt	BC	Asph/Flt	BC	Asph/Flt
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BI	Asph/Flt	BI	Asph/Flt	BI	Asph/Flt
BJ	Asph/Flt	BJ	Asph/Flt	BJ	Asph/Flt
BK	Asph/Flt	BK	Asph/Flt	BK	Asph/Flt
BL	Asph/Flt	BL	Asph/Flt	BL	Asph/Flt
BM	Asph/Flt	BM	Asph/Flt	BM	Asph/Flt
BN	Asph/Flt	BN	Asph/Flt	BN	Asph/Flt
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BP	Asph/Flt	BP	Asph/Flt	BP	Asph/Flt
BQ	Asph/Flt	BQ	Asph/Flt	BQ	Asph/Flt
BR	Asph/Flt	BR	Asph/Flt	BR	Asph/Flt
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BV	Asph/Flt	BV	Asph/Flt	BV	Asph/Flt
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HQ	Asph/Flt	HQ	Asph/Flt	HQ	Asph/Flt

[illegible]

DATE	12/15/2022
DRAWN BY	J. WOOD TEHRANI
CHECKED BY:	
SCALE	As Noted
PROJECT NO.	2023-000-62
PERMIT NO.	

1994



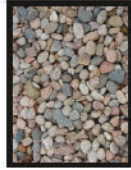
1 OVERALL NEW SITE PLAN  
SCALE: 1/8"=10'





23-0178  
06/01/2023

LANDSCAPE LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	GRASS
[Symbol]	FLORAL BEDDING
[Symbol]	PAVING - ASPHALT/CONCRETE



RIVERROCK SAMPLE



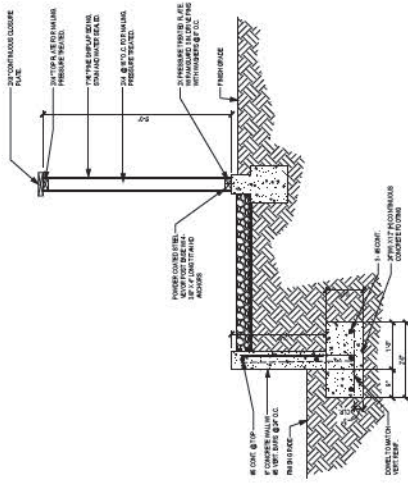
QUEEN PALM SAMPLE



SAMPLE LOOK OF PROPERTY FENCE

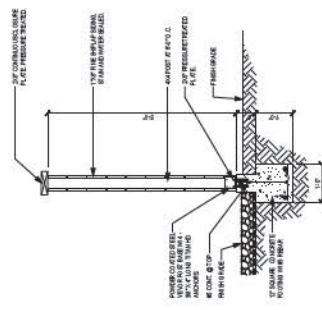
## 8 SITE DESIGN IDEAS

SCALE: N.T.S.



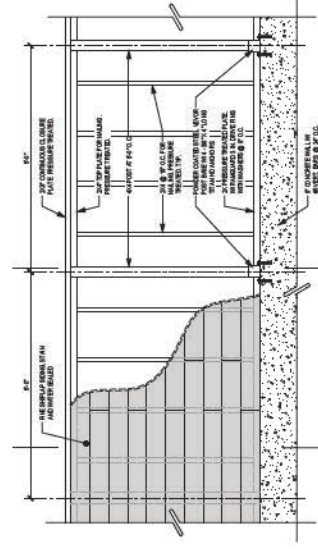
7 TYPICAL FENCE FRAMING DETAIL

SCALE: 3/4"=1'-0"



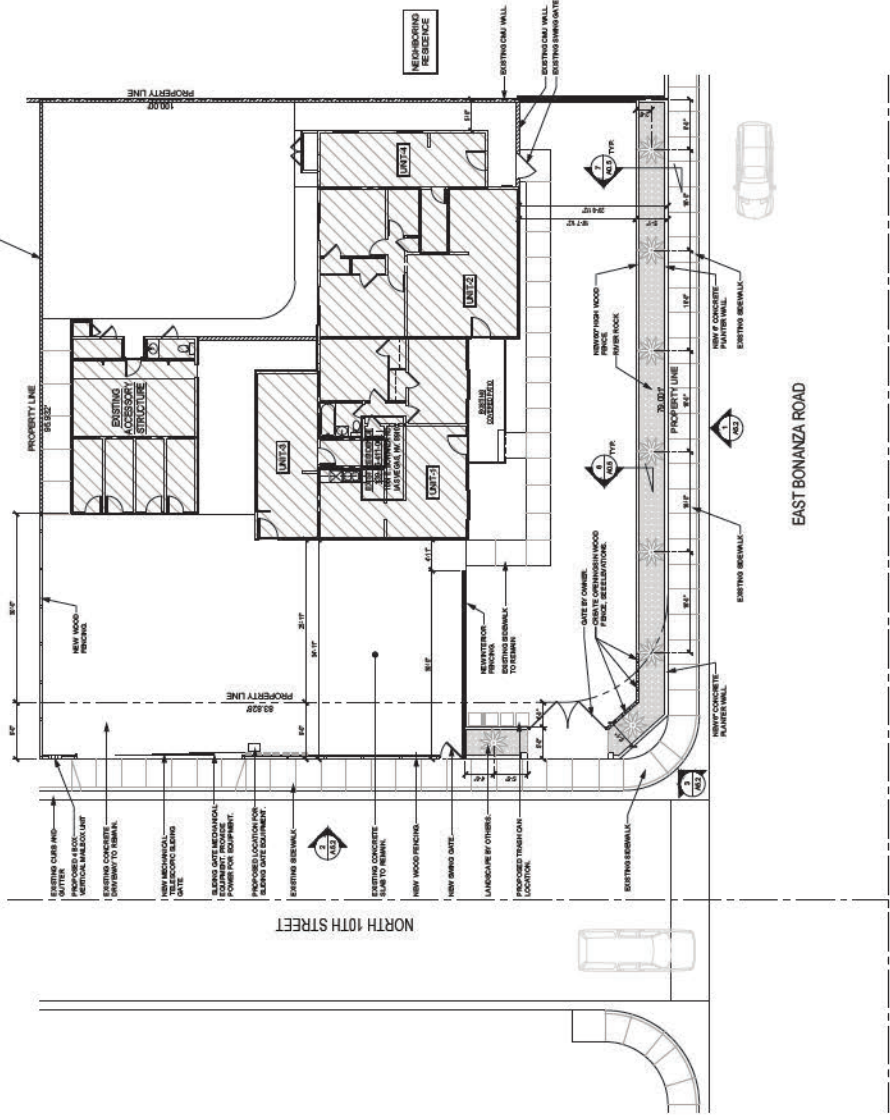
6 TYPICAL FENCE POST DETAIL

SCALE: 3/4"=1'-0"



5 TYPICAL FENCE ELEVATION DETAIL

SCALE: 3/4"=1'-0"



1 OVERALL NEW SITE PLAN

SCALE: 1/8"=1'-0"

## SITE FENCE / LANDSCAPE PLAN, AND DETAILS

## LESOURD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD.  
LAS VEGAS, NV 89101

DATE	07/20/2022
DESIGNED BY	J. P. T. T.
CHECKED BY	J. P. T. T.
SCALE	AS SHOWN
PROJECT NO.	23-0178
CLIENT NO.	23-0178

A0.6

SHEET NO.



ISSUE	DATE	BY
Issued for client approval		
Issued for bidding		
Issued for plan check		
Issued for construction		

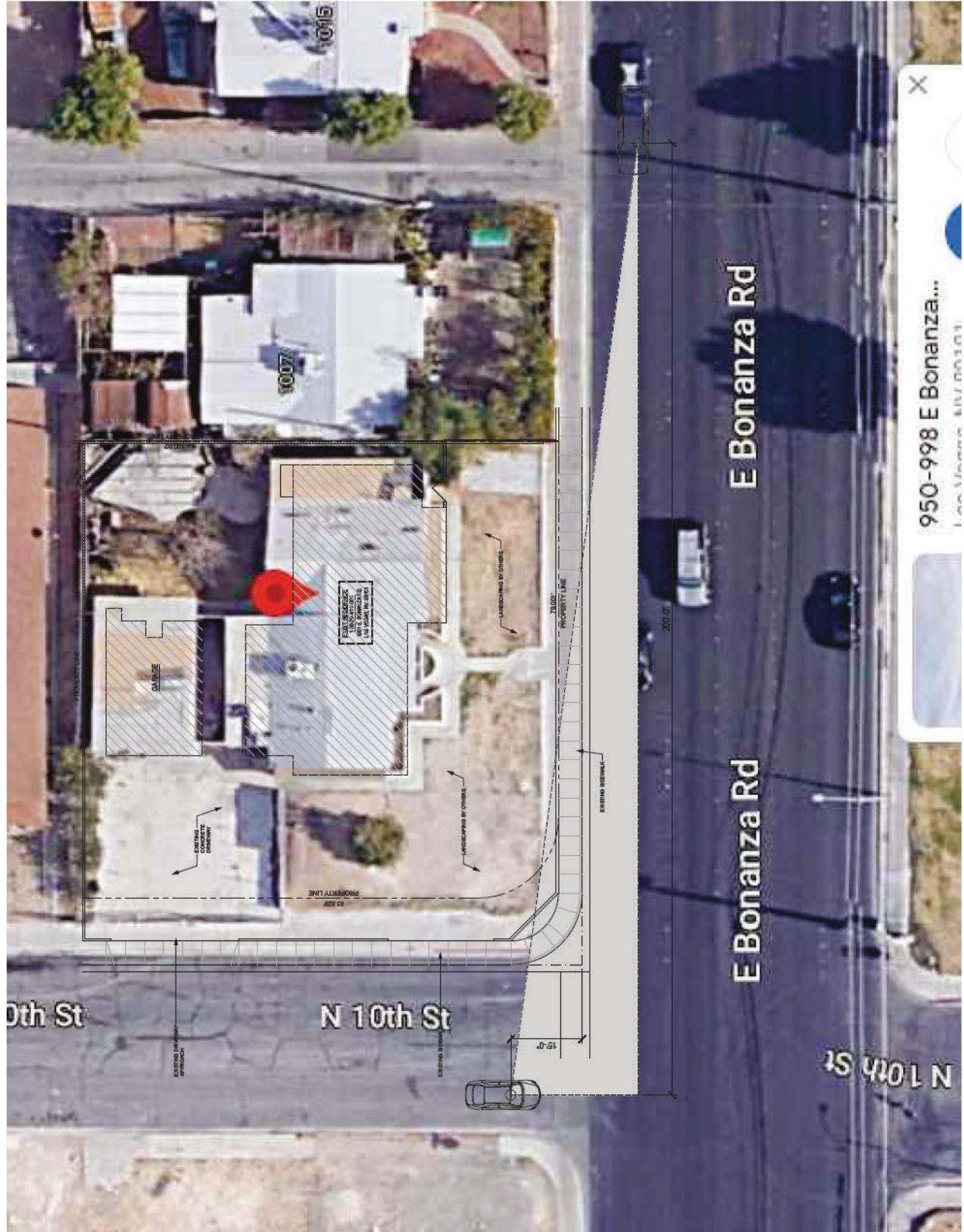
  

REVISIONS	DATE	BY

## SITE VISIBILITY PLAN

DATE	12/15/00
DRAWN BY	J. WOOTEN
CHECKED BY	
SCALE	As Noted
PROJECT NO.	2023.000.02
PERMIT NO.	

## AO.7



1 SITE VISIBILITY PLAN  
SCALE: 1/8" = 1'-0"





**DEMO NOTES:**

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS, NV.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS, NV.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS, NV.
4. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS, NV.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS, NV.
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9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS, NV.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS, NV.

**DEMOLITION KEY NOTES:**

1. DEMOLITION OF EXISTING STRUCTURE.
2. DEMOLITION OF EXISTING STRUCTURE.
3. DEMOLITION OF EXISTING STRUCTURE.
4. DEMOLITION OF EXISTING STRUCTURE.
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10. DEMOLITION OF EXISTING STRUCTURE.

**DEMOLITION KEY NOTES:**

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2. DEMOLITION OF EXISTING STRUCTURE.
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10. DEMOLITION OF EXISTING STRUCTURE.

# OVERALL DEMOLITION PLAN

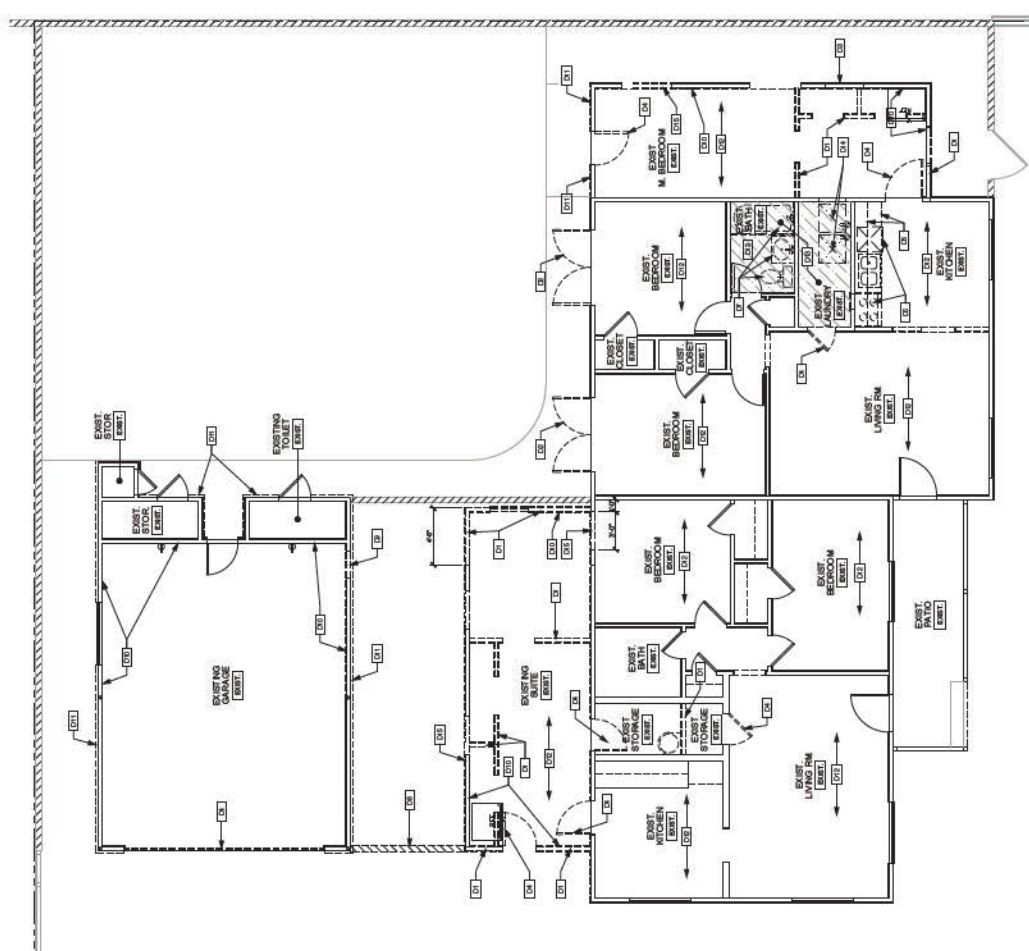
## LESOURD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD.  
LAS VEGAS, NV 89101

DATE	05/20/2022
DESIGNED BY	J. W. W. W.
CHECKED BY	J. W. W. W.
SCALE	AS SHOWN
PROJECT NO.	20200002
DRAWN BY	J. W. W. W.

**A1.0**

SHEET NO.



1 OVERALL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"





DATE	DATE
PROJECT NO.	PROJECT NO.
DESIGNED BY	DESIGNED BY
CHECKED BY	CHECKED BY
IN CHARGE	IN CHARGE
APPROVED BY	APPROVED BY
DATE	DATE

OVERALL REFLECTIVE CEILING PLAN  
& SLAB PLAN  
LESOURD RESIDENCE REMODEL  
AND ADDITION

1001 E BONANZA RD.  
LAS VEGAS, NV 89101

DATE	DATE
PROJECT NO.	PROJECT NO.
SCALE	SCALE
INCHES	INCHES
FEET	FEET

A2.1

SHEET NO.

GENERAL NOTES

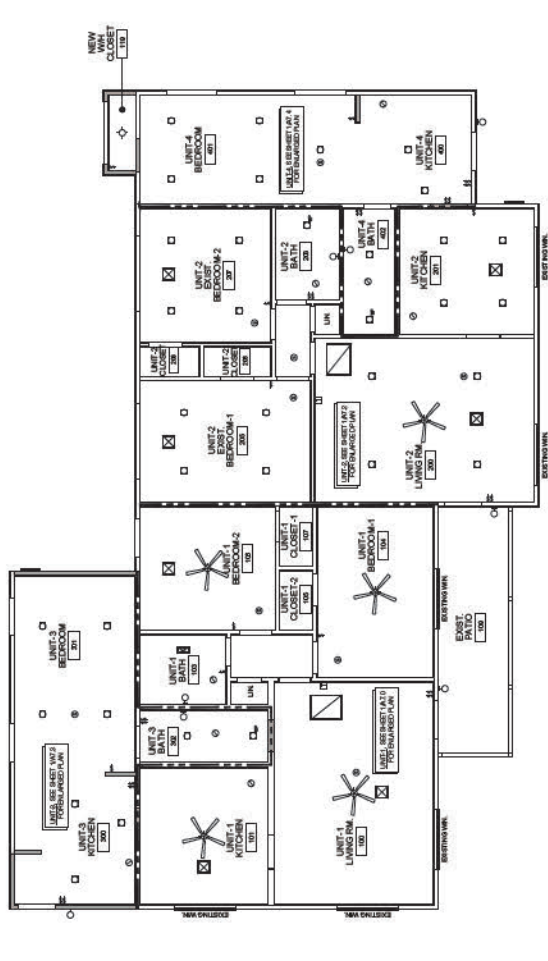
1. ALL DIMENSIONS INDICATED ON THIS SHEET ARE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COORDINATE ALL WORK ON EXISTING STRUCTURE WITH THE ARCHITECT'S INTENT AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURE.

SLAB PLAN KEY

1	NEW CONCRETE SLAB
2	EXISTING CONCRETE SLAB
3	REMOVE EXISTING SLAB
4	REMOVE EXISTING SLAB
5	REMOVE EXISTING SLAB
6	REMOVE EXISTING SLAB
7	REMOVE EXISTING SLAB
8	REMOVE EXISTING SLAB
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100	REMOVE EXISTING SLAB

SLAB PLAN LEGEND	
1	EXISTING FLOOR
2	NEW FLOOR TO BE CONSTRUCTED TO BE NEW
3	REMOVE EXISTING FLOOR
4	REMOVE EXISTING FLOOR
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2 SLAB PLAN  
SCALE: 1/4"=1'-0"



1 OVERALL REFLECTIVE CEILING PLAN  
SCALE: 1/4"=1'-0"





1001 E BONANZA RD,  
LAS VEGAS, NV 89101

DATE	12/15/2022
PREPARED BY	J. WOOTEN
CHECKED BY	
SCALE	As Noted
PROJECT NO.	20221000162
DRAWING NO.	162-1000162-1

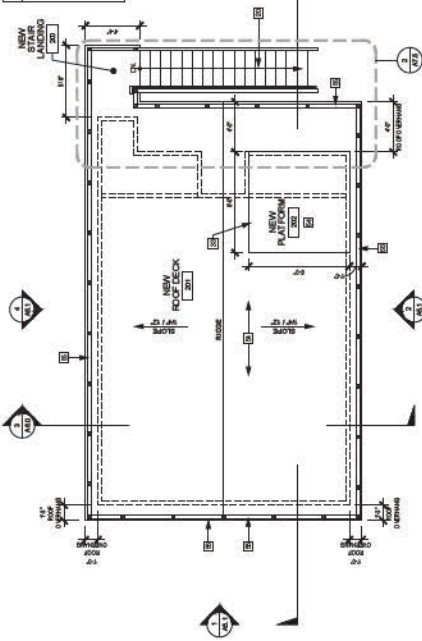
### A3.0

CONCLUSIONS

[illegible]

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GENERAL ROOF NOTES	
1.	ROOFING SHALL MATCH EXISTING OR OWNER SHALL SPECIFY
2.	AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, FLASHING AND COUPLERS, AIRING SHALL BE PROTECTED. FINISH OF ROOF SHALL MATCH EXISTING. FLASHING SHALL BE OF ROOFING MATERIAL NOT LESS THAN 30 GAUGE 100% GALVANIZED STEEL (OR EQL) CORROSION RESISTANT METAL. (F.B.O. SEC. 1009)

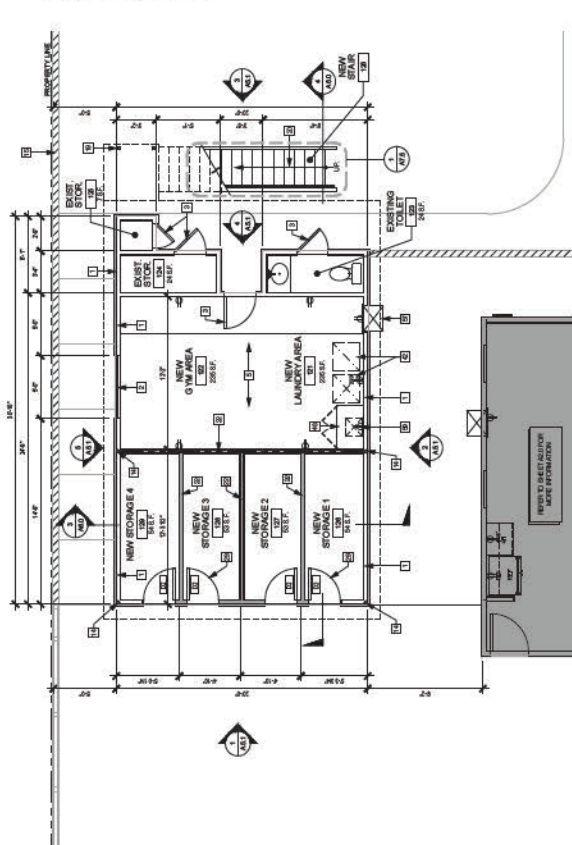


2 DETACHED GARAGE - OVERALL ROOF PLAN  
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE:		
ITEM NO.	ITEM	DESCRIPTION
①	8" x 11" x 11"	WALL BRACKET (WALL BRACKET) 8" x 11" x 11"
②	8" x 11" x 11"	WALL BRACKET (WALL BRACKET) 8" x 11" x 11"

DOOR SCHEDULE:		
ITEM NO.	ITEM	DESCRIPTION
①	8" x 11" x 11"	WALL BRACKET (WALL BRACKET) 8" x 11" x 11"
②	8" x 11" x 11"	WALL BRACKET (WALL BRACKET) 8" x 11" x 11"
③	8" x 11" x 11"	WALL BRACKET (WALL BRACKET) 8" x 11" x 11"
④	8" x 11" x 11"	WALL BRACKET (WALL BRACKET) 8" x 11" x 11"



1 DETACHED GARAGE - OVERALL FLOOR PLAN  
SCALE: 1/4" = 1'-0"













23-0178  
06/01/2023



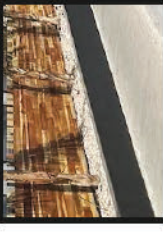
SAMPLE LOOK OF PROPERTY FENCE



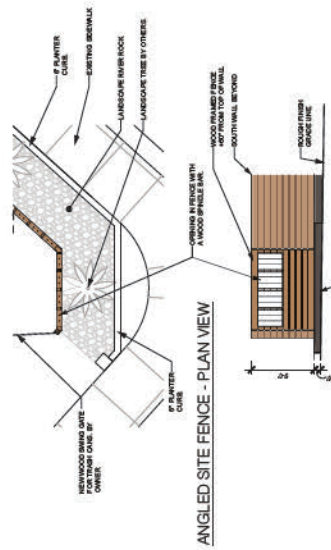
QUEEN PALM SAMPLE



RIVERROCK SAMPLE

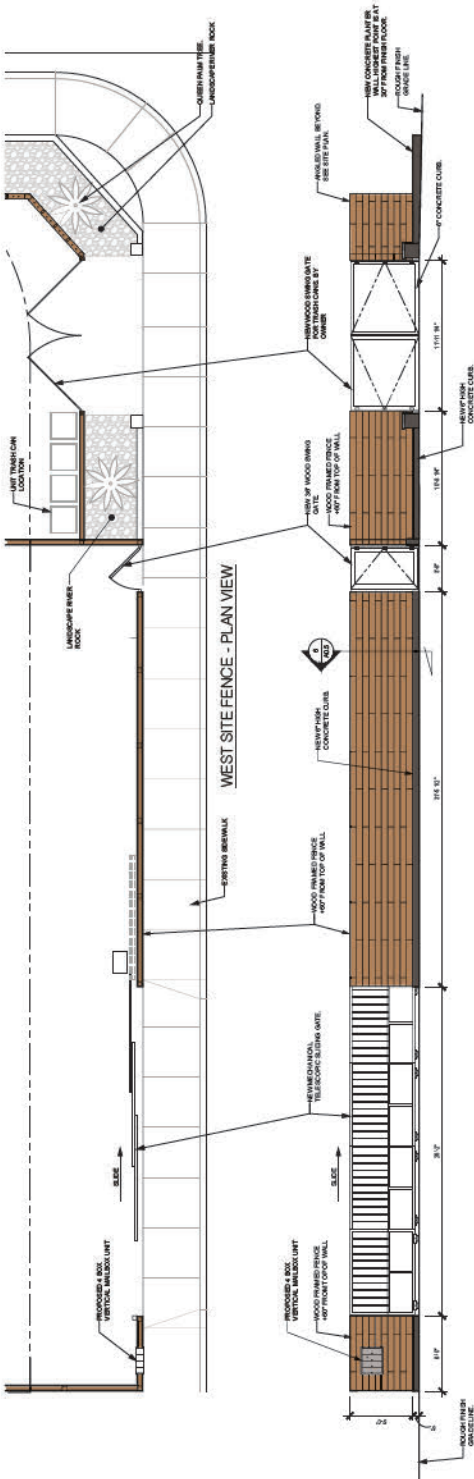


WOOD PLANK SAMPLE



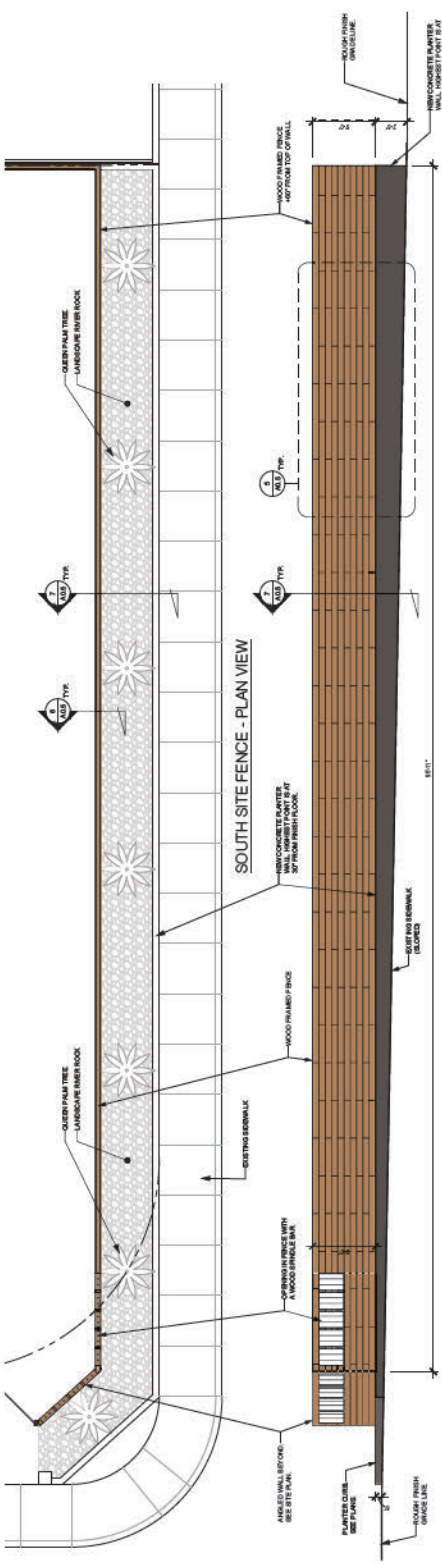
ANGLED SITE FENCE - PLAN VIEW

3 ANGLED PROPERTY FENCE ELEVATION  
SCALE: 1/8"=1'-0"



WEST SITE FENCE - PLAN VIEW

2 OVERALL WEST PROPERTY FENCE ELEVATION  
SCALE: 1/8"=1'-0"



SOUTH SITE FENCE - PLAN VIEW

1 OVERALL SOUTH PROPERTY FENCE ELEVATION  
SCALE: 1/8"=1'-0"

SITE GATE ELEVATIONS  
LESOURD RESIDENCE REMODEL  
AND ADDITION

1001 E BONANZA RD.  
LAS VEGAS, NV 89101

DATE	12/15/2022
TOWN/STATE	CLARK COUNTY, NV
CHECKED BY	KEVIN STINSON
SCALE	AS SHOWN
PROJECT NO.	23-0178
DRAWN BY	KEVIN STINSON

A5.2

SHEET NO.





















# ENLARGED STAIR PLANS AND SECTION LESSORD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD.  
LAS VEGAS, NV 89101

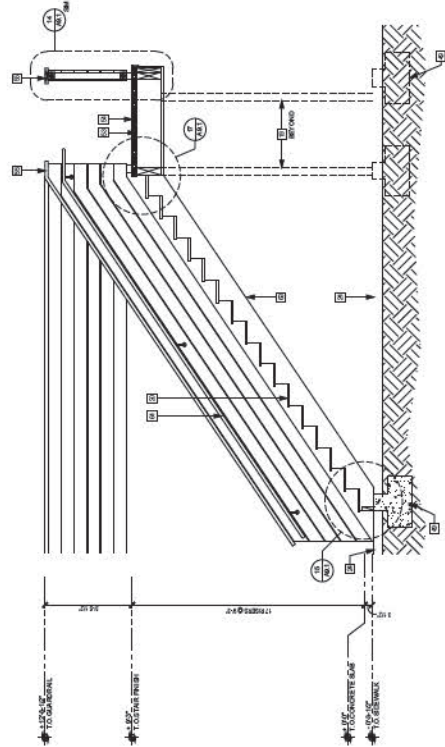
DATE	12/20/2022
DESIGNED BY	J. W. T. T.
CHECKED BY	
SCALE	AS SHOWN
PROJECT NO.	20220002
DRAWN BY	

A7.5

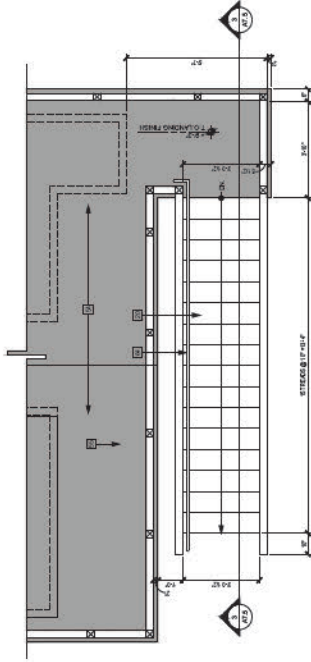
SHEET NO.

## KEYNOTES:

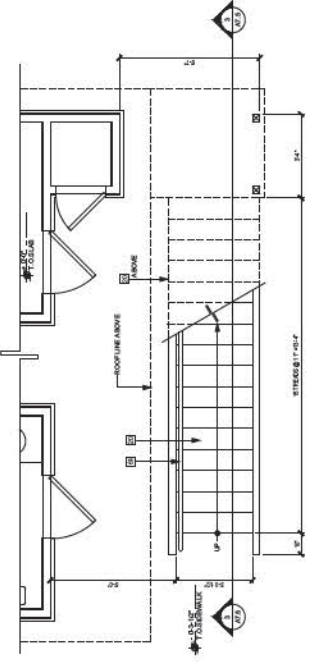
1. SETTING 3" THICK WALLS TO REMAIN.
2. SETTING REWORK TO REMAIN.
3. SETTING BASED FLOOR SYSTEM WITH OVER TWO INCHES SETTING TO REMAIN.
4. SETTING CONCRETE SLAB ON GRADE.
5. SETTING ROOF FLOOR JOIST TO REMAIN.
6. SETTING ROOF FLOOR JOIST TO REMAIN.
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100. SETTING ROOF FLOOR JOIST TO REMAIN.



3 STAIR SECTION  
SCALE: 1/2" = 1'-0"



2 ENLARGED 2ND FLOOR STAIR PLAN  
SCALE: 1/32" = 1'-0"



1 ENLARGED 1ST FLOOR STAIR PLAN  
SCALE: 1/32" = 1'-0"



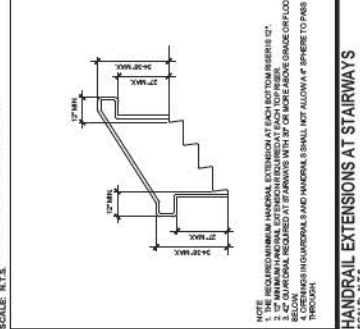
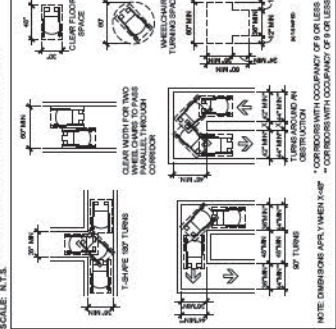
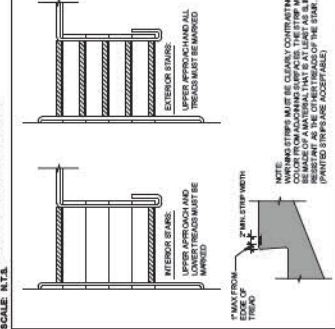
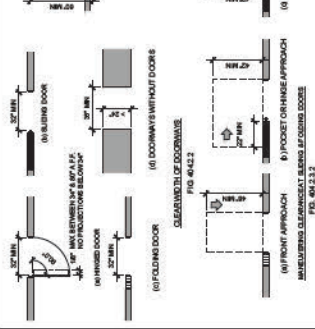
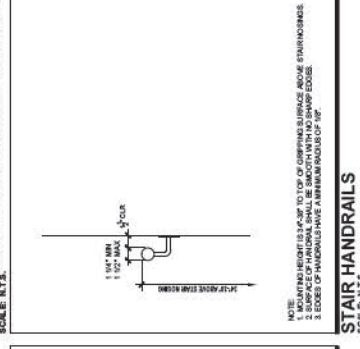
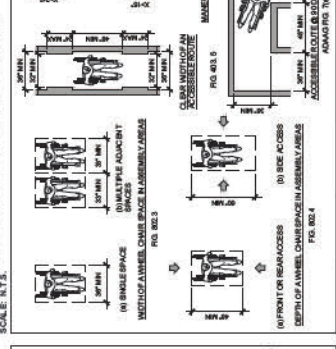
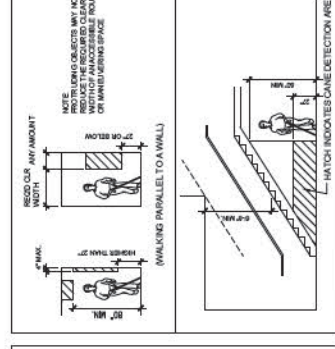
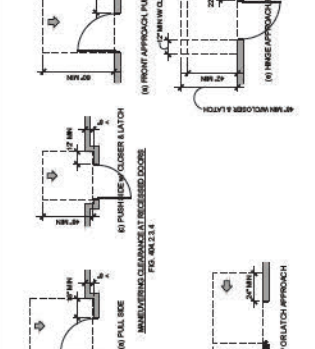
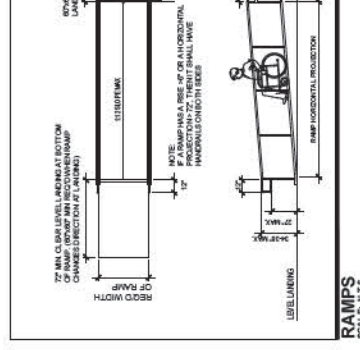
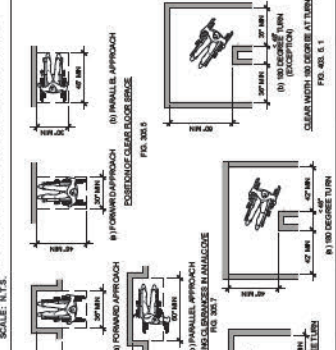
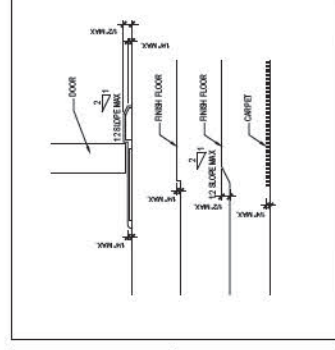
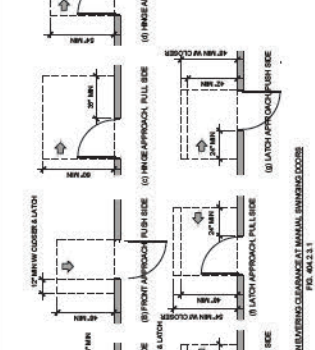
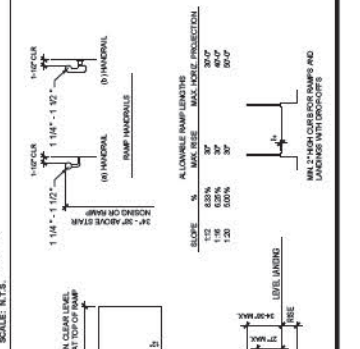
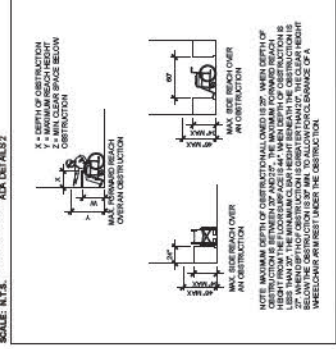
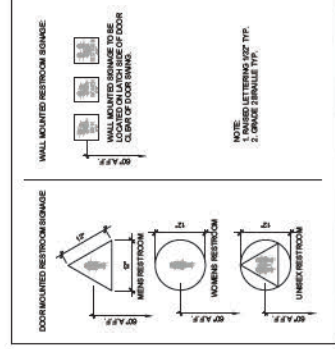
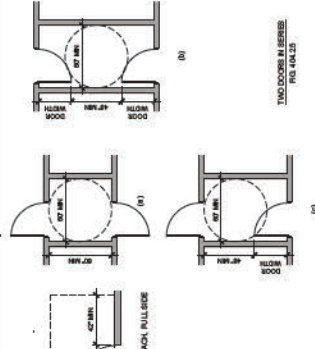
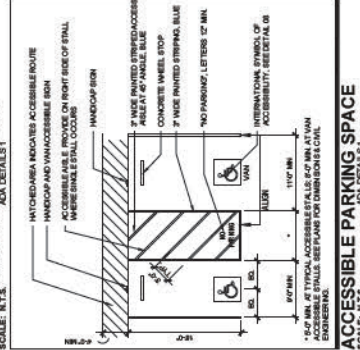
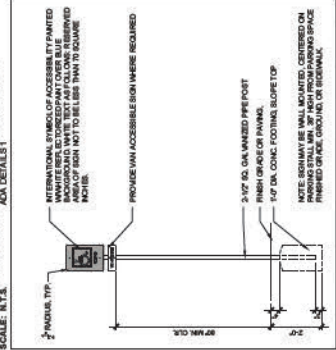
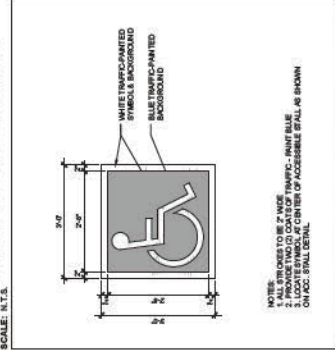
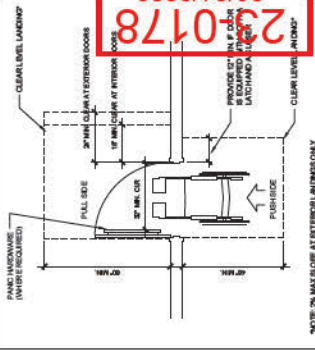








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06/01/2023





**COUNTER SLOPE OF SURFACES ADJACENT TO CURB RAMES.**  
FIG. 40d.2

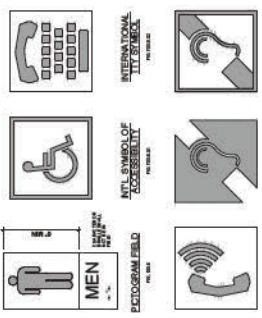
## ADA DETAILS 1

INTERNATIONAL SYMBOL OF  
ACCESSIBILITY SIGNICAD AT  
BUILDING ENTRANCE

PERMANENT ROOMS AND SPACES: SIGNAGE, MECHANICAL ROOMS, ELEVATOR MACHINE ROOMS, SPRINKLER RISER ROOMS, STORAGE ROOMS, ELECTRICAL CLOSETS, JANITOR CLOSETS, TELEDATA ROOMS, ETC.

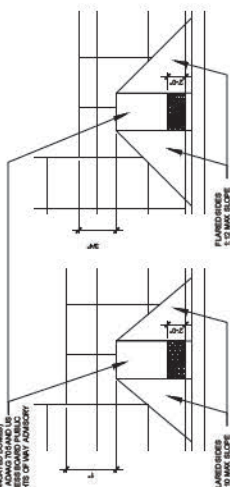
NOTE:  
1. LETTERS AND NUMERALS ARE IN BOLD 102" TYP.  
2. PUNCTUATION CHARACTERS, ACCOMPANIED BY  
3. 2" NUMERALS.  
4. NUMERALS AND CHARACTERS ARE 58" TO 2"  
5. MOUNTING HEIGHT IS 58" FROM FINISH FLOOR  
6. TO CENTERLINE OF SIGN  
7. MOUNTED TO WALL ADJACENT TO LATCH SIDE  
8. OF DOOR.

## ADA DETAILS 2



1000

DETECTABLE WARNING  
ON WALKING SURFACES  
(TRUNCATED CONES)  
PER ADAAG 705 AND US  
ACCESS BOARD PUBLIC  
RIGHTS OF WAY ADVISORY



**VOLUME 1**

**CURB SL**  
SCALE: N.T.S.

ADA TYPICAL DETAILS

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LESOURD RESIDENCE REMODEL  
AND ADDITION

1001 E BONANZA RD,  
LAS VEGAS, NV 89101

DATE:	12/15/2022
DRAWN BY:	J. WOOTEN
CHECKED BY:	
SCALE	As Noted
PROJECT NO.	2023.0006
PERMIT NO.	

## A10.1

DATE RECEIVED