


CITY OF LAS VEGAS	
ONE MOTION / ONE VOTE	
	Community Development Case Planning Division 495 South Main Street, 3rd Floor Las Vegas, Nevada 89101 (702) 229-6301 Phone (702) 464-7499 Fax

CASE: 24-0655-MSP1

SUBJECT: APPLICANT/OWNER: SILVER MEADOW PROPERTIES, LLC

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the **APRIL 8, 2025** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to **Brianna Pascual** at **(702)464-7499** or e-mail to **bpascual@lasvegasnevada.gov** and **Jessica Roybal** to **jroybal@lasvegasnevada.gov**. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-2569.

Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM **MONDAY, APRIL 7, 2025.**



 Signature

April 1, 2025

 Date

Joseph Tanner

 Please Print Name

Submitted after final agenda

Grocery Outlet

 Company Name

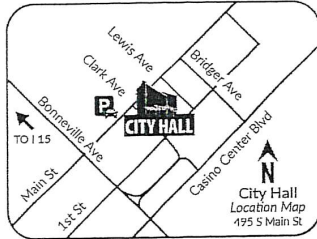
RECEIVED 04/01/25
 04/08/25 PC MEETING
 ITEM 14

Sincerely,

Nicole Eddowes
 Community Development Coordinator
 Case Planning Division

City of Las Vegas, Department of Community Development
495 South Main Street
Las Vegas, Nevada 89101

Return Service Requested
Official Notice of Public Hearing



Scan or go to:
www.lasvegasnevada.gov/meetings

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City of Las Vegas

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For additional information, scan the QR Code, select the meeting date shown below and then find the referenced project. To file your protest or support on this request, check one box below and return this card in an envelope with postage to the Department of Community Development at the above address, fax this side of this card to (702) 464-7499 or make your comments at www.lasvegasnevada.gov/planningcomments. To contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

Please use available blank space on card for your comments.

24-0655-MSP1

Planning Commission Meeting of 04/08/2025

24-0655-MSP1

12518111088

PALM PETER

BARONE-PALM RONDA

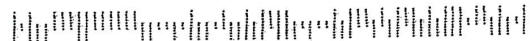
7655 RIO VISTA ST

LAS VEGAS NV 89131

Duplicate - Not Counted

Item 14
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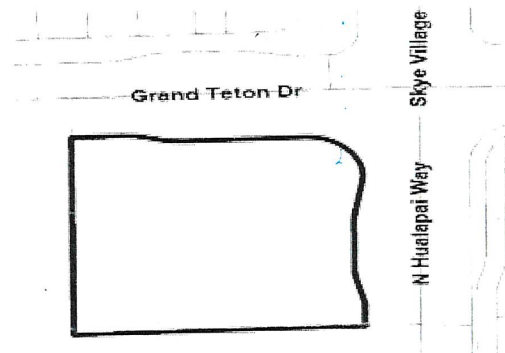
Application Information

ABEYANCE - RENOTIFICATION - 24-0655-MSP1 - MASTER SIGN PLAN - PUBLIC HEARING - APPLICANT/OWNER: SILVER MEADOW PROPERTIES, LLC - For possible action on a Land Use Entitlement project request FOR AN APPROVED CONVENIENCE STORE WITH CAR WASH DEVELOPMENT on 1.62 acres on the southwest corner of Grand Teton Drive and Hualapai Way (APN 126-13-501-021), PD (Planned Development) Zone [VC (Village Commercial) Cliff's Edge Special Land Use Designation], Ward 6 (Brune). Staff recommends APPROVAL.

we need open spaces, parks and more recreational areas, dog parks, trails, Basketball areas-our parks are FULL on week-ends, holidays and alot OF the time to FULL to enjoy!

I oppose - if you Lived in the area you'd understand.

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: 04/08/2025
Time: 6:00 PM
Location: Council Chambers
495 South Main St, 2nd Fl.
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request, or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Community Development, 495 South Main Street, 3rd Floor, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For more information, including the full staff report, please call (702) 229-6301 (TTY 7-1-1) or go to www.lasvegasnevada.gov/meetings.

Planning Comments

From: noreply@formstack.com
Sent: Sunday, April 6, 2025 5:04 PM
To: Planning Comments
Subject: Planning Application Comments Form

CAUTION: This email originated from an **External Source**. Please **use caution** before opening attachments, clicking links, or responding to this email. **Do not sign-in with your City of Las Vegas account credentials.**



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City of Las Vegas

Formstack Submission For: Planning App Comments
Submitted at 04/06/25 5:04 PM

Meeting Date:	Tuesday, April 8, 2025
Project Number:	24-0655
Position:	I OPPOSE the project and all related applications.
Name:	Eva Calderon
Residential or Business Address:	10110 Skye Camp Drive Las Vegas , NV 89166
Phone:	(951) 923-9741
Email:	ecintdesign@aol.com
Comments:	This business shouldn't be in a residential neighborhood. The increased traffic and cars going in and out of the business add an increased risk to elementary age children who walk to school and children who ride bikes or walk to the park located close to this proposed business!

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Item 14
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