



DEPARTMENT OF PLANNING

Application / Petition Form & Statement of Financial Interest

Department Use

Case #
Meeting Date
Total Fee
Received By/Date

Case Type (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Site Development Plan Review & Waiver

Project Address (Location) 5249 Ricky Rd.

Project Name Ricky & Bonn **Proposed Use** Commercial Building

Assessor's Parcel #(s) 138-12-810-012 **Ward #** 5

General Plan: Existing GC Proposed GC **Zoning:** Existing C-2 Proposed C-2

Additional Information _____

Property Owner PIERRO'S LANDSCAPE & MAINTENANCE, LLC. **Contact** Aaron Pierro

Address 5852 Thai Coast Street **City** Las Vegas **State** NV **Zip** 89130

E-mail aaron@pierroslandscape.com **Phone** (702)205-9458

Applicant PIERRO'S LANDSCAPE & MAINTENANCE LLC **Contact** Dustin Manning

Address 4538 West Craig Rd. Ste 250 **City** N. Las Vegas **State** NV **Zip** 89032

E-mail dmanning446@gmail.com **Phone** 702-493-0031

Representative Taney Engineering **Contact** Emily Sidebottom

Address 6030 S. Jones Blvd. **City** Las Vegas **State** NV **Zip** 89118

E-mail emilys@taneycorp.com **Phone** 702-362-8844

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official _____ **Partner(s)** _____

Partner(s) _____

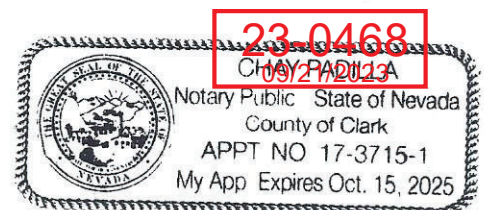
- I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

Property Owner Signature _____
An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

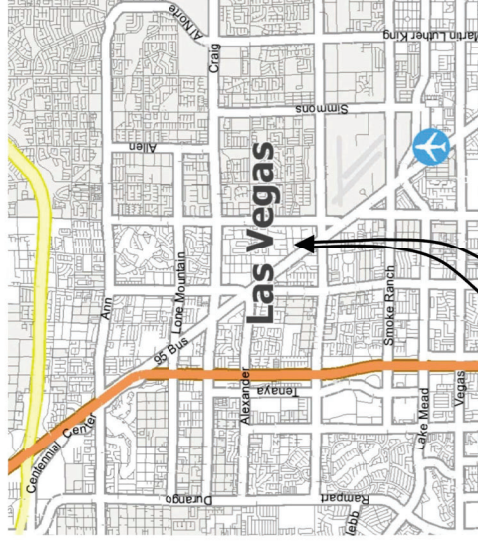
Print Name AARON PIERRO
State of Nevada County of Clark
Subscribed and sworn before me

This 17 day of August, 20 23

Notary Public in and for said County and State



5249 RICKY ROAD
LAS VEGAS, NV 89130



VICINITY MAP

COVER SHEET

5249 RICKY RD.
LAS VEGAS, NV 89130

Design by:

PIERRO'S LANDSCAPE

Phone Number: 702-494-8479
E-mail: Pierro'sLandscape.com
Lic # 0080739 Bid Limit \$650,000

1 REV 1 10/16/2023



CONTRACTORS SIGNATURE:
These plans are prepared and submitted by the contractor as an exemption to 105 623.250 for work under the contractor license category authorized under 88S 634.0. Those plans are property of Perry's Landscape & Maintenance, LLC. Unauthorized use by others is prohibited.

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10/17/2023

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LP-0

10-16-2023

LANDSCAPE NOTES:

1. PLANT AND HARDSCAPE MATERIAL NOT TO EXCEED 24" IN SIZE ZONES.

2. ANY TREE WITHIN 5 FEET OF REQUIRED PERIMETER WALL, SIDEWALK, STREET, OR PUBLIC UTILITY EASEMENT ADJACENT TO A DRIVEWAY SHALL BE PROTECTED WITH A 2" DIA. SHIELD (CONCRETE OR METAL) AND SHALL BE MAINTAINED TO A DEEP ROOT IRRIGATION SYSTEM.

3. DECORATIVE GRANITE GROUND COVER 3/4" SCREENED, COLOR CAPPUCCINO, 2" DEPTH TYPICAL IN ALL PLANTING BEDS.

4. ALL PLANT MATERIAL SHALL BE SPECIFIED BY COMMON NAME, SCIENTIFIC NAME, AND PLANTING DATE.

5. THE DATA INDICATED ON THE DRAWING AND IN THESE SPECIFICATIONS ARE EXACT AS COULD BE SECURED, BUT THEIR ABSOLUTE ACCURACY IS NOT GUARANTEED. DATA LOCATIONS, DISTANCE LEVELS, AND OTHERS WILL BE COVERED BY THE CONTRACTOR'S OBLIGATION TO OBTAIN NECESSARY PERMISSIONS AND SECURE THE OWNERS APPROVAL OF ALL CHANGES IN ADVANCE.

6. ALL WORK MATERIAL, METHODS, etc. SHALL CONFORM TO APPLICABLE CODES OR ORDINANCES.

7. CONTRACTOR OR SUB-CONTRACTOR CONVEYANCE OR ALL TRADES SHALL NOTIFY BUILDING OWNERS OR GENERAL CONTRACTOR OF ANY CONFLICT BETWEEN DRAWING AND SCOPE OF WORK PRIOR TO COMMENCING WORK.

8. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE IN THESE DOCUMENTS.

PIERRO'S LANDSCAPE

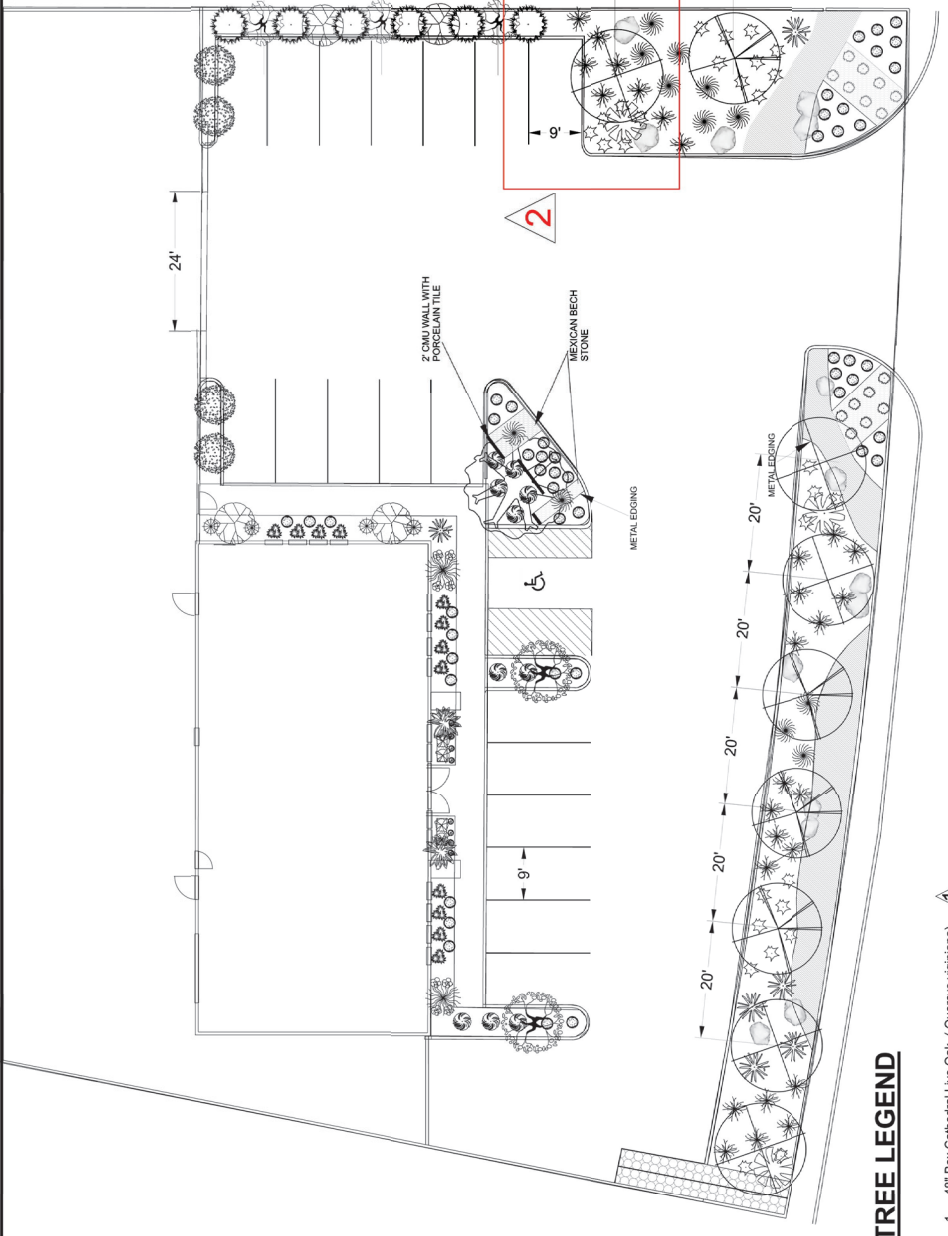
DESIGN, IMPROVE, MAINTAIN

Design by:

4538 W Craig Rd Suite #250
North Las Vegas, NV 89032
E-mail: PIERRO'SLANDSCAPE.com
Lic # 0080739 Bid Limit \$650,000
Phone Number: 702-494-8479

LANDSCAPE PLAN

5249 RICKY RD.
LAS VEGAS, NV 89130



TOTAL LANDSCAPE AREA: 5,048 SQ
REQUIRED COVERAGE: 50 % = 2,524 SQ
COVERAGE PROVIDED: 2,661 SQ

ARTIFICIAL TURF 95 OZ

MEXICAN BEACH STONE

3/4" CAPPUCCINO ROCK

GLD BOULDERS 3' X 4'

TREE LEGEND

- 1. 48" Box Cathedral Live Oak (Quercus virginiana)
- 2. 36" Box STD Fruitless Olive (Olea europaea 'Wilsonii')
- 5. 36" Box Red Push Pistache (Pistacia x 'Red Push')
- 4. 36" Box Multi Fruitless Olive (Olea europaea 'Wilsonii')
- 3. 36" Box Mastic Tree (Pistacia lentiscus)
- 3. 30 Gal Sago Palm (Cycas revoluta)
- 4. 24" Grape Myrtle (Lagerstroemia indica)
- 2. 24" Box Spanish Bayonet (Yucca aloifolia)
- 2. 24" Box Beaked Yucca (Yucca rostrata)
- 6. 24" Box Japanese Blueberry (Elaeagnus sylvestris)
- 7. 15 Gal Variegated Agave (Agave angustifolia)
- 12. 15 Gal Weber Agave (Agave weberi)
- 4. 15 Gal Staked Pyracantha (Pyracantha sp.)

PLANT LEGEND

- 4. 20 Gal Agave (Agave Blue Flame)
- 15. 20 Gal Artichoke Agave (A.n. var. truncata)
- 48. 5 Gal Germander (Teucrium chamaedrys)
- 28. 5 Gal Regal Mist Muhly Grass (Muhlenbergia capillaris)
- 20. 5 Gal Red Carpet Rose (Rose sp.)
- 4. 5 Gal New Gold Lantana (Lantana Bush)
- 29. 5 Gal Dwarf Pampas Grass (C.s. Pumila)
- 8. 5 Gal Coral Fountain (Russelia equisetiformis)

- 12. 5 Gal Lady Slipper (Euphorbia ionnelli)
- 8. 3 Gal Blue Fescue (Festuca ovina)

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10/17/2023

CONTRACTORS SIGNATURE:

PIERRO'S LANDSCAPE

DATE: 10/17/2023

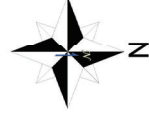


Scale: 1" = 10'

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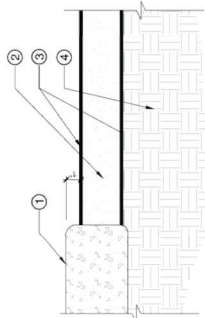
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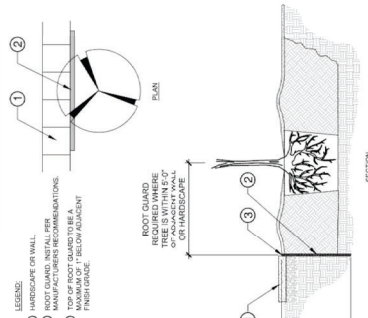
Scale: 1" = 10'

A DECORATIVE ROCK



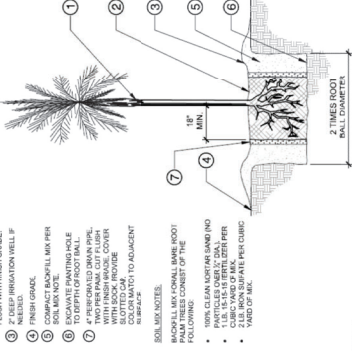
- 1 CURB OR SIDEWALK (WHERE OCCURS)
- 2 2" (50 mm) ROCK AFTER ANS
- 3 2" (50 mm) ROCK AFTER ANS FOR PROLIM. SIZE AND DEPTH
- 4 2" (50 mm) POLYMER-REINFORCED, ABOVE AND BELOW CRUSHED ROCK
- 5 COMPACT SUBGRADE TO 8%
- 6 CRUSHED ROCK

F ROOT GUARD



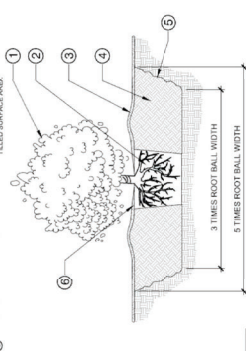
-
- LEGEND:**
- ① HARDSCAPE OR WALL.
 - ② ROOT GUARD. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
 - ③ TOP OF ROOT GUARD TO BE A MAXIMUM OF 1" BELOW ADJACENT

F PALM PLANTING



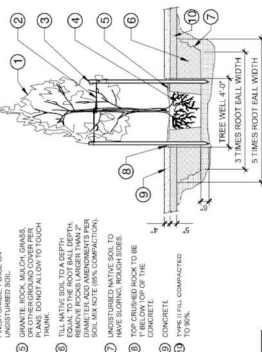
-
- 10** PALM TRUNK
- 9** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 8** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 7** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 6** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 5** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 4** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 3** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 2** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM
- 1** PALM FROND TO BE TIED TO A MINIMUM OF 60 CM

B SHRUB PLANTING



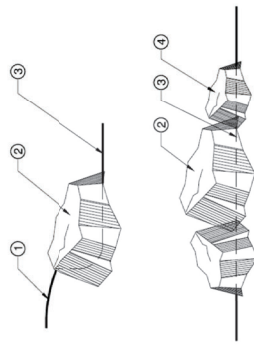
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C TREE PLANTING



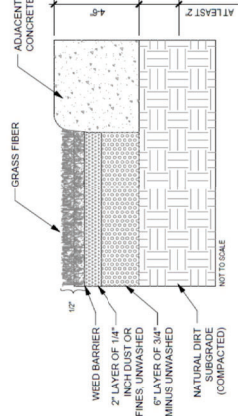
1. BACK FILL FOR ALL TREES, SHRUBS, VINES AND OTHER CONTAINER PLANT MATERIAL OTHER THAN TREES.
2. BACK FILL TO THE TOP OF THE PLANTING HOLE AND THE TILLED NESTLE OF THE FOLLOWING:
 - a. 1/2 YD. (18 IN.) OR GREATER SOIL NO. PARTICLE SIZE.
 - b. 1 PART BY VOLUME ORGANIC SOIL AMENDMENT.
3. AFTER PLANT INSTALLATION, EVENLY BROADCAST THE FOLLOWING AMENDMENTS TO THE TILLED NESTLE AND THE TOP OF THE PLANTING HOLE OF THE PLANT AND WORK TO THE TOP OF THE PLANTING HOLE:
 - a. 1 LB. 15-15-15 FERTILIZER PER 25 SQ. FT. OF TILLED NESTLE.
 - b. 1 LB. NON-ANALYSED A 15-50-15 OF TILLED SURFACE AREA.
4. TREE PERI-PAN, REMOVE.
5. NURSERY STAKE, BENDABLE.
6. 1/2 GAL. GUANIDINE WET TIES WITH 1/2 GAL. GUANIDINE JOSE AT 1/2 GAL. GUANIDINE JOSE ONLY WHEN NEEDED.
7. 2" DIAMETER WOOD STAKES, USE ONLY WHEN NEEDED, CUT OFF TOP OF STAKE 18" OR ON TOP OF BRANCH.
8. ROOT BALL SCORE BORDS WITH 1/2" GAL. GUANIDINE JOSE AT 1/2 GAL. GUANIDINE JOSE ONLY WHEN NEEDED, CUT OFF TOP OF ROOT BALL.
9. FLUSH WITH OR FLUSH BAY.

BOULDER PLACEMENT



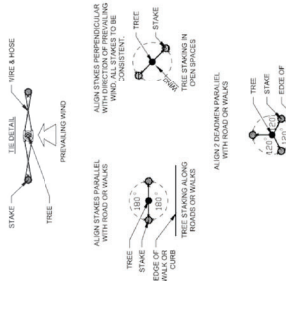
- LEGEND:**
- 1 FINISH GRADE WHERE BOULDER REMAINS GRADE.
 - 2 BOULDER.
 - 3 FINISH GRADE.
 - 4 BOULDERS SHOWN IN A GROUP ARE TO BE PLACED TOUCHING EACH OTHER IN A
- NOTE:** FINISH BOULDERS SUCH THAT 1/4 OF THE TOTAL MASS OF EACH BOULDER IS BELOW FINISH GRADE.

SYNTHETIC TIRE



-

D TREE STAKING



- NOTES:
- A. STAKE TREES ONLY WHEN NEEDED
 - B. LOOSEN WIRE TIES AS TREE GROWS.
 - C. REMOVE STAKES AS SOON AS POSSIBLE.

DOOR SCHEDULE

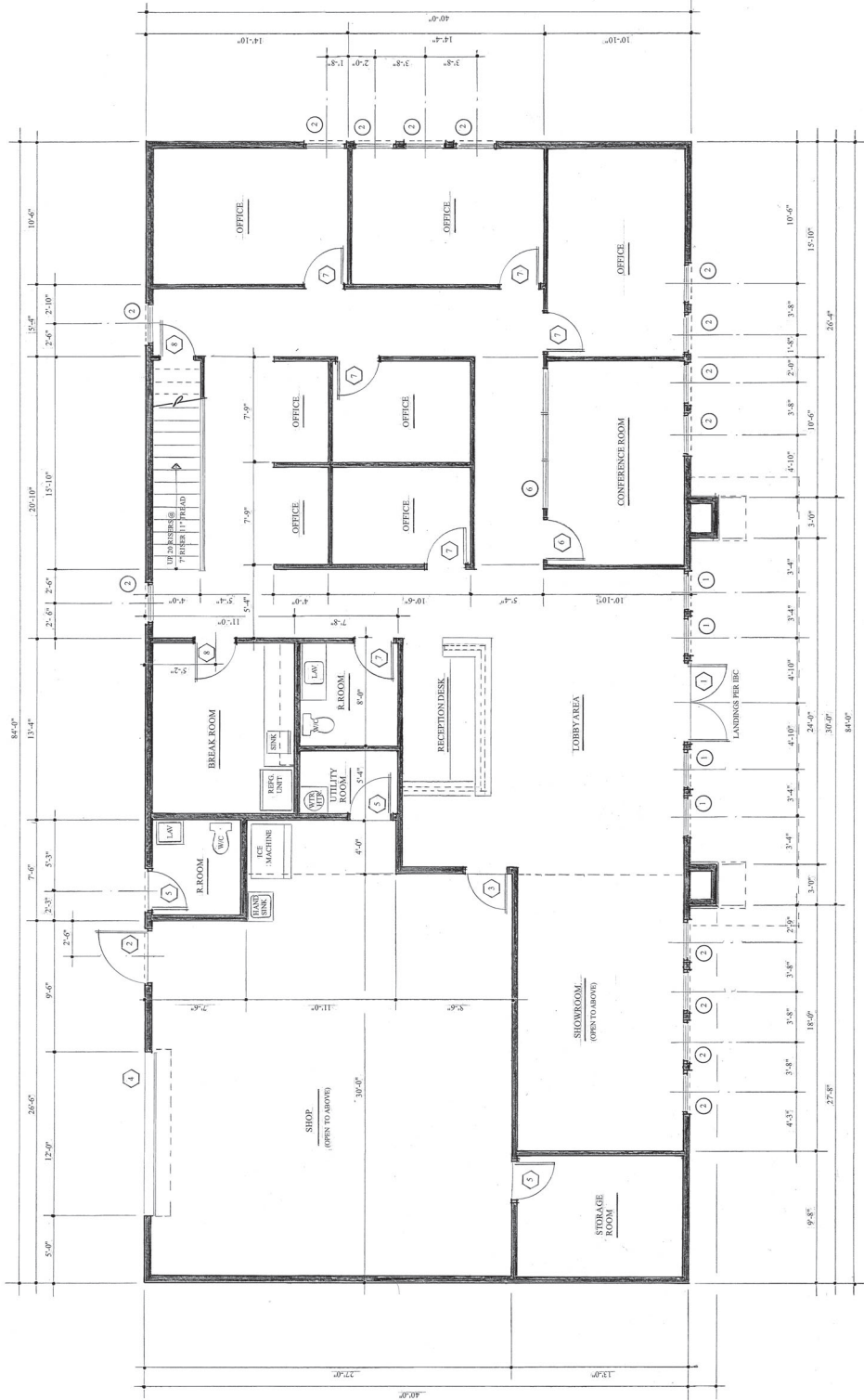
- 1 PAIR 30 X 80 STOREFRONT PRE-HUNG HOLLOW METAL DOORS WITH TEMPERED GLASS
- 2 PAIR 30 X 80 STOREFRONT PRE-HUNG HOLLOW METAL DOORS WITH TEMPERED GLASS
- 3 40 X 80 PRE-HUNG HOLLOW METAL DOOR, DEADBOLT LOCK, WEATHERSTRIPPING
- 4 30 X 80 PRE-HUNG HOLLOW METAL DOOR W/ LOCKSET, WEATHERSTRIPPING, THRESHOLD AND GLASS
- 5 12 X 12 STEEL BOOM-UP DOOR (MANUAL CHAIN OPERATOR)
- 6 30 X 80 PRE-HUNG HOLLOW METAL DOOR W/ KEYED LOCKSET
- 7 30 X 80 PRE-HUNG HOLLOW METAL DOOR WITH TEMPERED GLASS
- 8 30 X 80 PRE-HUNG HOLLOW METAL DOOR

WINDOW SCHEDULE

- 1 30 X 60 STOREFRONT FIXED WINDOW, HOLLOW METAL FRAME, TEMPERED GLASS
- 2 30 X 60 FIXED WINDOW, HOLLOW METAL FRAME
- 3 60 X 40 FIXED WINDOW, HOLLOW METAL FRAME
- 4 30 X 30 FIXED WINDOW, HOLLOW METAL FRAME
- 5 24 X 36 FIXED WINDOW, HOLLOW METAL FRAME
- 6 80 X 100 FIXED WINDOW (PANEL), TEMPERED GLASS

ALL WINDOWS SHALL HAVE BLACK ANODIZED FRAMES.
HEADER HEIGHTS ARE 96" A.F.F.

NOTE: ALL LOCKING AND CLOSING HARDWARE SHALL BE LEVER
TYPE IN CONFORMANCE TO ANSI STANDARDS.
ALL EXIST DOORS SHALL HAVE PINE HARDWARE PER BIC.
ALL DOORS SHALL HAVE BLACK ANODIZED FRAMES.
HEADER HEIGHTS ARE 96" A.F.F.



MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"

REVISIONS

CARKEEK LLC
2600 VIEWPOINT DRIVE HENDERSON, NEVADA 89014
PHONE: 702-279-8020

PROJECT
PIERRO OFFICE BUILDING
SHEET
MAIN FLOOR FLOOR PLAN
A.P.N. 18128101012
5200 RICKY ROAD LAS VEGAS, NEVADA 89130

DATE: AUG. 2023
SCALE: 1/8" = 1'-0"
JOB # RC-10-2023

SHEET
A.2

11/21/23

3.A

SHEET

NOV 8, 2023

SCALE: 1/4" = 1'-0"

DATE: AUG 2021

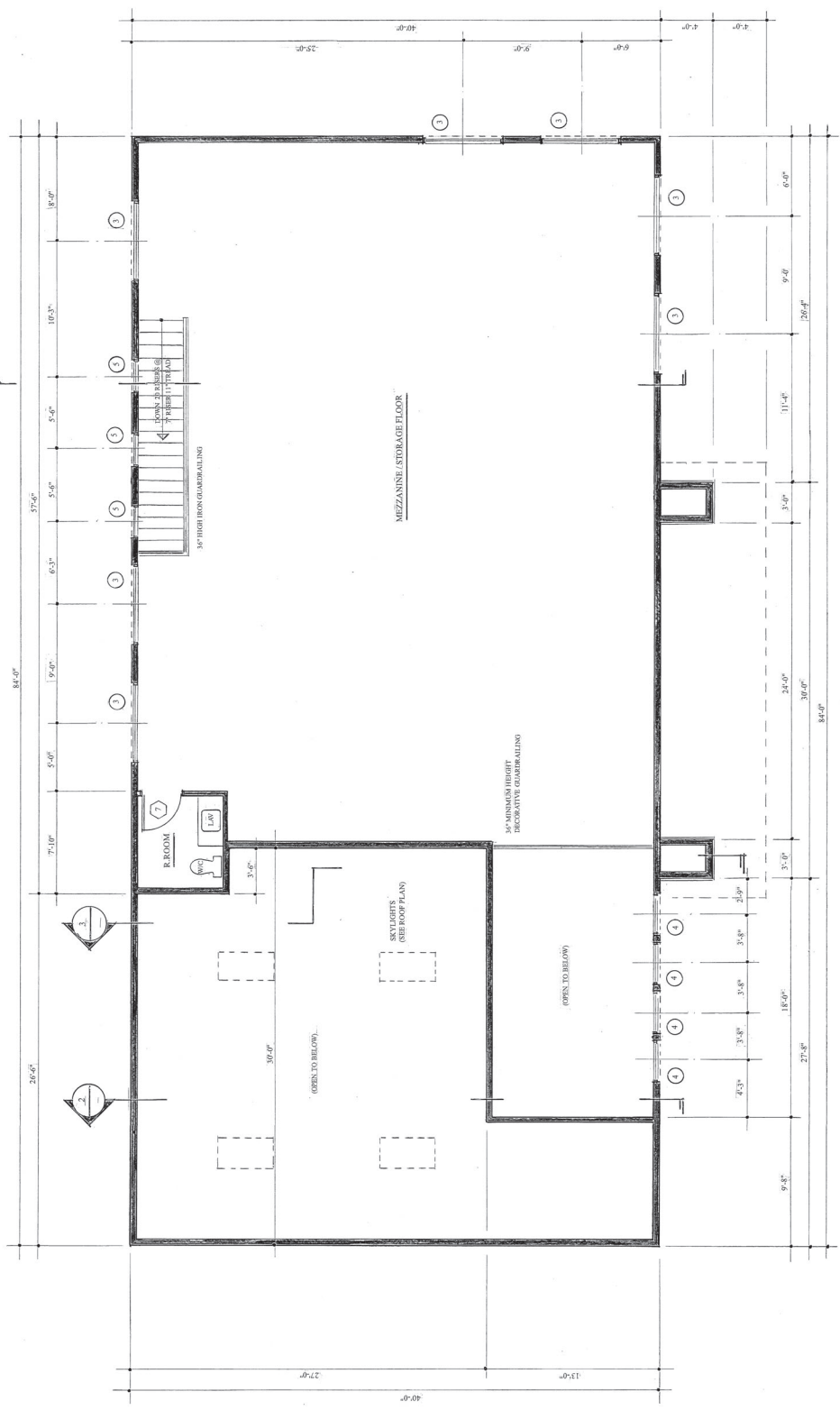
PROJECT: PIERRO OFFICE BUILDING
SHEET: 3.A
NOV 8, 2023
SCALE: 1/4" = 1'-0"

CARREEK LLC
2400 VERNON DRIVE, HENDERSON, NEVADA 89014
PHONE: 702-279-4020
LICENSE # B-0083392

REVISIONS

SECOND FLOOR FLOOR PLAN

SCALE: 1/4" = 1'-0"

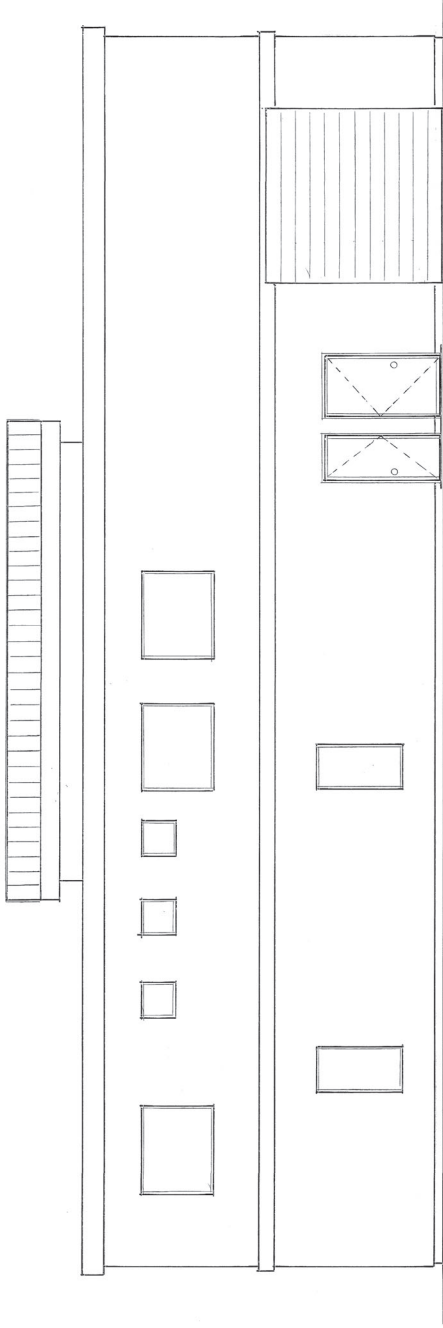


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09/21/2023

EXTERIOR FINISHES

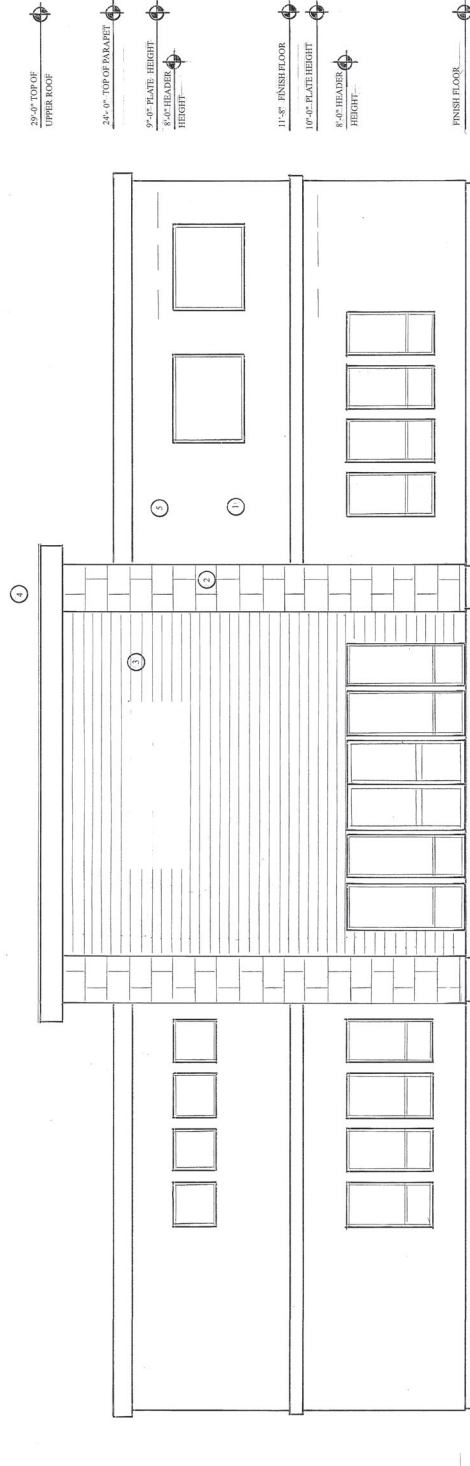
1. 7/8" THICK ACRYLIC COLOR COATED STEEL FINISH - SMOOTH - COLOR BY BUILDER
2. EXTERIOR WALL FINISH
3. EXTERIOR FACADE FRAMING FINISH - COLOR BY BUILDER
4. STOREFRONT FACADE AND EAVES FINISH - COLOR BY BUILDER
5. RAISED ROOF FINISH - SHINGLES - STANDING SEAM METAL ROOF - COLOR BY BUILDER
6. EXTERIOR TRIM FINISH - SIZE FOR PLAN - COLOR BY BUILDER



REAR ELEVATION

SCALE: 1/4" = 1'-0"

(SOUTH)



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

(NORTH)

REVISIONS

CARKEE L.L.C.
2400 VIEWPOINT DRIVE HENDERSON, NEVADA 89014
PHONE: 702-239-8020
LICENSE # B-0085192

PIERRO OFFICE BUILDING
5249 ROCKY ROAD LAS VEGAS, NEVADA 89130
A/E/N: 138-12-810-012
SHEET
EXTERIOR ELEVATIONS

DATE: AUG. 2023
SCALE: 1/4" = 1'-0"
JOB # RC-10-2023
SHEET
A.4

REVISIONS

CARKEEK LLC

3400 VERNON POINT DRIVE
 HENDERSON, NEVADA 89014
 PHONE: 702.279.8020
 LICENSE # B-0085192

PROJECT

PIERRO OFFICE BUILDING

5349 ROCKY ROAD LAS VEGAS, NEVADA 89139
 APN: 118-12-810-012
 SHEET

EXTERIOR ELEVATIONS

DATE

AUG 2023

SCALE

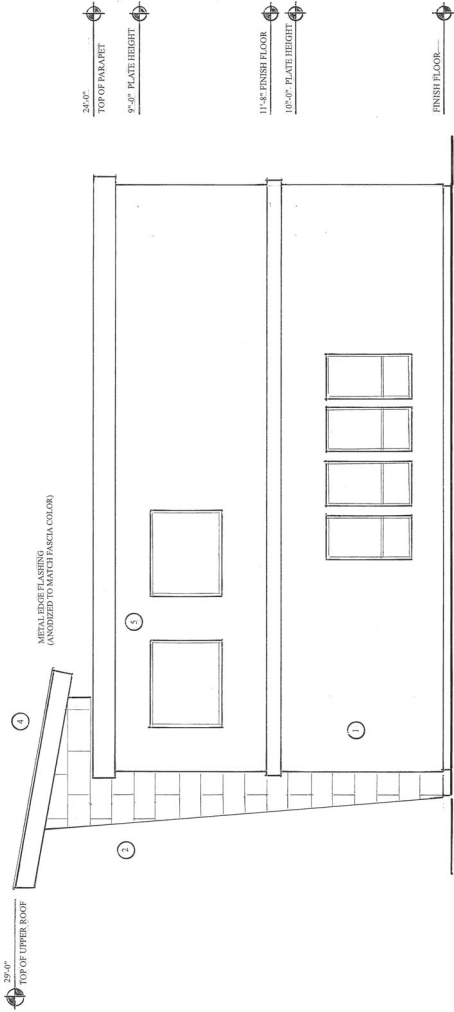
1/4" = 1'-0"

JOB #

EC-101-2023

SHEET

A.5



SIDE ELEVATION

SCALE: 1/4" = 1'-0"

(WEST)

SIDE ELEVATION

SCALE: 1/4" = 1'-0"

(EAST)

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09/21/2023



FRONT ELEVATION
NORTH

- EXTERIOR FINISHES**
1. EXTERIOR WALLS FINISH
 2. 7/8" THICK ACRYLIC COLOR COATED STUCCO FINISH-SMOOTH-COLOR BY BUILDER
 3. EXTERIOR FACADE FRAMING FINISH
 4. 1'X2' PORCELAIN TILE MATERIAL AND COLOR BY BUILDER
 5. STOREFRONT FACADE AND EAVES
 6. FIBERON PANELING- MATERIAL AND COLOR BY BUILDER
 7. RAISED ROOF FINISH - STANDING SEAM METAL ROOF-COLOR BY BUILDER
 8. EXTERIOR TRIM - SEE PLANS FOR SIZE-COLOR PER BUILDER

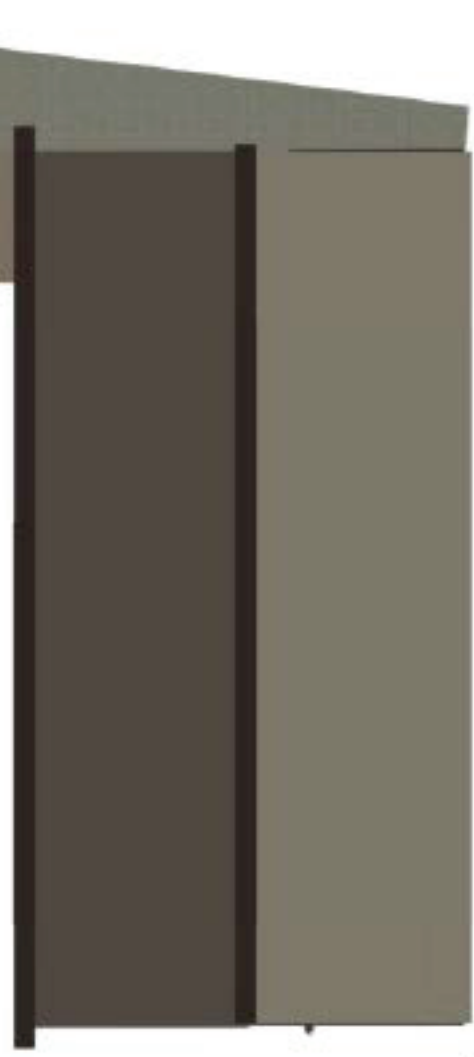
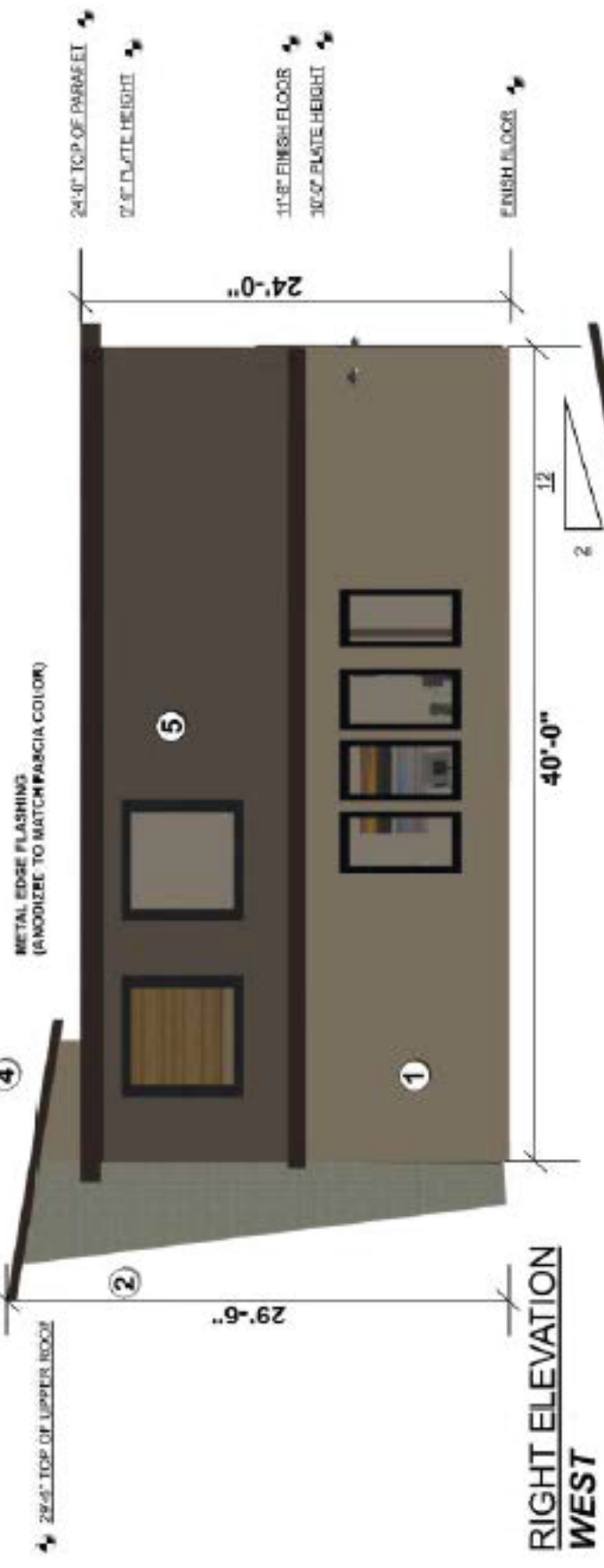
- 20'-0" TOP OF UPPER ROOF
- 20'-0" TOP OF FINISH FLOOR
- 9'-0" PLATE HEIGHT
- 8'-0" HEADERS HEIGHT
- 11'-0" FINISH FLOOR
- 20'-0" TOP OF FINISH FLOOR
- 8'-0" HEADERS HEIGHT
- FINISH FLOOR



REAR ELEVATION
SOUTH

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09/21/2023



**LEFT ELEVATION
EAST**