



DEPARTMENT OF PLANNING

Application / Petition Form & Statement of Financial Interest

Department Use

Case #
Meeting Date
Total Fee
Received By/Date

Case Type (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc)

Project Address (Location) 818 Shetland Rd Las Vegas NV 89107

Project Name Arellano Residence Var Proposed Use _____

Assessor's Parcel #(s) 13932801007 Ward # _____

General Plan: Existing _____ Proposed _____ Zoning: Existing _____ Proposed _____

Additional Information _____

Property Owner The Felix R. Arellano and Alex H. Holm Living Trust Contact 702-430-0393

Address 818 Shetland Rd City Las Vegas State NV Zip 89107

E-mail felixarellano1973@gmail.com Phone 702-430-0393

E-mail felixproject101@gmail.com

Applicant Felix Arellano Contact 702-430-0393

Address 818 Shetland Rd City Las Vegas State NV Zip 89107

E-mail felixproject101@gmail.com Phone 702-430-0393

Representative N/A

Contact _____

Address _____ City _____ State _____ Zip _____

E-mail _____ Phone _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official _____ Partner(s) _____

Partner(s) _____

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below. Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

Property Owner Signature Arellano Felix T E Alex Holm T E

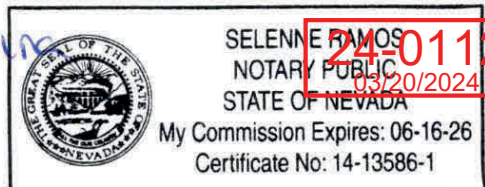
Authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

Print Name Felix Arellano and Alex Holm

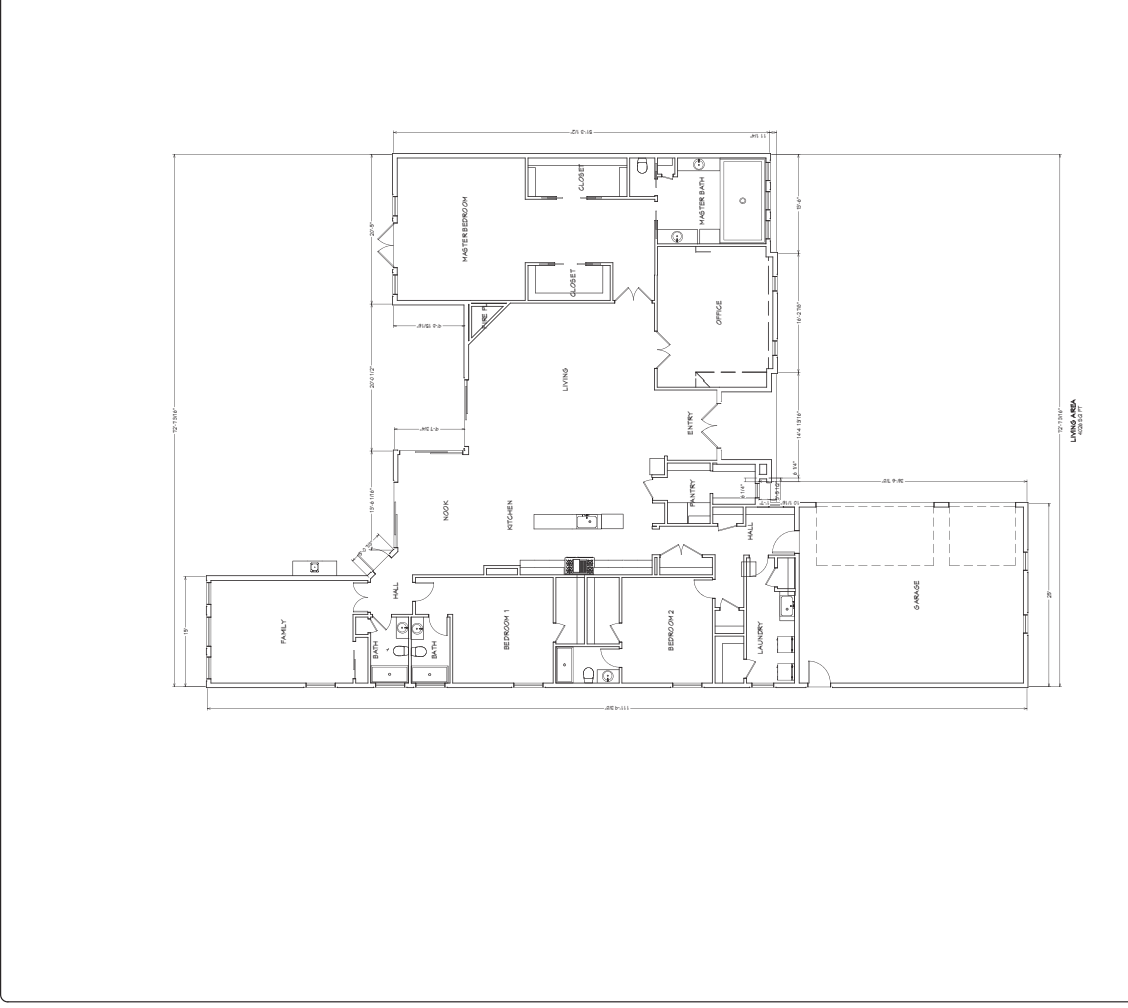
Subscribed and sworn before me _____

on _____ day of _____, 20____

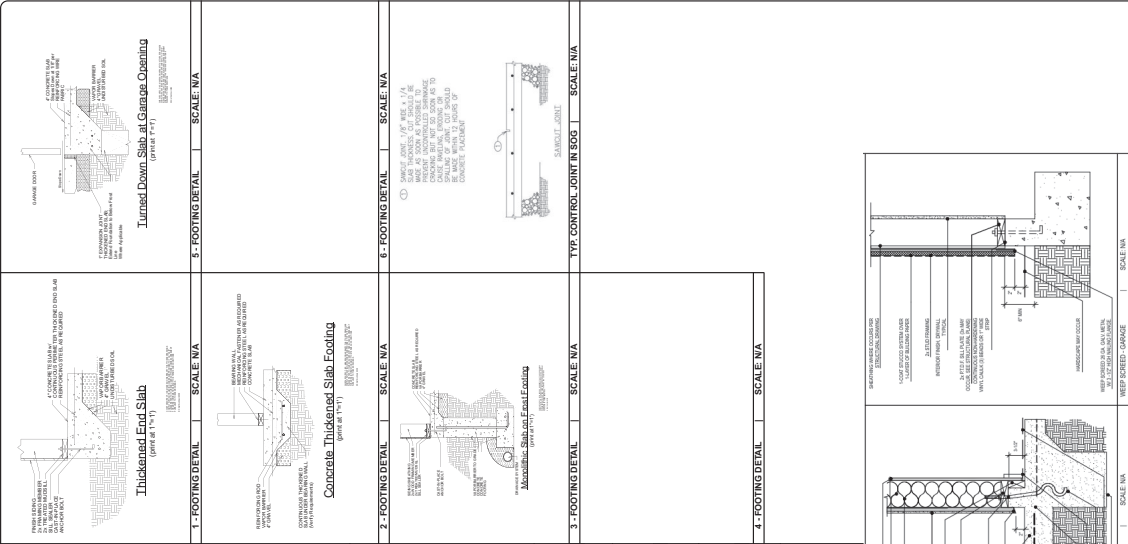
Notary Public in and for said County and State



THESE PLANS DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ARELLANO FELIX ARCHITECTS, P.C. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF ARELLANO FELIX ARCHITECTS, P.C. THE USER OF THESE PLANS DRAWINGS AND SPECIFICATIONS IS THE RESPONSIBLE PARTY FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT FROM THEFT, DAMAGE, OR LOSS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT FROM THEFT, DAMAGE, OR LOSS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT FROM THEFT, DAMAGE, OR LOSS.



FOUNDATION NOTES:	
1. SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ. 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.	
2. ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS ARE REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.	
3. USE ASTM A415 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE.	
4. CONCRETE EXPANSION ANCHORS SHALL BE SIMPSON WEDGE-ALL STUD ANCHORS OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.	
5. INFILTRATION: ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.	
6. TYP. WALL FRAMING UNO ON PLANS:	
EXTERIOR: 2X4 @ #2 AT 16" OC	
INTERIOR: 2X4 @ #2 AT 16" OC	
ANCHOR BOLTS AT ALL EXTERIOR AND INTERIOR LOAD BEARING WALLS THAT ARE NOT SHEAR WALLS TO BE 1/2" DIA X 12" AS 107 7" BOLTS AT 32" OC.	
CONCRETE STRENGTH:	
4,500 PSI AT 28 DAYS FOR ALL SLABS.	
4,500 PSI AT 28 DAYS FOR ALL OTHER CONDITION.	
• JOINTS AROUND WINDOW AND DOOR FRAMES	
• JOINTS BETWEEN WALL CAVITY AND WINDOW/DOOR FINE	
• JOINTS BETWEEN WALL AND FOUNDATION	
• JOINTS BETWEEN WALL AND ROOF	
• JOINTS BETWEEN WALL PANELS	
• UTILITY PENETRATIONS THROUGH EXTERIOR WALLS	
FOOTING SCHEDULE	
LABEL	SIZE
12" X 12" F.F.	12" WIDE X 12" DEEP WITH 2 #4 GR 60 CONT TOP AND BOTTOM & #3 FOR TIES
POST FOOTING SCHEDULE	
LABEL	SIZE
24" DIA X 12"	24" DIA X 12" FFG W/ (3) #4 EA WAY @ TOP & BOT
HOLD DOWN SCHEDULE	
LABEL	SIZE
HDT	(2) 2X4 MIN W/ 16" DIA X 12" ENB 7" BOLT 9" ALLOW = 3 3/4"
VERIFY ALL PLANS, DOCUMENTS, AND CONSTRUCTION DETAILS WITH ALL REQUIRED ENGINEERS AND PROFESSIONALS BEFORE ANY WORK IS PERFORMED.	
ANY DISCREPANCIES WILL BE NOTIFIED TO ALL REQUIRED PROFESSIONALS AND OWNER.	



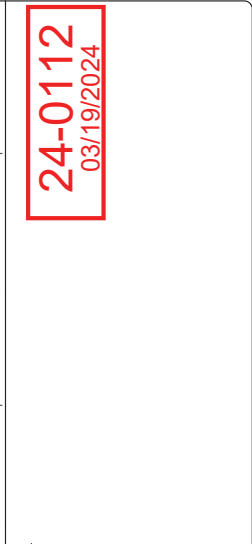
NO.	REVISION	DATE
1	NO CORRECTIONS NEEDED	5/20/21

GENERATED BY:
THESE PLANS DRAWINGS
WERE PREPARED BY
ARELLANO FELIX
ARCHITECTS, P.C.
AS AN ADDENDUM TO THE
ORIGINAL SET OF PLANS
FOR THE PROJECT.
PREPARED BY: FELIX
ARELLANO
OWNER
7/2/2020

PROJECT FOR:	ARELLANO RESIDENCE APR # 1007 139-32-801-007
SHEET TITLE:	FLOOR PLAN
PROJECT NO.	# _____
SCALE:	1/4" = 1'
DATE:	1/23/2024
DRAWING NO:	A1.0

SHEAR WALL SCHEDULE			
WALL	REINFORCING	ANCHOR BOLTS	CONNECTION
1. 12" X 12" F.F.	12" DIA X 12" FFG W/ (3) #4 EA WAY @ TOP & BOT	12" DIA X 12" FFG W/ (3) #4 EA WAY @ TOP & BOT	12" DIA X 12" FFG W/ (3) #4 EA WAY @ TOP & BOT
2. 24" DIA X 12"	24" DIA X 12" FFG W/ (3) #4 EA WAY @ TOP & BOT	24" DIA X 12" FFG W/ (3) #4 EA WAY @ TOP & BOT	24" DIA X 12" FFG W/ (3) #4 EA WAY @ TOP & BOT
3. HDT	(2) 2X4 MIN W/ 16" DIA X 12" ENB 7" BOLT 9" ALLOW = 3 3/4"	(2) 2X4 MIN W/ 16" DIA X 12" ENB 7" BOLT 9" ALLOW = 3 3/4"	(2) 2X4 MIN W/ 16" DIA X 12" ENB 7" BOLT 9" ALLOW = 3 3/4"

- SHEAR WALL DETAILS**
1. STUD SPACING 16" OC MAX STUDS AND BLOCCING AT EDGES SHALL BE 2X NOMINAL AT BEARINGS OR LARGER WHERE FRAMING MEMBERS RECEIVE W-HOOD NAILING FROM RAFTERS/STUDS USE 3X STUDS OR BLOCCING IN WOOD JOINT AND BELL PLATE NAILING SHALL BE STAGGERED WALL CAGES. SEE TYPICAL BEARER/WALL DETAIL FOR MORE INFORMATION.
 2. SHEAR WALLS SHALL BE CONSTRUCTED WITH 16" OC MAX STUDS AND BLOCCING AT EDGES. STUDS SHALL BE 2X NOMINAL AT BEARINGS OR LARGER WHERE FRAMING MEMBERS RECEIVE W-HOOD NAILING FROM RAFTERS/STUDS USE 3X STUDS OR BLOCCING IN WOOD JOINT AND BELL PLATE NAILING SHALL BE STAGGERED WALL CAGES. SEE TYPICAL BEARER/WALL DETAIL FOR MORE INFORMATION.
 3. FACE NAIL DOUBLE STUD WITH (2) 16" AT 16" OC.
 4. INSTALL PANELS EITHER HORIZONTAL OR VERTICAL. STUD SPACING SHALL BE PLACED PERPENDICULAR TO THE STUDS. STAGGER VERTICAL JOINTS AT 48" ON CENTER.
 5. SHEAR WALLS SHALL BE CONSTRUCTED WITH 16" OC MAX STUDS AND BLOCCING AT EDGES. STUDS SHALL BE 2X NOMINAL AT BEARINGS OR LARGER WHERE FRAMING MEMBERS RECEIVE W-HOOD NAILING FROM RAFTERS/STUDS USE 3X STUDS OR BLOCCING IN WOOD JOINT AND BELL PLATE NAILING SHALL BE STAGGERED WALL CAGES. SEE TYPICAL BEARER/WALL DETAIL FOR MORE INFORMATION.
 6. WHERE NOTED IN PLAN, SHEARWALLS SHALL EXTEND BETWEEN OPENINGS OR CORNER OF WALL UNLESS LENGTH NOTED. SHEATHING SHALL NOT BE INTERRUPTED BY INTERSECTING WALLS EXCEPT FOR OFF-BEAM DEBRISWALLS.
 7. NOT SUBSTITUTE 3/8" DIA STUDS OR BLOCCING EXCEPT FOR 1/2" DIA STUDS OR BLOCCING. STUDS SHALL BE 2X NOMINAL AT BEARINGS OR LARGER WHERE FRAMING MEMBERS RECEIVE W-HOOD NAILING FROM RAFTERS/STUDS USE 3X STUDS OR BLOCCING IN WOOD JOINT AND BELL PLATE NAILING SHALL BE STAGGERED WALL CAGES. SEE TYPICAL BEARER/WALL DETAIL FOR MORE INFORMATION.
 8. 7/16" OR 1/2" DIA STUDS OR BLOCCING SHALL BE SUBSTITUTED FOR 3/8" DIA STUDS OR BLOCCING. STUDS SHALL BE 2X NOMINAL AT BEARINGS OR LARGER WHERE FRAMING MEMBERS RECEIVE W-HOOD NAILING FROM RAFTERS/STUDS USE 3X STUDS OR BLOCCING IN WOOD JOINT AND BELL PLATE NAILING SHALL BE STAGGERED WALL CAGES. SEE TYPICAL BEARER/WALL DETAIL FOR MORE INFORMATION.
 9. FOUNDATION BELLS SHALL BE 3" NOMINAL THICKNESS OF THE ANCHOR BOLTS FOR 12" STUDS. STUDS SHALL BE 2X NOMINAL AT BEARINGS OR LARGER WHERE FRAMING MEMBERS RECEIVE W-HOOD NAILING FROM RAFTERS/STUDS USE 3X STUDS OR BLOCCING IN WOOD JOINT AND BELL PLATE NAILING SHALL BE STAGGERED WALL CAGES. SEE TYPICAL BEARER/WALL DETAIL FOR MORE INFORMATION.
 10. FOUNDATION BELLS SHALL BE 3" NOMINAL THICKNESS. ANCHOR BOLTS SHALL BE 1/2" DIA X 12" DEEP WITH 2 #4 GR 60 CONT TOP AND BOTTOM & #3 FOR TIES.
 11. WHERE 3X STUD OR BLOCCING IS REQUIRED DOUBLE 2X MEMBERS MAY BE USED. MEMBERS SHALL BE SPACED WITH 16" - 24" DIA STUDS OR BLOCCING. STUDS SHALL BE 2X NOMINAL AT BEARINGS OR LARGER WHERE FRAMING MEMBERS RECEIVE W-HOOD NAILING FROM RAFTERS/STUDS USE 3X STUDS OR BLOCCING IN WOOD JOINT AND BELL PLATE NAILING SHALL BE STAGGERED WALL CAGES. SEE TYPICAL BEARER/WALL DETAIL FOR MORE INFORMATION.



PROJECT FOR:	ARELLANO RESIDENCE APR # 1007 139-32-801-007
SHEET TITLE:	FLOOR PLAN
PROJECT NO.	# _____
SCALE:	1/4" = 1'
DATE:	1/23/2024
DRAWING NO:	A1.0

NO.	REVISION	DATE

GENERATED BY:

GENERATED BY:
THESE PLANS DRAWINGS
AND SPECIFICATIONS ARE
PREPARED AND SUBMITTED
BY THE OWNER
AS AN EXEMPTION TO NRS
623.330 FOR THE OWNER
OWN CONSTRUCTION
ACTIVITIES.

**PREPARED BY: FELIX
ARELLANO
OWNER**

702.43000393

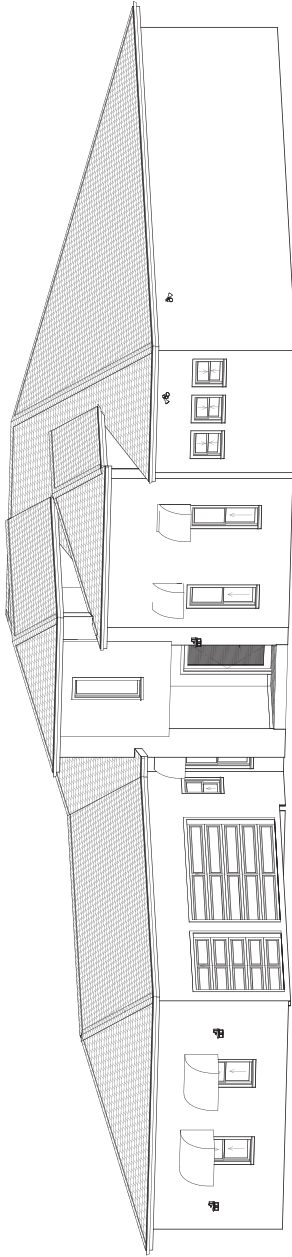
ARELLANO FELIX

PROJECT FOR:
ARELLANO
RESIDENCE
APN #
139-32-801-007

SHEET TITLE:

FRONT VIEW

PROJECT NO.	# _____
SCALE:	3/16" = 1'
DATE:	1/23/2024
DRAWING NO:	



FRONT VIEW

 $3/16'' = 1'$ [illegible]

24-0112 03/19/2024

[illegible][illegible]

	PALM SPRINGS
	PO BOX 1000
	GLASSBORO NJ
	PN 10000-0
	PN 10000-0
	PN 10000-0

DOOR SCHEDULE										FINISH	
NO.	QTY	SIZE	TYPE	DOOR	SWITCH	LOCK	HANDLE	FRAME	GLASS	FINISH	NOTES
001	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
002	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
003	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
004	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
005	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
006	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
007	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
008	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
009	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
010	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
011	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
012	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
013	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
014	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
015	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
016	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
017	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
018	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
019	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"
020	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	1	11'0" x 8'0"	11'0" x 8'0"