



DEPARTMENT OF PLANNING

Application / Petition Form & Statement of Financial Interest

Department Use

Case #
Meeting Date
Total Fee
Received By/Date

Case Type (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Variance

Project Address (Location) Alexander / Durango

Project Name Alexander Durango **Proposed Use** Single Family Residential

Assessor's Parcel #(s) 138-05-801-040; -041; -042; -043; -047; -048; 138-04-404-025 **Ward #** _____

General Plan: Existing RNP Proposed R (Rural) **Zoning:** Existing R-E Proposed R-1

Additional Information _____

Property Owner Angellotti Family Trust - Trust B **Contact** Alan L. Isaacman

Address 269 S. Beverly Drive # Suite 322 **City** Beverly Hills **State** CA **Zip** 90212

E-mail isaacman@ikplaw.com **Phone** (310) 890-1484

Applicant Richmond American Homes of Nevada, Inc. **Contact** Angela Pinley

Address 770 E. Warm Springs, Suite 240 **City** Las Vegas **State** NV **Zip** 89119

E-mail angela.pinley@mdch.com **Phone** 702-240-5605

Representative Westwood Professional Services **Contact** Roxanne Leigh

Address 5725 W. Badura Ave., Suite 100 **City** Las Vegas **State** NV **Zip** 89118

E-mail lvproc@westwoodps.com **Phone** 702-284-5300

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official _____ **Partner(s)** _____

Partner(s) _____

- I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

Property Owner Signature Deborah M. Isaacman

An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

Print Name Deborah M. Isaacman

Subscribed and sworn before me

This July 19 day of July, 20 24

Alison Lee Isaacman Alison Lee Isaacman

Notary Public in and for said County and State

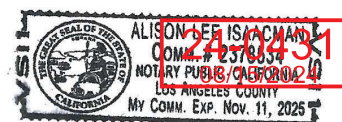


EXHIBIT 'A'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 08024.0009\Lgl_VAC_Patent-1
By: ML
Date: July 18, 2024
Page 1 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

PATENT EASEMENTS PER U.S. PATENT No. 1216271 RECORDED IN BOOK 365 AS INSTRUMENT No. 294405 OF CLARK COUNTY OFFICIAL RECORDS.

THE NORTH 33.00 FEET, THE WEST 33.00 FEET AND THE EAST 33.00 FEET OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 5, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA;

EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THAT CERTAIN FLOOD CHANNEL RIGHT-OF-WAY AS CONVEYED TO THE CITY OF LAS VEGAS BY DEED RECORDED IN BOOK 20010808, INSTRUMENT NO. 02089 OF CLARK COUNTY OFFICIAL RECORDS;

FURTHER EXCEPTING THEREFROM THE SOUTH 50.00 FEET OF SAID WEST 33.00 FEET AND THE SOUTH 50.00 FEET OF SAID EAST 33.00 FEET, AS SHOWN ON **EXHIBIT 'B'** ATTACHED HERETO AND MADE A PART HEREOF.

END OF DESCRIPTION.

24-0431
08/15/2024

APN's: 138-05-801-040 & 041

LOT 6

LOT 7

LOT 8

ALEXANDER & DURANGO
BOOK 152, PAGE 17
OF PLATS

LOT 9

PUBLIC R/W PER
OR: 20030204: 00290

C.E. A

EXHIBIT 'B'
PAGE 2 OF 16

APN 138-05-801-048
OR: 20200731: 03406

DRAINAGE R/W PER
OR: 20040326: 01020

E1

24' DRAINAGE R/W
OR: 20010808: 02089

APN 138-05-801-041
OR: 20200731: 03406

E1

9' TO BE VACATED

E1

PUBLIC R/W PER
OR: 20031013: 00194

E1

ALEXANDER ROAD



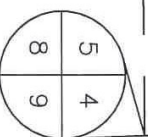
APN 138-05-801-040
OR: 20200731: 03406

A PORTION OF
APN 138-05-801-042
OR: 20200731: 03406

APN 138-05-801-043
OR: 20200731: 03406

PUBLIC R/W PER
OR: 19990527: 00855

DURANGO DRIVE
PUBLIC R/W PER
OR: 19990527: 00855



08024.0009
LGL_VAC_Patent-1

ROADWAY & PUBLIC UTILITIES
EASEMENT PER PATENT No. 1216271
OR: 365: 294405
PATENT EASEMENT TO BE VACATED

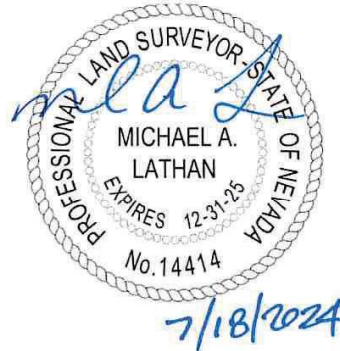

Tri-Core
SURVEYING
WWW.TRICORESURVEYING.COM

24-0431
08/15/2024

EXHIBIT 'C'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 08024.0009\Lgl_VAC_Patent-2
By: ML
Date: July 18, 2024
Page 3 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

PATENT EASEMENTS PER U.S. PATENT No. 1217670 RECORDED IN BOOK 331 AS INSTRUMENT No. 267512 OF CLARK COUNTY OFFICIAL RECORDS.

THE NORTH 33.00 FEET, THE SOUTH 33.00 FEET, THE WEST 33.00 FEET AND THE EAST 33.00 FEET OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 5, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA;

EXCEPTING THEREFROM THE NORTH 19.00 FEET OF THE EAST 87.48 FEET OF SAID NORTHWEST QUARTER (NW 1/4);

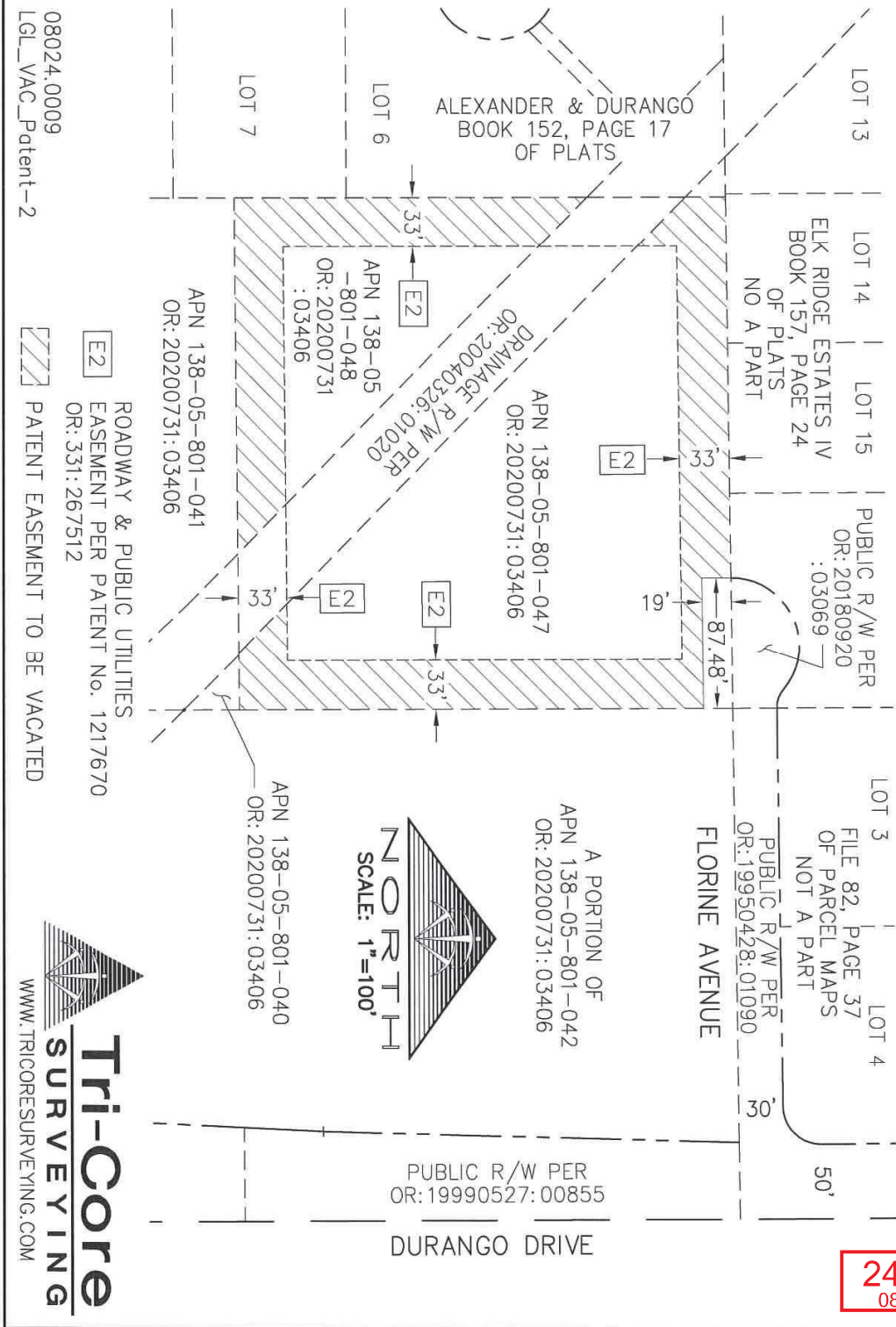
FURTHER EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THAT CERTAIN FLOOD CHANNEL RIGHT-OF-WAY AS CONVEYED TO THE CITY OF LAS VEGAS BY FINAL ORDER OF CONDEMNATION RECORDED IN BOOK 20040326, INSTRUMENT NO. 01020 OF CLARK COUNTY OFFICIAL RECORDS, AS SHOWN ON **EXHIBIT 'D'** ATTACHED HERETO AND MADE A PART HEREOF.

END OF DESCRIPTION.

24-0431
08/15/2024

APN's: 138-05-801-047 & 048

EXHIBIT 'D'
PAGE 4 OF 16



08024.0009
LGL_VAC_Patent-2

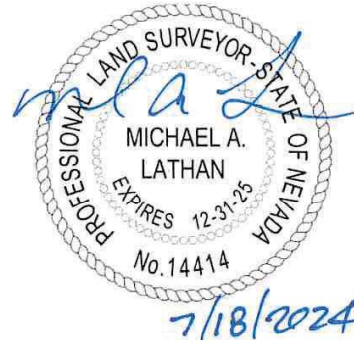
Tri-Core
SURVEYING
WWW.TRICORESURVEYING.COM

24-0431
08/15/2024

EXHIBIT 'E'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 08024.0009\Lgl_VAC_Patent-3
By: ML
Date: July 18, 2024
Page 5 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

PATENT EASEMENTS PER U.S. PATENT No. 1220859 RECORDED IN BOOK 970520 AS INSTRUMENT No. 01412 OF CLARK COUNTY OFFICIAL RECORDS.

THE NORTH 33.00 FEET, THE SOUTH 33.00 FEET AND THE WEST 33.00 FEET OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 5, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA;

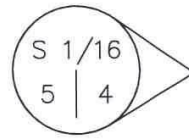
EXCEPTING THEREFROM THE NORTH 19.00 FEET OF SAID NORTHEAST QUARTER (NE 1/4);

EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THAT DURANGO DRIVE PUBLIC RIGHT-OF-WAY AS CONVEYED TO THE CITY OF LAS VEGAS BY DEED RECORDED IN BOOK 19990527, INSTRUMENT NO. 00855 OF CLARK COUNTY OFFICIAL RECORDS, AS SHOWN ON **EXHIBIT 'F'** ATTACHED HERETO AND MADE A PART HEREOF.

END OF DESCRIPTION.

24-0431
08/15/2024

EXHIBIT 'F'
PAGE 6 OF 16



Tri-Core
SURVEYING

WWW.TRICORESURVEYING

24-0431
08/15/2024

EXHIBIT 'G'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 30224.0003\Lgl_VAC_Patent-4
By: ML
Date: July 18, 2024
Page 7 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

PATENT EASEMENTS PER U.S. PATENT No. 1215367 RECORDED IN BOOK 950627 AS INSTRUMENT No. 00801 OF CLARK COUNTY OFFICIAL RECORDS.

THE NORTH 33.00 FEET AND THE WEST 33.00 FEET OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 5, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA;

EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THAT CERTAIN FLOOD CHANNEL RIGHT-OF-WAY AS CONVEYED TO THE CITY OF LAS VEGAS BY DEED RECORDED IN BOOK 20021119, INSTRUMENT NO. 02275 OF CLARK COUNTY OFFICIAL RECORDS;

FURTHER EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THAT DURANGO DRIVE AND ALEXANDER ROAD PUBLIC RIGHT-OF-WAY AS CONVEYED TO THE CITY OF LAS VEGAS BY DEED RECORDED IN BOOK 19990527, INSTRUMENT NO. 00855 OF CLARK COUNTY OFFICIAL RECORDS, AS SHOWN ON **EXHIBIT 'H'** ATTACHED HERETO AND MADE A PART HEREOF.

END OF DESCRIPTION.

24-0431
08/15/2024

PAGE 8 OF 16

S	1/16
5	4

DRAINAGE R/W PER
 OR: 20010808: 02089

DRAINAGE R/W PER
 OR: 20021119: 02275
 APN 138-05
 -801-043
 OR: 20200731
 : 03406

A PORTION OF
APN 138-05-801-042
OR: 20200731:03406

PUBLIC R/W PER
OR:19990527:00855

PUBLIC R/W PER
OR: 19990127:02638
DURANGO DRIVE

PUBLIC R/W PER
OR:19990527:00855

ALEXANDER ROAD

E4

ROADWAY & PUBLIC UTILITIES
EASEMENT PER PATENT No. 1215367
OR: 950627:00801

PATENT EASEMENT TO BE VACATED

LGL_VAC_PATENT-4



NORTH

SCALE: 1"=80'



Tri-Core
SURVEYING

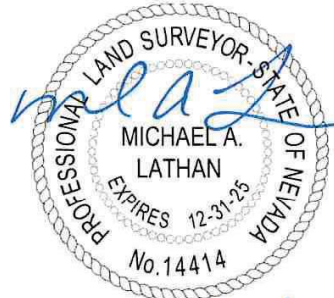
WWW.TRICORESURVEYING

24-0431
08/15/2024

EXHIBIT 'I'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 08024.0009\Lgl_VAC_Patent-5
By: ML
Date: July 18, 2024
Page 9 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

PATENT EASEMENTS PER U.S. PATENT No. 1215370 RECORDED IN BOOK 463 AS INSTRUMENT No. 373226 OF CLARK COUNTY OFFICIAL RECORDS.

THE NORTH 33.00 FEET AND THE EAST 33.00 FEET OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 4, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA;

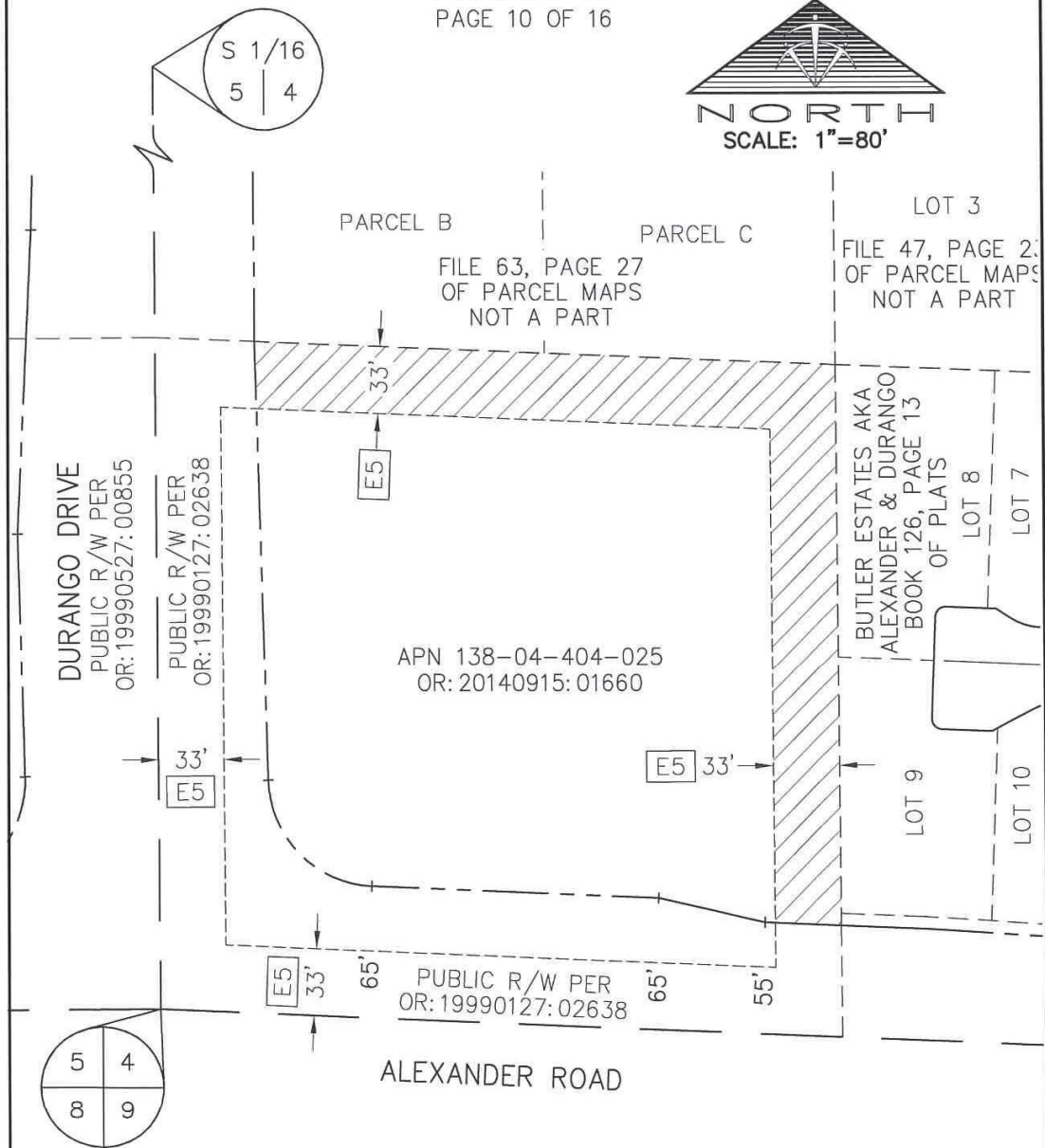
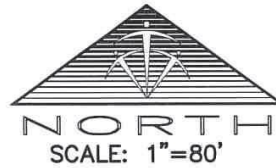
FURTHER EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THAT DURANGO DRIVE AND ALEXANDER ROAD PUBLIC RIGHT-OF-WAY AS CONVEYED TO THE CITY OF LAS VEGAS BY DEED RECORDED IN BOOK 19990127, INSTRUMENT NO. 02638 OF CLARK COUNTY OFFICIAL RECORDS, AS SHOWN ON **EXHIBIT 'J'** ATTACHED HERETO AND MADE A PART HEREOF.

END OF DESCRIPTION.

24-0431
08/15/2024

APN: 138-04-404-025

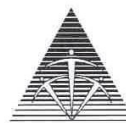
EXHIBIT 'J'
PAGE 10 OF 16



E5 ROADWAY & PUBLIC UTILITIES
EASEMENT PER PATENT No. 1215370
OR: 463: 373226

 PATENT EASEMENT TO BE VACATED

08024.0009
LGL_VAC_PATENT-5



Tri-Core
SURVEYING

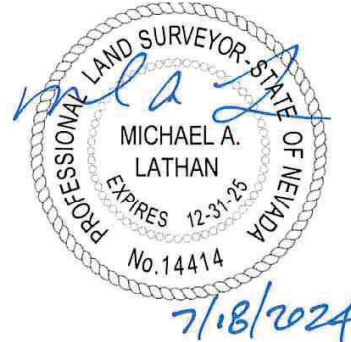
WWW.TRICORESURVEYING.COM

24-0431
08/15/2024

EXHIBIT 'K'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 08024.0009\Lgl_VAC_TCE-1
By: ML
Date: July 18, 2024
Page 11 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

CONSTRUCTION EASEMENTS PER FINAL ORDER OF CONDEMNATION RECORDED IN BOOK 20040326, INSTRUMENT NO. 01020 OF CLARK COUNTY OFFICIAL RECORDS.

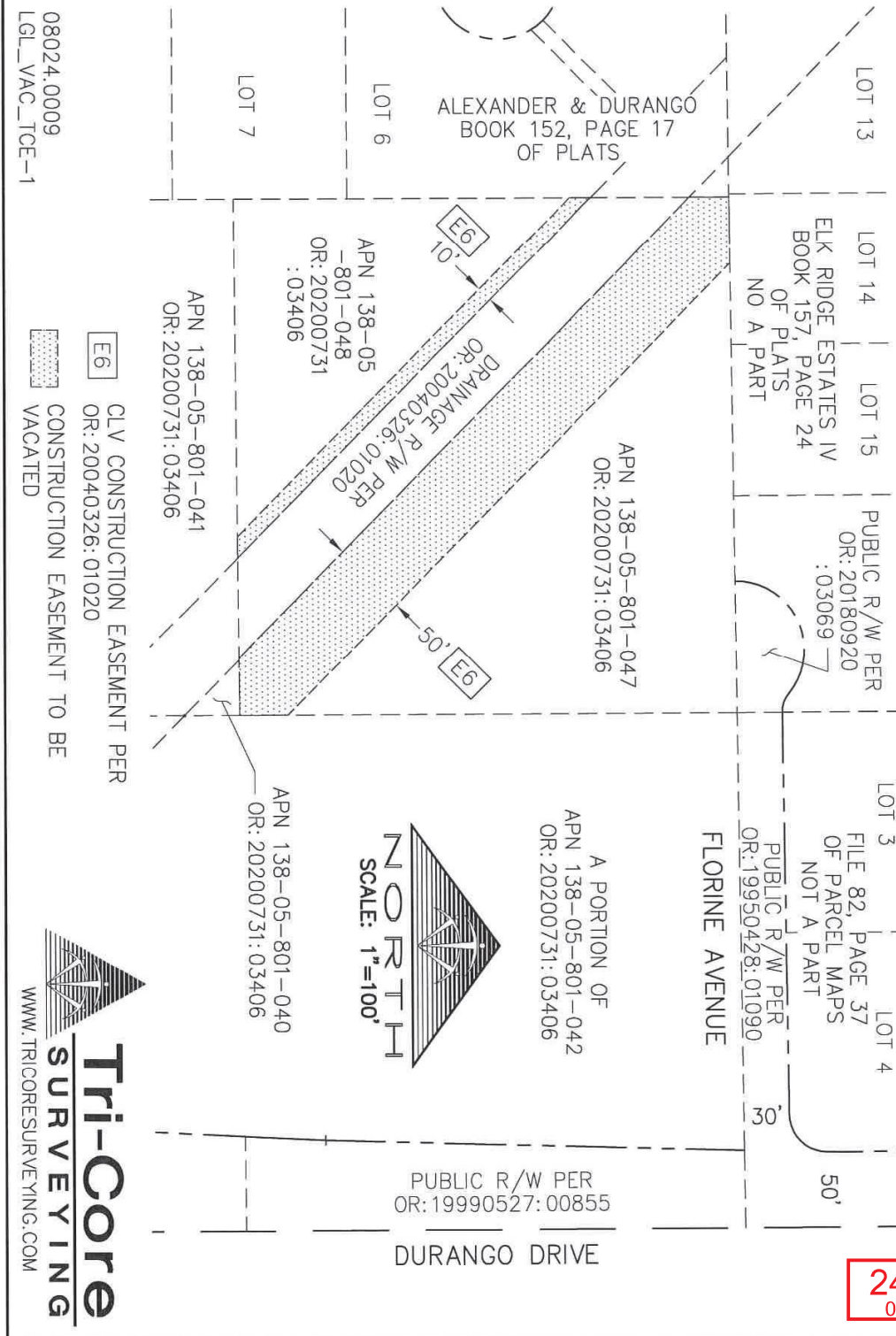
THOSE CERTAIN CONSTRUCTION EASEMENTS GRANTED TO THE CITY OF LAS VEGAS BY FINAL ORDER OF CONDEMNATION RECORDED IN BOOK 20040326, INSTRUMENT NO. 01020 OF CLARK COUNTY OFFICIAL RECORDS, LYING WITHIN THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 5, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON **EXHIBIT 'L'** ATTACHED HERETO AND MADE A PART HEREOF.

END OF DESCRIPTION.

24-0431
08/15/2024

APN's: 138-05-801-047 & 048

EXHIBIT 'L'
PAGE 12 OF 16



24-0431
08/15/2024

EXHIBIT 'M'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 08024.0009\Lgl_VAC_TCE-2
By: ML
Date: July 18, 2024
Page 13 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

TEMPORARY CONSTRUCTION EASEMENT PER DOCUMENT RECORDED IN BOOK 20010618, INSTRUMENT NO. 01617 OF CLARK COUNTY OFFICIAL RECORDS.

THAT CERTAIN TEMPORARY CONSTRUCTION EASEMENT GRANTED TO THE CITY OF LAS VEGAS BY DOCUMENT RECORDED IN BOOK 20010618, INSTRUMENT NO. 01617 OF CLARK COUNTY OFFICIAL RECORDS, LYING WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 5, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA;

EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THAT DURANGO DRIVE AND ALEXANDER ROAD PUBLIC RIGHT-OF-WAY AS CONVEYED TO THE CITY OF LAS VEGAS BY DEED RECORDED IN BOOK 19990527, INSTRUMENT NO. 00855 OF CLARK COUNTY OFFICIAL RECORDS, AS SHOWN ON **EXHIBIT 'N'** ATTACHED HERETO AND MADE A PART HEREOF.

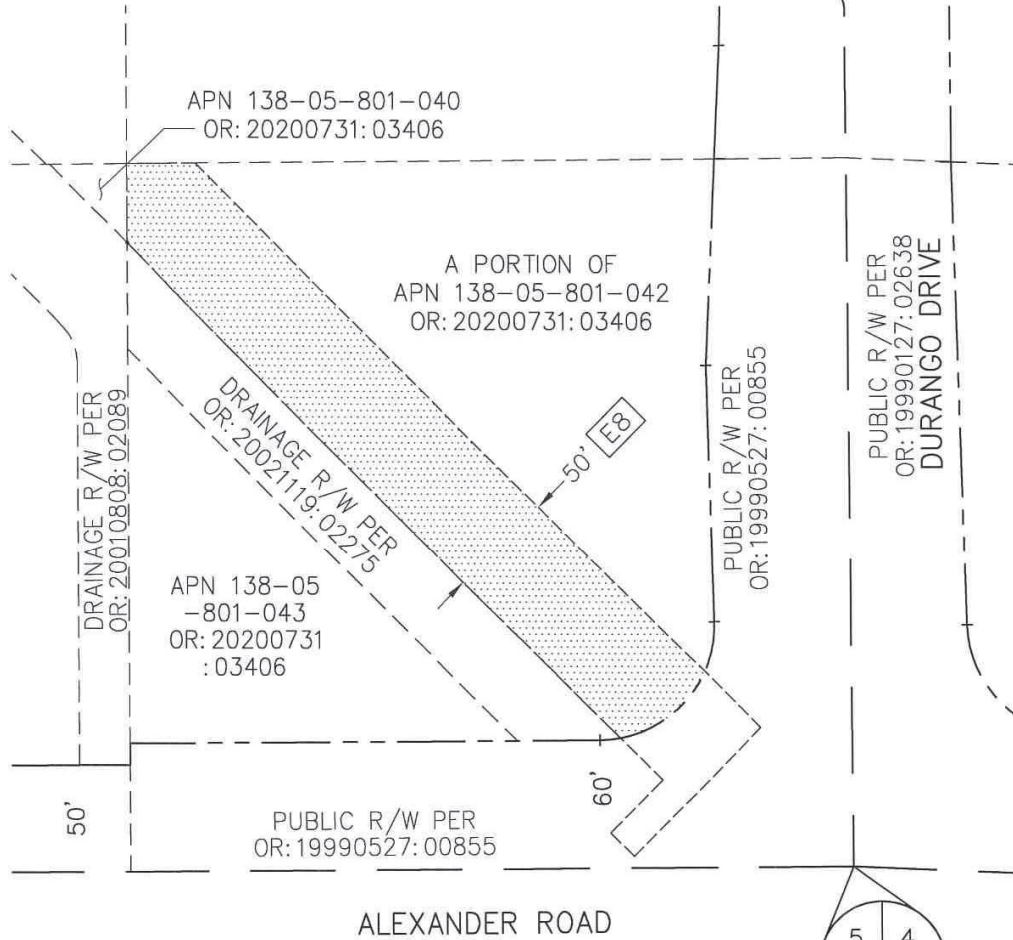
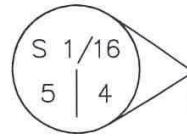
END OF DESCRIPTION.

24-0431
08/15/2024

APN: 138-05-801-042

EXHIBIT 'N'

PAGE 14 OF 16



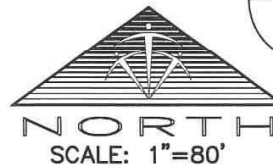
E8

CLV TEMPORARY CONSTRUCTION
EASEMENT PER OR: 20010618: 01617



TEMPORARY CONSTRUCTION EASEMENT
TO BE VACATED

08024.0009
LGL_VAC_TCE-2



NORTH
SCALE: 1"=80'



Tri-Core
SURVEYING

WWW.TRICORESURVEYING.COM

24-0431
08/15/2024

EXHIBIT 'O'

TRI-CORE SURVEYING, LLC
6753 WEST CHARLESTON BLVD.
LAS VEGAS, NV 89146

File: 08024.0009\Lgl_VAC_TCE-3
By: ML
Date: July 18, 2024
Page 15 of 16



EXPLANATION

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND ALEXANDER ROAD FOR VACATION PURPOSES.

LEGAL DESCRIPTION

TEMPORARY CONSTRUCTION EASEMENTS PER DOCUMENTS RECORDED IN BOOK 20010808, INSTRUMENT NO. 02090 AND BOOK 20010808, INSTRUMENT NO. 02091 OF CLARK COUNTY OFFICIAL RECORDS.

THOSE CERTAIN TEMPORARY CONSTRUCTION EASEMENTS GRANTED TO THE CITY OF LAS VEGAS BY DOCUMENT RECORDED IN BOOK 20010808, INSTRUMENT NO. 02090 AND BOOK 20010808, INSTRUMENT NO. 02091 OF CLARK COUNTY OFFICIAL RECORDS, LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 5, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON **EXHIBIT 'P'** ATTACHED HERETO AND MADE A PART HEREOF.

END OF DESCRIPTION.

24-0431
08/15/2024

APN's: 138-05-801-040 & 041

LOT 6

LOT 7

LOT 8

LOT 9

ALEXANDER & DURANGO
BOOK 152, PAGE 17
OF PLATS

PUBLIC R/W PER
OR: 20030204: 00290

C.E. A

EXHIBIT 'P'
PAGE 16 OF 16

APN 138-05-801-048
OR: 20200731: 03406

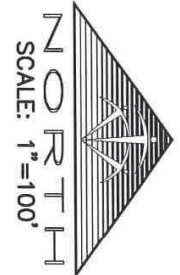
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OR: 20040326: 01020

APN 138-05-801-041
OR: 20200731: 03406

24' DRAINAGE R/W
OR: 20010808: 02089

PUBLIC R/W PER
OR: 20031013: 00194

ALEXANDER ROAD



APN 138-05-801-040
OR: 20200731: 03406

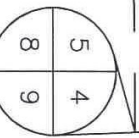
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APN 138-05-801-042
OR: 20200731: 03406

DRAINAGE R/W PER
OR: 20021119: 02275

APN 138-05-801-043
OR: 20200731: 03406

PUBLIC R/W PER
OR: 19990527: 00855

DURANGO DRIVE
PUBLIC R/W PER
OR: 19990527: 00855



08024.0009
LGL_VAC_TCE-3

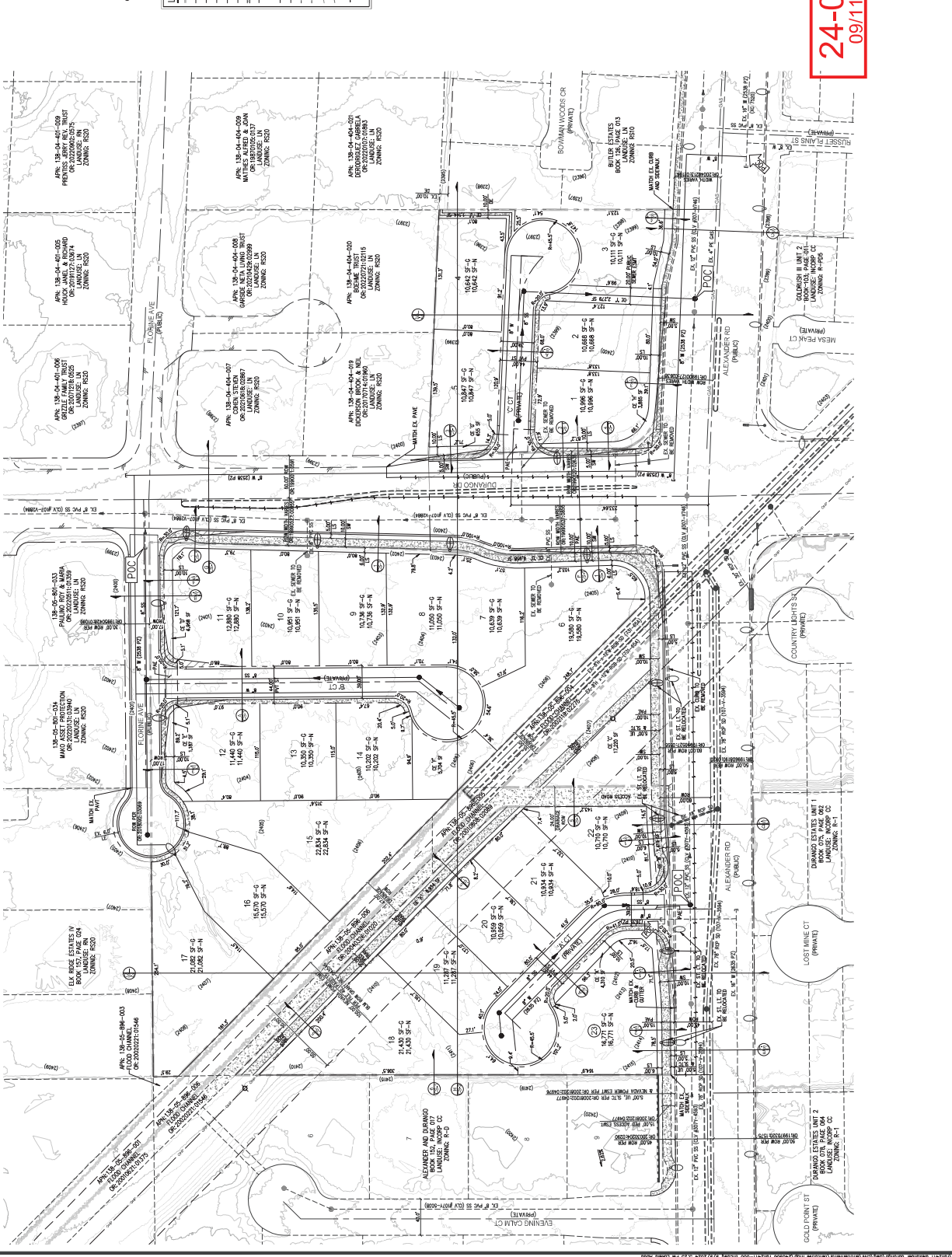
- CLV TEMPORARY CONSTRUCTION EASEMENT PER OR: 20010808: 02090
- CLV TEMPORARY CONSTRUCTION EASEMENT PER OR: 20010808: 02091
- TEMPORARY CONSTRUCTION EASEMENT TO BE VACATED



24-0431
08/15/2024

LEGEND

-----	PROJECT BOUNDARY
-----	ROADWAY CENTERLINE
-----	LOT LINE
-----	PRIVATE STREET CENTERLINE
-----	PROPERTY LINE
-----	RIGHT-OF-WAY LINE
-----	SEWER MAIN
-----	WATER MAIN
-----	12" EX. FIRE HYDRANT
-----	SANITARY SEWER MAIN
-----	SANITARY SEWER MANHOLE
-----	EX WATER MAIN
-----	EX SANITARY SEWER MAIN
-----	EX CONDUIT (12" MINIMUM)
-----	EX CONDUIT (18" MINIMUM)
-----	EX CONDUIT (24" MINIMUM)
-----	EX CONDUIT (36" MINIMUM)
-----	EX CONDUIT (48" MINIMUM)
-----	EX CONDUIT (60" MINIMUM)
-----	EX CONDUIT (72" MINIMUM)
-----	EX CONDUIT (84" MINIMUM)
-----	EX CONDUIT (96" MINIMUM)
-----	EX CONDUIT (108" MINIMUM)
-----	EX CONDUIT (120" MINIMUM)
-----	EX CONDUIT (144" MINIMUM)
-----	EX CONDUIT (168" MINIMUM)
-----	EX CONDUIT (192" MINIMUM)
-----	EX CONDUIT (216" MINIMUM)
-----	EX CONDUIT (240" MINIMUM)
-----	EX CONDUIT (264" MINIMUM)
-----	EX CONDUIT (288" MINIMUM)
-----	EX CONDUIT (312" MINIMUM)
-----	EX CONDUIT (336" MINIMUM)
-----	EX CONDUIT (360" MINIMUM)
-----	EX CONDUIT (384" MINIMUM)
-----	EX CONDUIT (408" MINIMUM)
-----	EX CONDUIT (432" MINIMUM)
-----	EX CONDUIT (456" MINIMUM)
-----	EX CONDUIT (480" MINIMUM)
-----	EX CONDUIT (504" MINIMUM)
-----	EX CONDUIT (528" MINIMUM)
-----	EX CONDUIT (552" MINIMUM)
-----	EX CONDUIT (576" MINIMUM)
-----	EX CONDUIT (600" MINIMUM)
-----	EX CONDUIT (624" MINIMUM)
-----	EX CONDUIT (648" MINIMUM)
-----	EX CONDUIT (672" MINIMUM)
-----	EX CONDUIT (696" MINIMUM)
-----	EX CONDUIT (720" MINIMUM)
-----	EX CONDUIT (744" MINIMUM)
-----	EX CONDUIT (768" MINIMUM)
-----	EX CONDUIT (792" MINIMUM)
-----	EX CONDUIT (816" MINIMUM)
-----	EX CONDUIT (840" MINIMUM)
-----	EX CONDUIT (864" MINIMUM)
-----	EX CONDUIT (888" MINIMUM)
-----	EX CONDUIT (912" MINIMUM)
-----	EX CONDUIT (936" MINIMUM)
-----	EX CONDUIT (960" MINIMUM)
-----	EX CONDUIT (984" MINIMUM)
-----	EX CONDUIT (1008" MINIMUM)
-----	EX CONDUIT (1032" MINIMUM)
-----	EX CONDUIT (1056" MINIMUM)
-----	EX CONDUIT (1080" MINIMUM)
-----	EX CONDUIT (1104" MINIMUM)
-----	EX CONDUIT (1128" MINIMUM)
-----	EX CONDUIT (1152" MINIMUM)
-----	EX CONDUIT (1176" MINIMUM)
-----	EX CONDUIT (1200" MINIMUM)
-----	EX CONDUIT (1224" MINIMUM)
-----	EX CONDUIT (1248" MINIMUM)
-----	EX CONDUIT (1272" MINIMUM)
-----	EX CONDUIT (1296" MINIMUM)
-----	EX CONDUIT (1320" MINIMUM)
-----	EX CONDUIT (1344" MINIMUM)
-----	EX CONDUIT (1368" MINIMUM)
-----	EX CONDUIT (1392" MINIMUM)
-----	EX CONDUIT (1416" MINIMUM)
-----	EX CONDUIT (1440" MINIMUM)
-----	EX CONDUIT (1464" MINIMUM)
-----	EX CONDUIT (1488" MINIMUM)
-----	EX CONDUIT (1512" MINIMUM)
-----	EX CONDUIT (1536" MINIMUM)
-----	EX CONDUIT (1560" MINIMUM)
-----	EX CONDUIT (1584" MINIMUM)
-----	EX CONDUIT (1608" MINIMUM)
-----	EX CONDUIT (1632" MINIMUM)
-----	EX CONDUIT (1656" MINIMUM)
-----	EX CONDUIT (1680" MINIMUM)
-----	EX CONDUIT (1704" MINIMUM)
-----	EX CONDUIT (1728" MINIMUM)
-----	EX CONDUIT (1752" MINIMUM)
-----	EX CONDUIT (1776" MINIMUM)
-----	EX CONDUIT (1800" MINIMUM)
-----	EX CONDUIT (1824" MINIMUM)
-----	EX CONDUIT (1848" MINIMUM)
-----	EX CONDUIT (1872" MINIMUM)
-----	EX CONDUIT (1896" MINIMUM)
-----	EX CONDUIT (1920" MINIMUM)
-----	EX CONDUIT (1944" MINIMUM)
-----	EX CONDUIT (1968" MINIMUM)
-----	EX CONDUIT (1992" MINIMUM)
-----	EX CONDUIT (2016" MINIMUM)
-----	EX CONDUIT (2040" MINIMUM)
-----	EX CONDUIT (2064" MINIMUM)
-----	EX CONDUIT (2088" MINIMUM)
-----	EX CONDUIT (2112" MINIMUM)
-----	EX CONDUIT (2136" MINIMUM)
-----	EX CONDUIT (2160" MINIMUM)
-----	EX CONDUIT (2184" MINIMUM)
-----	EX CONDUIT (2208" MINIMUM)
-----	EX CONDUIT (2232" MINIMUM)
-----	EX CONDUIT (2256" MINIMUM)
-----	EX CONDUIT (2280" MINIMUM)
-----	EX CONDUIT (2304" MINIMUM)
-----	EX CONDUIT (2328" MINIMUM)
-----	EX CONDUIT (2352" MINIMUM)
-----	EX CONDUIT (2376" MINIMUM)
-----	EX CONDUIT (2400" MINIMUM)
-----	EX CONDUIT (2424" MINIMUM)
-----	EX CONDUIT (2448" MINIMUM)
-----	EX CONDUIT (2472" MINIMUM)
-----	EX CONDUIT (2496" MINIMUM)
-----	EX CONDUIT (2520" MINIMUM)
-----	EX CONDUIT (2544" MINIMUM)
-----	EX CONDUIT (2568" MINIMUM)
-----	EX CONDUIT (2592" MINIMUM)
-----	EX CONDUIT (2616" MINIMUM)
-----	EX CONDUIT (2640" MINIMUM)
-----	EX CONDUIT (2664" MINIMUM)
-----	EX CONDUIT (2688" MINIMUM)
-----	EX CONDUIT (2712" MINIMUM)
-----	EX CONDUIT (2736" MINIMUM)
-----	EX CONDUIT (2760" MINIMUM)
-----	EX CONDUIT (2784" MINIMUM)
-----	EX CONDUIT (2808" MINIMUM)
-----	EX CONDUIT (2832" MINIMUM)
-----	EX CONDUIT (2856" MINIMUM)
-----	EX CONDUIT (2880" MINIMUM)
-----	EX CONDUIT (2904" MINIMUM)
-----	EX CONDUIT (2928" MINIMUM)
-----	EX CONDUIT (2952" MINIMUM)
-----	EX CONDUIT (2976" MINIMUM)
-----	EX CONDUIT (3000" MINIMUM)
-----	EX CONDUIT (3024" MINIMUM)
-----	EX CONDUIT (3048" MINIMUM)
-----	EX CONDUIT (3072" MINIMUM)
-----	EX CONDUIT (3096" MINIMUM)
-----	EX CONDUIT (3120" MINIMUM)
-----	EX CONDUIT (3144" MINIMUM)
-----	EX CONDUIT (3168" MINIMUM)
-----	EX CONDUIT (3192" MINIMUM)
-----	EX CONDUIT (3216" MINIMUM)
-----	EX CONDUIT (3240" MINIMUM)
-----	EX CONDUIT (3264" MINIMUM)
-----	EX CONDUIT (3288" MINIMUM)
-----	EX CONDUIT (3312" MINIMUM

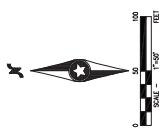


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LEGEND

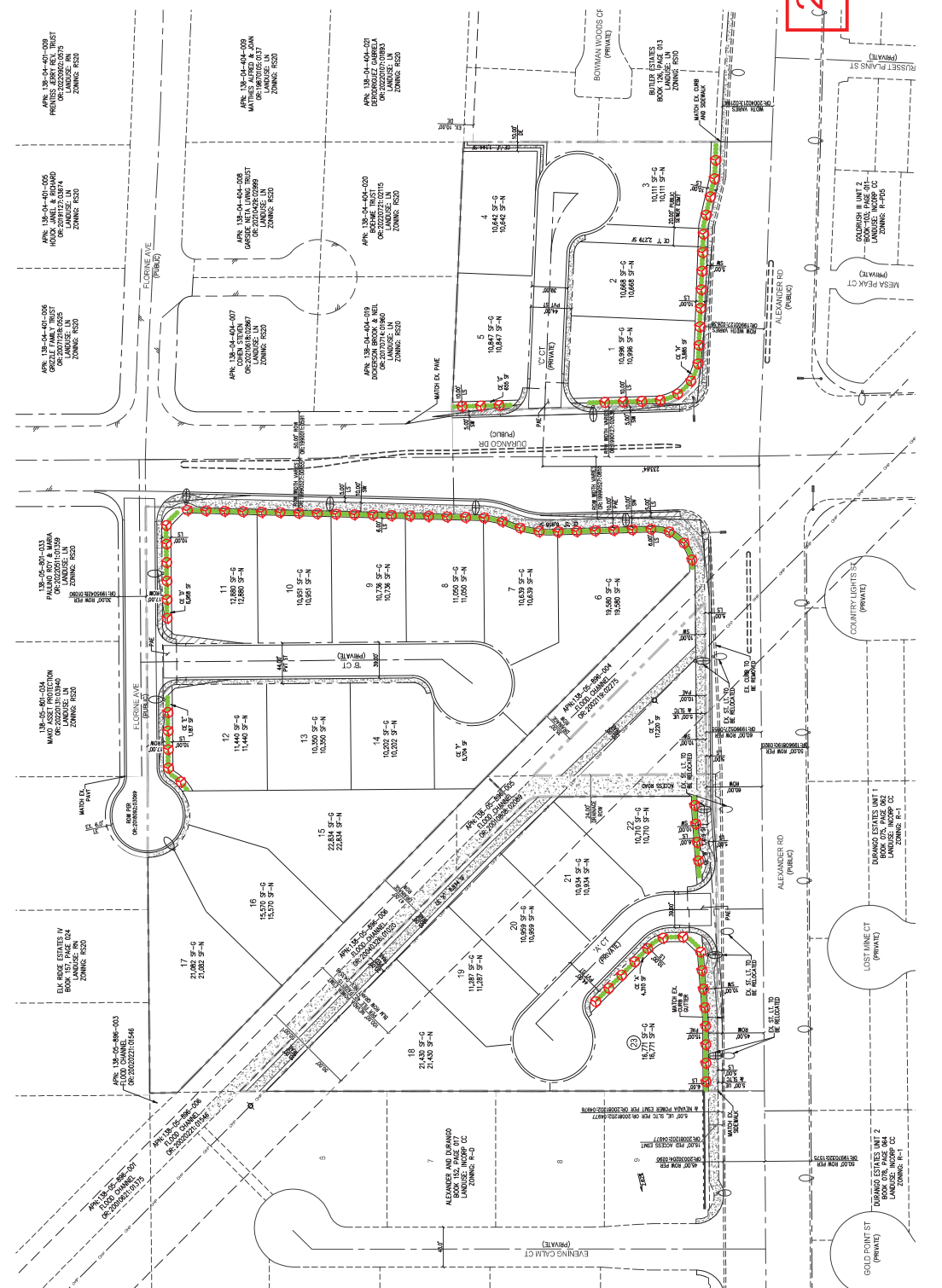
—	PROJECT BOUNDARY
——	ROADWAY CENTERLINE
- - - -	RIGHT-OF-WAY
.....	PRIVATE STREET
_____	CUSTOMER LINE
=====	PROPERTY LINE
-----	EXISTING PROPERTY LINE
=====	CURB AND GUTTER
-----	EXISTING CURB AND GUTTER
~~~~~	SIGHT VISIBILITY ZONE

PLANTING LEGEND	
	LARGE TREE 3-INCH CALIPER, MORE THAN 25' OF CANOPY AND 40 FT TALL
	SHRUB/ROUND CORNER (50% MIN COVER)
ALL LANDSCAPING TO BE IN ACCORDANCE WITH THE COUNTY LANDSCAPE CRITERIA. CRITERIA INCLUDE: PLANTING, SPACING, SPECIES, PLANT MATERIAL, AND MAINTENANCE	



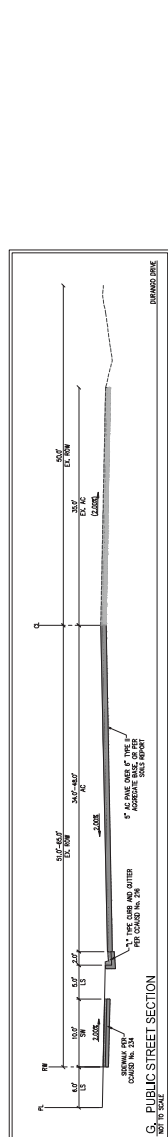
## SIGHT VISIBILITY ZONES

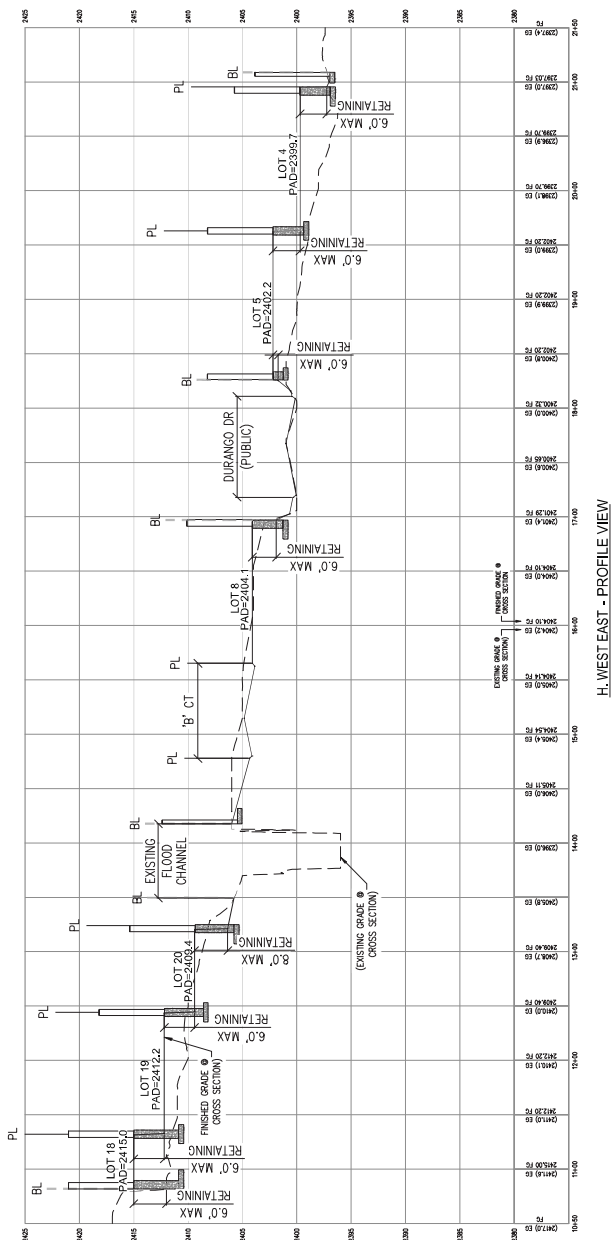
PLANT SCHEDULE				
	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES	ACACIA STENOXYLLA	SWEETGUM	LARGE	80
SHRUBS	ACACIA GOMMIFERA	SPINIFLOR	5 GAL	325
FINAL SIZE AND SHARP TYPES AND QUANTITIES TO BE INSTALLED POST FINAL LANDSCAPE PLAN BY OTHERS				



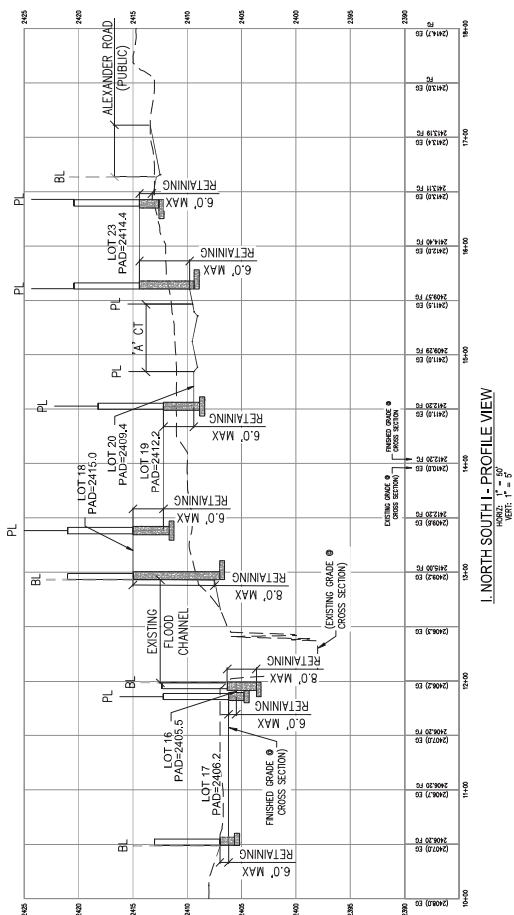
3. PERIMETER SCREEN WALL SECTION  
NOT TO SCALE

4. PERIMETER RETAINING WALL SECTION  
NOT TO SCALE

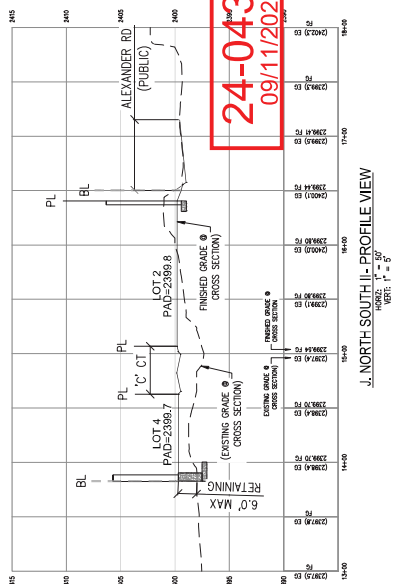




### H. WEST EAST - PROFILE VIEW



**J. NORTH SOUTH I - PROFILE VIEW**



**J. NORTH SOUTH II - PROFILE VIEW**

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