

LESOURD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD, LAS VEGAS, NV 89101

GENERAL NOTES

1. ALL CONTRACTORS AND SUBCONTRACTORS TO VISIT JOB SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS BEFORE SUBMITTING BIDS AND/OR PROCEEDING WITH ANY WORK.
2. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS. EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.
3. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO PROCEEDING WITH ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL, MECHANICAL, PLUMBING, AND MECHANICAL CODES AND ORDINANCES, AS WELL AS ALL OTHER APPLICABLE CODES AND ALL OTHER GOVERNING AGENCY REGULATIONS.
5. DIMENSIONS MARKED "CLEAR" INDICATE A MINIMUM CLEARANCE THAT MUST BE MAINTAINED.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH DRAWINGS BEFORE PROCEEDING WITH THE INSTALLATION OF ANY MECHANICAL, PLUMBING, OR ELECTRICAL WORK. ANY DISCREPANCY BETWEEN THE DESIGNER AND CONSULTING ENGINEER'S DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER FOR CORRECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
7. ALL DIMENSIONS AND SPECIFICATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONTRACT DOCUMENTS. IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR EXACT MEANING, THE DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.
8. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.
9. ALL BURIED AND EXPOSED PIPING SHALL BE PROTECTED FROM DAMAGE AND SHALL BE PROTECTED FROM DAMAGE AND SHALL BE PROTECTED FROM DAMAGE.
10. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL.
11. ALL FRAMING MEMBERS SHALL BE SO ARRANGED AND SPACED AS TO PERMIT INSTALLATION OF PIPE CONDUITS AND DOOR WORK WITH A MINIMUM OF CUTTING.
12. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKUP PLATES AND SUPPORTING BRACKETS FOR ALL STRUCTURAL MEMBERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
13. CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED.
14. MEASUREMENT AND PAYMENT: WORK SHALL NOT PROCEED BY DESIGNER AND/OR CONTRACTOR IN WHICH HE EXPECTS THE CONTRACTOR TO OBTAIN SUCH AUTHORIZATION SHALL INVALENT ANY CLAIM FOR ADDITIONAL COMPENSATION.
15. SUBMITTALS: ALL SUBMITTALS BY CONTRACTOR OR SUBCONTRACTORS MUST BE APPROVED BY THE DESIGNER PRIOR TO INSTALLATION.
16. PUNCHLIST: AT PROJECT COMPLETION, A FORMAL PUNCHLIST WILL BE FORWARDED BY THE OWNER AND DESIGNER. UPON COMPLETION OF THE PUNCHLIST, A LIST WILL BE PREPARED AND SUBMITTED TO ALL PARTIES INDICATING ALL ITEMS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. FOLLOWING COMPLETION OF ALL PUNCHLIST ITEMS, THE CONTRACTOR SHALL OBTAIN THE CONTRACTOR'S SIGNATURE AND SEAL OF APPROVAL. THE PUNCHLIST SHALL BE COMPLETED BY ALL PARTIES WITHIN THE APPROVED AND SPECIFIED TIME FRAME.
17. SHOP DRAWINGS, SAMPLES AND PRODUCT LITERATURE AS REQUIRED, TO BE SUBMITTED TO THE OWNER/ENGINEER FOR APPROVAL.
18. NEITHER THE DESIGNER'S REVIEW NOR APPROVAL OF THE SHOP DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS ON DRAWINGS OR SPECIFICATIONS. NOR SHALL IT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DEVIATIONS FROM ANY SORT IN THE SHOP DRAWINGS.
19. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT PERMISSION OF THE STRUCTURAL ENGINEER, UNLESS SPECIFICALLY NOTED OTHERWISE.
20. SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, AND PATCHING AS REQUIRED TO COMPLETE THE WORK. ALL PATCHED SURFACES SHALL MATCH ADJACENT EXISTING AND/OR NEWLY CONSTRUCTED SURFACES.
21. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE OWNER WITH A MATERIAL WARRANTY AND MAINTENANCE MANUAL FOR ALL EQUIPMENT AND MATERIALS INSTALLED.

SYMBOL LEGEND

SYMBOL	DETAIL CUT	BUILDING SECTION
	DETAIL CUT	BUILDING SECTION
	WINDOW	DETAIL BURIED
	EXTERIOR WALL	
	BUILDING SECTION	
	ROOM NAME AND NUMBER	
	SECTION BURIED	
	DOOR TYPE	
	WINDOW TYPE	
	WALL TYPE	
	CEILING/SOFFIT	
	OUTLINE & CORELINE	
	CORELINE	
	NORTH ARROW	

ABBREVIATIONS

AC	Asph/Flt	AC	Asph/Flt	AC	Asph/Flt
AD	Asph/Flt	AD	Asph/Flt	AD	Asph/Flt
AE	Asph/Flt	AE	Asph/Flt	AE	Asph/Flt
AF	Asph/Flt	AF	Asph/Flt	AF	Asph/Flt
AG	Asph/Flt	AG	Asph/Flt	AG	Asph/Flt
AH	Asph/Flt	AH	Asph/Flt	AH	Asph/Flt
AI	Asph/Flt	AI	Asph/Flt	AI	Asph/Flt
AJ	Asph/Flt	AJ	Asph/Flt	AJ	Asph/Flt
AK	Asph/Flt	AK	Asph/Flt	AK	Asph/Flt
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AM	Asph/Flt	AM	Asph/Flt	AM	Asph/Flt
AN	Asph/Flt	AN	Asph/Flt	AN	Asph/Flt
AO	Asph/Flt	AO	Asph/Flt	AO	Asph/Flt
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BQ	Asph/Flt	BQ	Asph/Flt	BQ	Asph/Flt
BR	Asph/Flt	BR	Asph/Flt	BR	Asph/Flt
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HW	Asph/Flt	HW	Asph/Flt	HW	Asph/Flt

[illegible]

1001 E BONANZA RD,
LAS VEGAS, NV 89101

DATE	12/15/00	22
DRAWN BY	J. WOO TEN	1
CHECKED BY		
SCALE	As Noted	
PROJECT NO.	2023.000	60
PERMIT NO.		

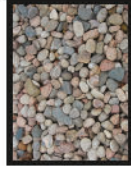
A0.5





23-0178
06/01/2023

LANDSCAPE LEGEND	
SYMBOL	DESCRIPTION
[Symbol]	PLANTING - PINEAPPLE
[Symbol]	PLANTING - PALM



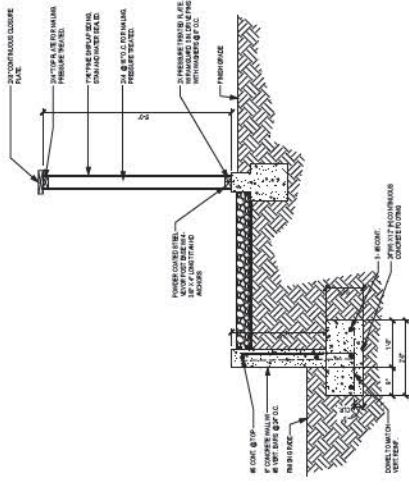
RIVERROCK SAMPLE



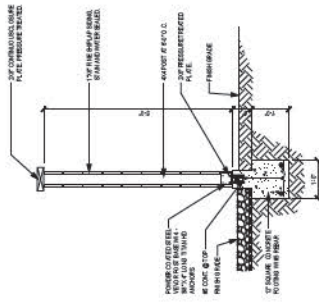
QUEEN PALM SAMPLE



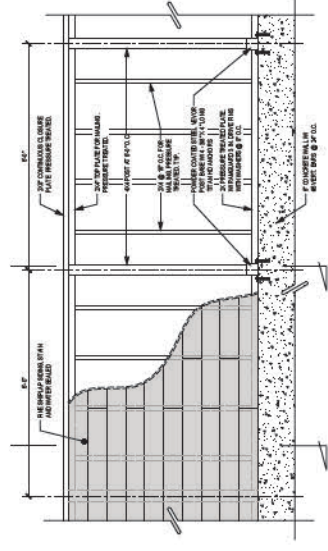
SAMPLE LOOK OF PROPERTY FENCE



7 TYPICAL FENCE FRAMING DETAIL
SCALE: 3/4"=1'-0"

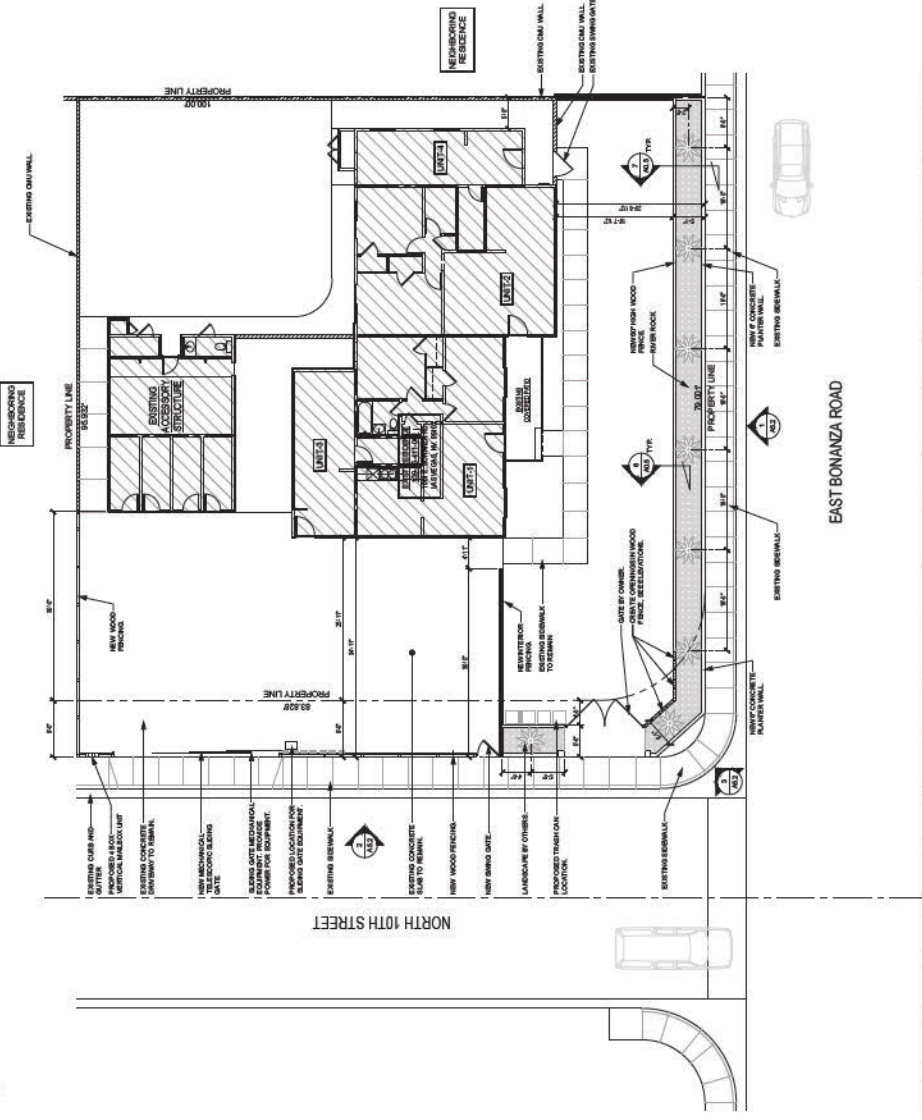


6 TYPICAL FENCE POST DETAIL
SCALE: 3/4"=1'-0"



5 TYPICAL FENCE ELEVATION DETAIL
SCALE: 3/4"=1'-0"

8 SITE DESIGN IDEAS
SCALE: N.T.S.



1 OVERALL NEW SITE PLAN
SCALE: 1/8"=1'-0"

SITE FENCE / LANDSCAPE PLAN,
AND DETAILS
AND ADDITION
LESOURD RESIDENCE REMODEL

1001 E BONANZA RD,
LAS VEGAS, NV 89101

DATE	07/20/2022
DESIGNED BY	J. P. TAYLOR
CHECKED BY	J. P. TAYLOR
SCALE	AS SHOWN
PROJECT NO.	23-0178
DESIGN NO.	23-0178

A0.6

SHEET NO.



ISSUE	DATE	BY
Issued for client approval		
Issued for bidding		
Issued for plan check		
Issued for construction		

REVISIONS	DATE	BY

1001 E BONANZA RD,
LAS VEGAS, NV 89101

DATE	12/16/20 22
DRAWN BY	J. WOOD TEN
CHECKED BY	
SCALE	As Noted
PROJECT NO.	2023.000.62
PERMIT NO.	

AO.7

1994



1 SITE VISIBILITY PLAN
SCALE: 1/8" = 1'-0"



1001 E BONANZA RD,
LAS VEGAS, NV 89101

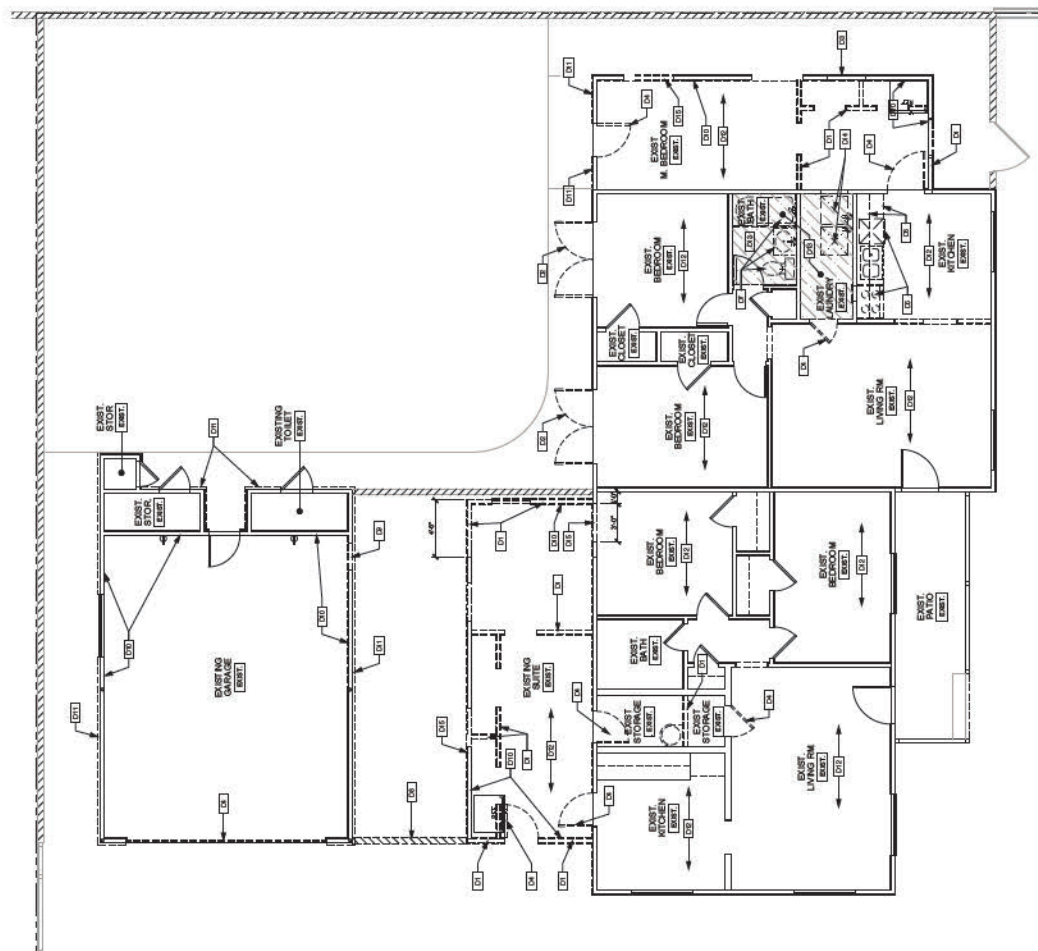
DATE	12/16/2022
BY	J. WOOD TENDLER
CHECKED BY	As Noted
SCALE	2023.000.002
PROJECT NO.	
SHEET NO.	

A1.0

100

DEMOLITION KEY NOTES

2	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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OVERALL DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



04/18/10

1001 E BONANZA RD,
LAS VEGAS, NV 89101

DATE	12/15/20 22
CHECKED BY:	J. WOOD TEN
SCALE	As Noted
PROJECT NO.	20231000 62
PERMIT NO.	




A2.0

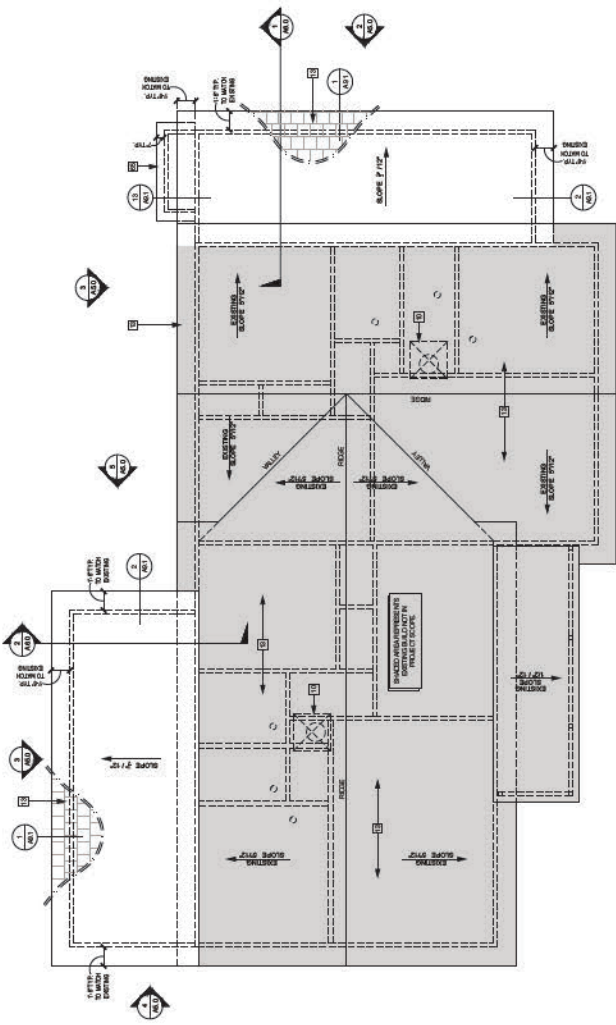
SHEET NO.

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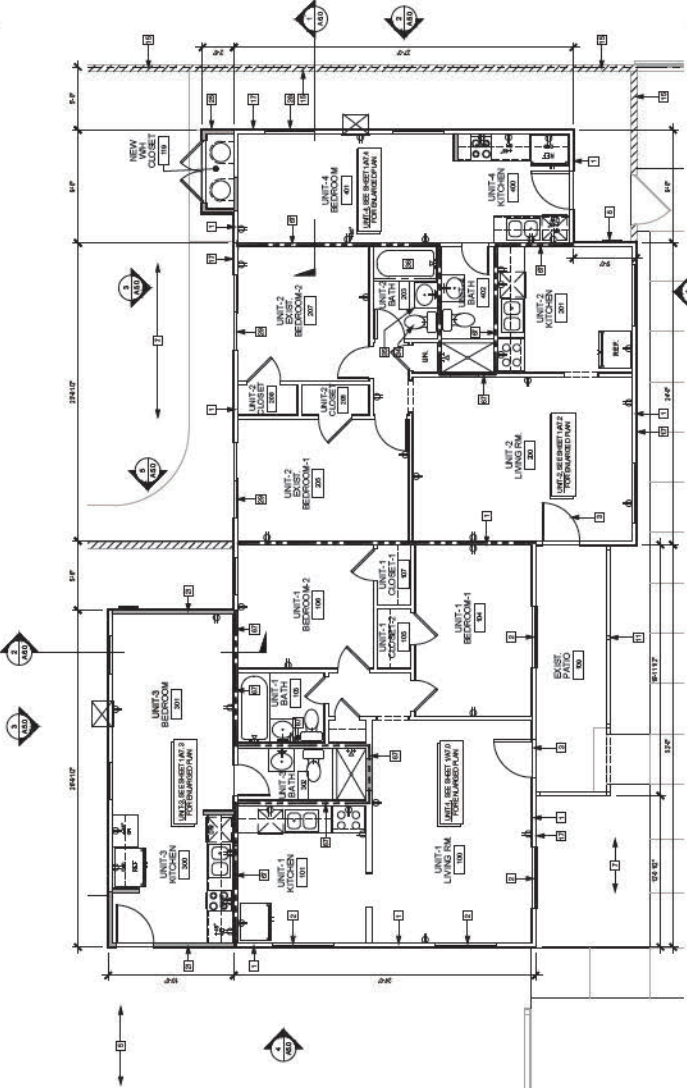
GENERAL ROOF NOTES

1. ROOFING SHALL MATCH EXISTING OR OWNER SHALL SPECIFY
2. AT THE JUNCTURE OF THE ROOF AND VERTICAL SURF, FLASHING AND COUNTERSLASHING SHALL BE PRICED FOR THE ROOFING MANUFACTURER'S INSTRUCTIONS. WHEN OF METAL, SHALL NOT BE LESS THAN 0.010 IN. THICK GALVANEZED SHEET (GALVE) CORROSION RESISTANT METAL. (U.B.C. SEC. 5006)

WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW 24" FINISHED WALL
	1 HOUR RATED REPART CON WALL
NOTES:	
ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD UNLESS OTHERWISE NOTED.	
ALL OPENING BORDERED THROUGHOUT TO BE 5/8" UNLESS OTHERWISE NOTED	



1 OVERALL ROOF PLAN
SCALE: 1/4" = 1'-0"



1 OVERALL FLOOR PLAN



DATE	06/01/2023
DESIGNED BY	ARCHITECT
CHECKED BY	ARCHITECT
IN CHARGE	ARCHITECT
PROJECT NO.	20230002
SHEET NO.	20230002

OVERALL REFLECTIVE CEILING PLAN & SLAB PLAN LESOURD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD.
LAS VEGAS, NV 89101

DATE	06/01/2023
DESIGNED BY	ARCHITECT
CHECKED BY	ARCHITECT
IN CHARGE	ARCHITECT
PROJECT NO.	20230002
SHEET NO.	20230002

A2.1

SHEET NO.

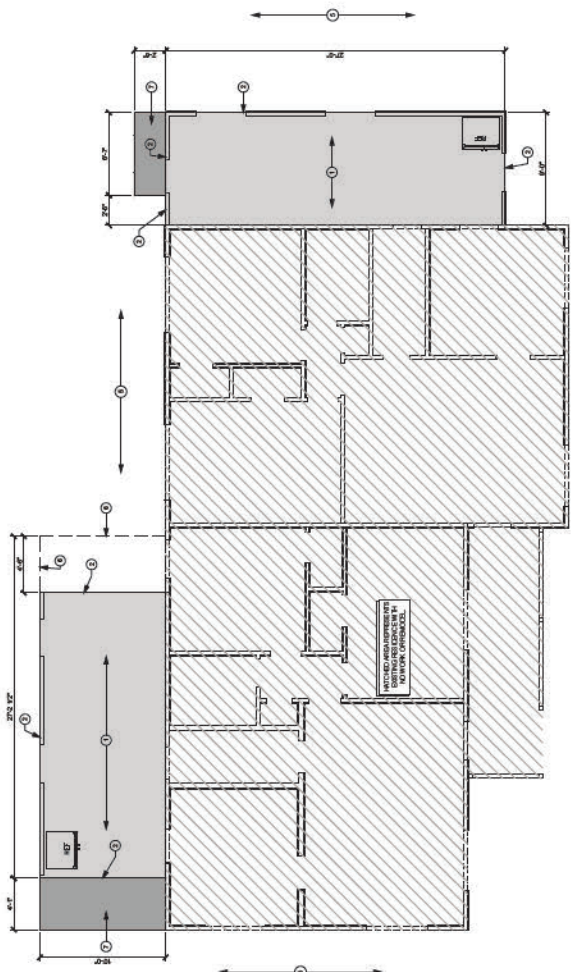
GENERAL NOTES

1. ALL DIMENSIONS INDICATED ON THIS SHEET ARE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COORDINATE ALL WORK ON EXISTING STRUCTURE WITH THE ARCHITECT'S NOTES AND SPECIFICATIONS.
3. CONTRACTOR SHALL COORDINATE ALL WORK ON EXISTING STRUCTURE WITH THE ARCHITECT'S NOTES AND SPECIFICATIONS.
4. CONTRACTOR SHALL COORDINATE ALL WORK ON EXISTING STRUCTURE WITH THE ARCHITECT'S NOTES AND SPECIFICATIONS.

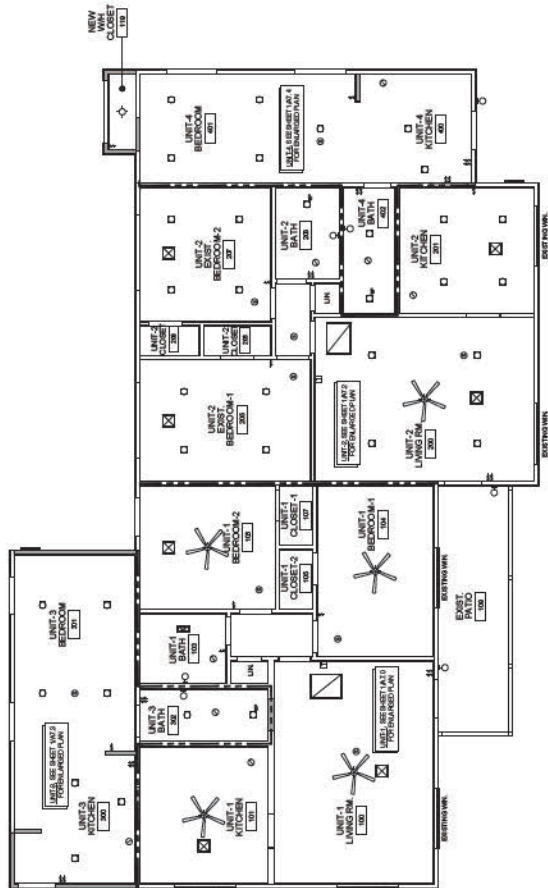
SLAB PLAN KEY

1	NEW CONCRETE SLAB
2	EXISTING CONCRETE SLAB
3	REMOVE EXISTING SLAB
4	REMOVE EXISTING SLAB
5	REMOVE EXISTING SLAB
6	REMOVE EXISTING SLAB
7	REMOVE EXISTING SLAB
8	REMOVE EXISTING SLAB
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99	REMOVE EXISTING SLAB
100	REMOVE EXISTING SLAB

SLAB PLAN LEGEND	
1	EXISTING FLOOR
2	NEW FLOOR TO BE CONSTRUCTED TO BE NEW
3	EXISTING FLOOR
4	REMOVE EXISTING FLOOR
5	REMOVE EXISTING FLOOR
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99	REMOVE EXISTING FLOOR
100	REMOVE EXISTING FLOOR



2 SLAB PLAN
SCALE: 1/4"=1'-0"



1 OVERALL REFLECTIVE CEILING PLAN
SCALE: 1/4"=1'-0"



1001 E BONANZA RD,
LAS VEGAS, NV 89101

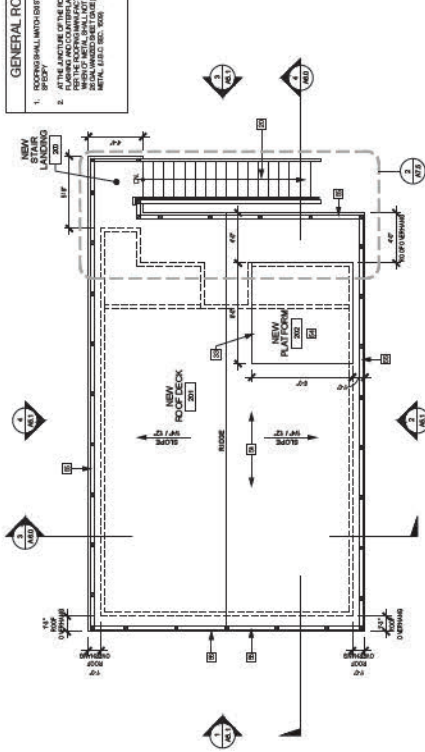
DATE	12/15/2022
GRANTED BY	J. WOOD TEN
CHECKED BY	
SCALE	As Noted
PROJECT NO.	20221000162
SHEET NO.	1

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CONCLUSIONS

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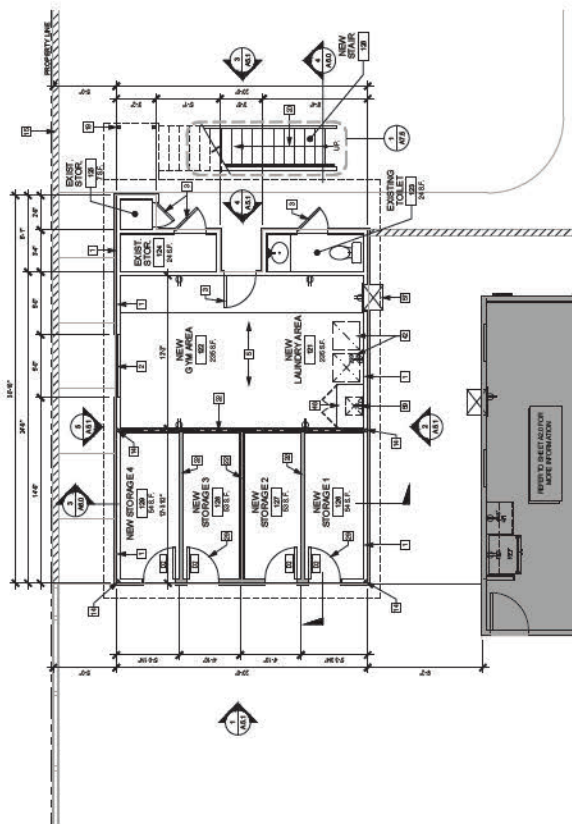
GENERAL ROOF NOTES	
1.	ROOFING SHALL MATCH EXISTING OR OWNER SHALL SPECIFY
2.	AT THE JUNCTURE OF THE ROOF AND VERTICAL SURFACES, FLASHING AND COUNTERFLASHING SHALL BE FORMED TO MEET THE SLOPE OF THE VERTICAL SURFACE. SEE INSTRUCTIONS ON THE ROOFING CONTRACT DOCUMENTS FOR THE PROPOSED ROOFING SYSTEM. THE FLASHING SHALL BE 18 GA. GALV. UNPAINTED STEEL OR 28 GA. UNPAINTED STEEL OR 16 GA. ALUMINUM. RESISTANT METAL, U.S.G. B20, 9009.



2 DETACHED GARAGE - OVERALL ROOF PLAN
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE:		
ITEM NO.	REV	DESCRIPTION
①	001/1	WALL WINDOW (WALL) 2000x1200
②	001/1	WALL WINDOW (WALL) 2000x1200

DOOR SCHEDULE:		
ITEM NO.	REV	DESCRIPTION
①	001/1	WALL WINDOW (WALL) 2000x1200
②	001/1	WALL WINDOW (WALL) 2000x1200
③	001/1	WALL WINDOW (WALL) 2000x1200
④	001/1	WALL WINDOW (WALL) 2000x1200

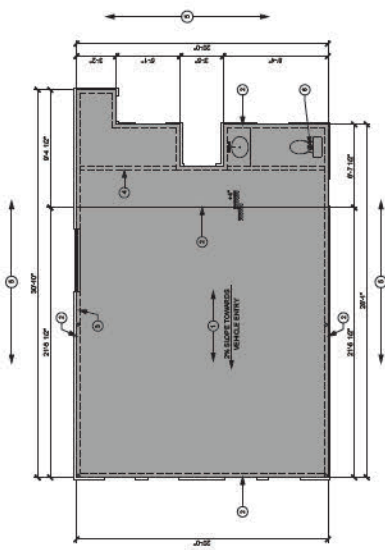


1 DETACHED GARAGE - OVERALL FLOOR PLAN
SCALE: 1/4" = 1'-0"



SLAB PLAN LEGEND	
PLATE	18 IN. THICK
	18 IN. DIA. 18 IN. DIA. 18 IN. DIA.
	18 IN. DIA. 18 IN. DIA. 18 IN. DIA.

146

[illegible]

CEILING PLAN KEYNOTES:

1	EXTERIOR WALL MOUNTED LIGHT FIXTURE.
2	HANGER. REFER TO STRUCTURAL PLAN FOR MORE INFORMATION.
3	RECESSED LIGHT FIXTURE.
4	CEILING MOUNTED LIGHT
5	EXHAUST FAN - VENTED TO EXTERIOR.
6	COMBINATION CARBON MONOXIDE / SHOCK ALARM SMOKE DETECTOR.
7	AIR SUPPLYING FOR MECHANICAL DRAINAGE.
8	CEILING FAN / LIGHT FIXTURE 5' ON CENTER.
9	INTERIOR WALL VANTY LIGHT BY OWNER.
10	WALL MOUNTED LIGHT

PCP GENERAL NOTES

1. REFER TO PLUMBING AND MECHANICAL CONDITIONS & PARTS, PANELS, AND ETC. FOR ADDITIONAL NOTES AND INFORMATION.
2. REFER TO MECHANICAL, DRAWINGS FOR LOCATIONS OF DIFFUSERS, ACCESS PANELS, AND ETC. FOR ADDITIONAL INFORMATION.
3. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS OF ALL MECHANICAL EQUIPMENT AND ETC. FOR ADDITIONAL NOTES AND INFORMATION.
4. ANY LIGHT ROUTING NOTING "AC" OF A WIRELESS SOURCE MAY BE UNDERFLOOR, ETC. ETC. THINGS.
5. ALL CEILING DIMENSIONS ARE FROM A 15" HIGH BOARD TO BOARD.
6. ALL SURVEYED TO BE IN THE TRAILER AND NOT OF THE SURVEYANT.

CEILING PLAN LEGEND

INDICATED CEILING
FINISH TO BE
PAINTED FLOOR

INDICATED CEILING MATERIAL
REFER TO MATERIAL NOTES
BELOW FOR DESCRIPTION

1. 1/2" TYPE "X" GYPSUM BOARD AT UNDERSIDE OF
TRUSSES, SMOOTH FINISH PANEL.

2. 1/2" TYPE "X" WATER AND MOISTURE RESISTANT GYPSUM
BOARD AT UNDERSIDE OF TRUSSES, SMOOTH
FINISH.

3. EXTERIOR STUCCO FINISH TO MATCH EXISTING
FINISH ONCE

OVERALL GARAGE CEILING PLAN
& SLAB PLAN
LESOURD RESIDENCE REMODEL
AND ADDITION

1001 E BONANZA RD,
LAS VEGAS, NV 89101

DATE	12/15/20
DRAWN BY	J. WOOD TE
CHECKED BY	
SCALE	As Noted
PROJECT NO.	2023.000
DESIGNER, INC.	

A3.1

CONCLUSIONS



OVERALL EXTERIOR ELEVATIONS

LEASURD RESIDENCE REMODEL
AND ADDITION

1001 E BONANZA RD,
LAS VEGAS, NV 89101

DATE	12/15/00 22
BY	J. WOOD TEEN
CHECKED BY:	
SCALE	As Noted
PROJECT NO.	2025.000.02
DATE	

A5.0

CONSTITUTION

[illegible]

444 PLOTTS REFERRED TO STRUCTURAL PLANS FOR MORE INFORMATION.

EXTERIOR WOOD STAIR WITH QUARTER- AND WALL MOUNTED HANDRAIL REFER TO STAIR PLAN AND DETAILS FOR MORE INFORMATION

EXTERIOR 2X WOOD STUD WALL WITH APPROVED BAIT INSULATION. 1X DRYWALL INTERIOR SIDE AND 5/8" BRON FINISH PER ELEVATIONS.

INT BROR 2X WOOD STUD WALL W/ 1" DRYWALL BOTH SIDES. GYP. BD. SURFACES IN KITCHENS AND BATHROOMS ARE TO BE MATCHED TO ADJACENT

CONCRETE BLIND ON GROUND, REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION. SLOPE 1/4" PER FOOT TOWARD DRAINAGE DOOR.

CONCRETE PAVED BLANKET ON BEDDING WHERE REQUIRED.

EXTERIOR/STUDIO MEMBER SYSTEM TO MATCH EXISTING RESIDENCE.

ELECTRICAL, ROLL-UP GARAGE DOOR WITH KEYFORD ENTRY.

NEW 1 1/2" INSULATED EXTERIOR 1" CHAIR

17 ROOF ASPHALT SHINGLES OVER WATERPROOFING ROOF
DOOR REFER TO DOOR SCHEDULE FOR MORE INFORMATION
20 WINDOW, REFER TO WINDOW SCHEDULE FOR MORE INFORMATION
21 WALL ABOVE DOOR SCHEDULE LINE.

FINISH GRACE TO ELUDE MAIL OF BE AWAY FROM THE FOUNDATION WITHIN THE FIRST 10-07.

LANDSCAPE BY THE RE.

BASED UPON A STATION. ACCESS TO THE AND THE. FURNISHED AND

15 FLOOD-DAMAGED TOILET, TO BE REBUILT BY OWNER.
 16 VANITY/SINK COMBO, BY OWNER.

STONE/VAULT HOOD TO MENT TO THE EXTERIOR HOOD LIST O BE SELECTED BY OWNER AND INSTALLED PER MANUFACTURE RECOMMENDATIONS.

27	ELECTRIC KITCHEN STOVE, TO BE SELECTED BY OWNER.
28	REFRIGERATOR, TO BE SELECTED BY OWNER.
29	DISHWASHER, TO BE SELECTED BY OWNER.

OWNER PROMISED ELECTRIC WATER HEATER.
WASHER / DRYER. TO BE SELECTED BY OWNER. (DRYER TO
ALWAYS BE ON THE RIGHT, WASHER ON THE LEFT)
COUNTERTOP TO BE INSTALLED AT 90" MAX. FROM FINISH FLOOR.

111 WITH A UNDER MOUNT SHS. TO BE SELECTED BY OWNER.

112 1/4" BRICK FLOOR FINISH TO BE SELECTED BY OWNER.

113 SIGMA DISTRIBUTIONAL DRAWING.

114 SEE THE CONTRACT DOCUMENTS FOR THE PROJECT.

R-50 CEILING / ATTIC INSULATION
R-10 EXTERIOR WALL INSULATION
MILLWORK / CABINETS BY OTHERS

CONCRETE CLIMB PER STRUCTURAL DRAWINGS FOR
CONCRETE FOOTING. REFER TO STRUCTURAL DRAWINGS FOR
MORE INFORMATION.

DOOR / WINDOW / SEALER, REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.

ROOF BRISA THING PER STRUCTURAL ENGINEERING.

MORE INFORMATION

24 LIGHT WEIGHT-CONCRETE WITH A COOL, DECK-FINISH SLOPE TO
25 EDGE OF ROOF. ROOF TOP COOL DECKING MATERIAL.
26 ROOF TOP GUARD RAIL. TOP OF RAIL AT 42" FROM FINISH
27 FLOORING. REFER TO DETAIL FOR MORE INFORMATION.
28

20 21 22

20 GALLON ELECTRIC WATER HEATER. INSTALL UNDER CUSTOM CABINET.

SHOWER MIXTURE AND CONTROLS

SHOWER CURTAIN

WALL MOUNTED IN KERALA • 2-1/2" FROM TREAD

LOW ROOF FOR WATER HEATER CLOSEST, REFERS TO DETAIL.

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MAIN RESIDENCE - WEST EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"

2 MAIN RESIDENCE - NORTH EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"

2 MAIN RESIDENCE - EAST EXTERIOR ELEVATION

SCALE : 1/4" = 1'-0"

5 MAIN RESIDENCE - EAST EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

1 MAIN RESIDENCE - SOUTH EXTERIOR ELEVATION

SCALE : 1:400 = 1:100



DATE	12/15/20 22
DRAWN BY	J. WOOD TENNIS
CHECKED BY:	As Noted
SCALE	2023.000 60.00
PROJECT NO.	
SHEET NO.	

UNIT NO.

SCALE : 1 MP = 7.0°





DATE	12/15/20 22
DRAWN BY	J. WOOD TENNIS
CHECKED BY:	As Noted
SCALE	2023.000 60.00
PROJECT NO.	
SHEET NO.	

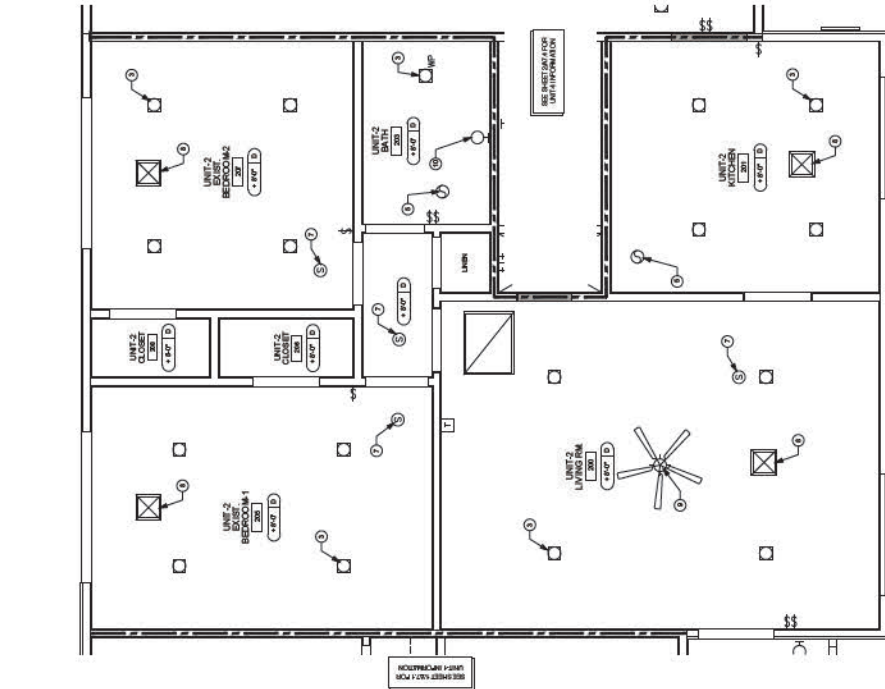
A7.1

- 1 UNIT-1 ENLARGED REFLECTIVE CEILING PLAN
SCALE: 1/2"=1'-0"

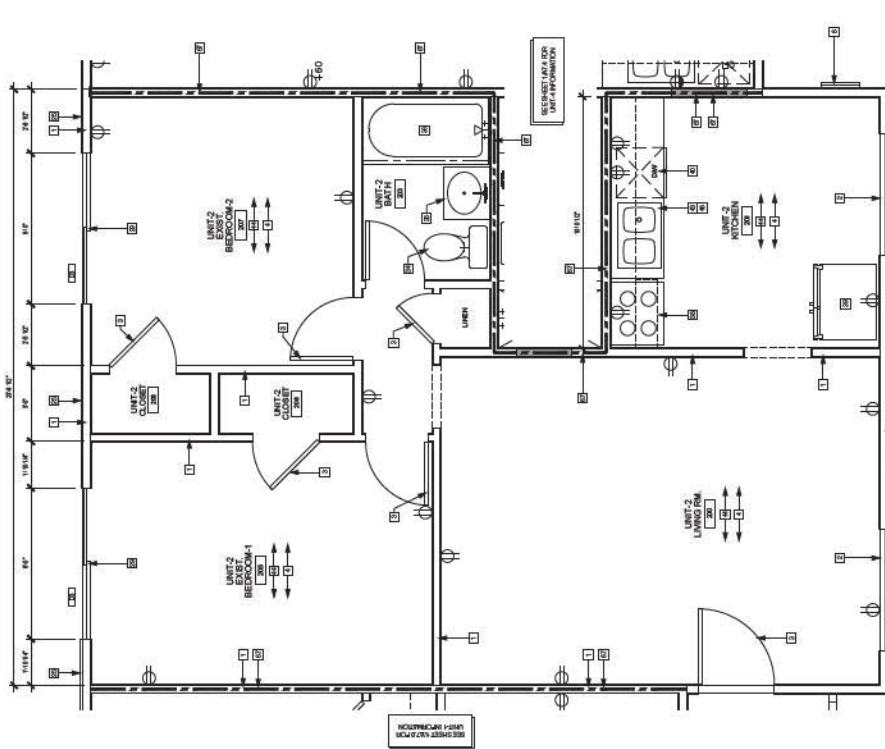
CEILING PLAN KEYNOTES:	
1	EXTERIOR WALL MOUNTED LIGHT FIXTURE
2	WALL MOUNTED LIGHT FIXTURE
3	RECESSED LIGHT FIXTURE
4	CEILING MOUNTED LIGHT
5	EXHAUST FAN - REFER TO DET. BOOK
6	COMBINATION CROWN MOULDURE / BRACKET ALARM
7	BRACKET ALARM
8	EXTERIOR AIR EXHAUST
9	EXTERIOR AIR EXHAUST
10	EXTERIOR AIR EXHAUST
11	EXTERIOR AIR EXHAUST
12	WALL MOUNTED LIGHT

RCP GENERAL NOTES	
1	REFER TO UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
2	REFER TO UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
3	REFER TO UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
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12	REFER TO UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION

ELECTRICAL LEGEND	
1	60 AMP CIRCUIT BREAKER
2	60 AMP CIRCUIT BREAKER
3	60 AMP CIRCUIT BREAKER
4	60 AMP CIRCUIT BREAKER
5	60 AMP CIRCUIT BREAKER
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11	60 AMP CIRCUIT BREAKER
12	60 AMP CIRCUIT BREAKER



UNIT-2 ENLARGED REFLECTIVE CEILING PLAN
SCALE: 1/8" = 1'-0"



UNIT-2 ENLARGED FLOOR PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND	
1	EXTERIOR WALL
2	INTERIOR WALL
3	GLASS PARTITION WALL
4	GLASS PARTITION WALL
5	GLASS PARTITION WALL
6	GLASS PARTITION WALL
7	GLASS PARTITION WALL
8	GLASS PARTITION WALL
9	GLASS PARTITION WALL
10	GLASS PARTITION WALL
11	GLASS PARTITION WALL
12	GLASS PARTITION WALL

KEYNOTES:	
1	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
2	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
3	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
4	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
5	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
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10	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
11	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION
12	SEE UNIT 2 GENERAL NOTES FOR ADDITIONAL INFORMATION

CUSTOMFIT
BY THE WAY

PROFESSIONAL ENGINEER
STATE OF NEVADA
EXPIRATION DATE: 12/31/2024
LIC. NO. 0003438
CLAUDE B. B. B.

UNIT-2 ENLARGED PLANS

LESOURD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD.
LAS VEGAS, NV 89001

DATE: 06/01/2023
DRAWN BY: J. J. J.
CHECKED BY: J. J. J.
PROJECT NO: 20230002
SHEET NO: 1



ENLARGED STAIR PLANS AND SECTION LESSORD RESIDENCE REMODEL AND ADDITION

1001 E BONANZA RD.
LAS VEGAS, NV 89101

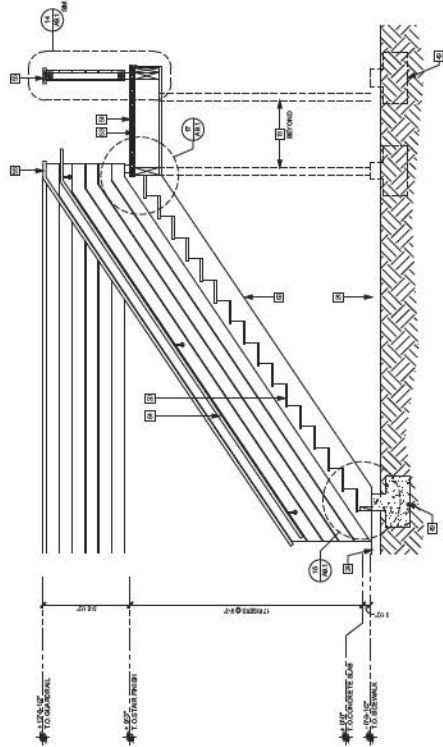
DATE	12/20/2022
DESIGNED BY	J. W. T. T.
CHECKED BY	
SCALE	AS SHOWN
PROJECT NO.	20220002
DRAWN BY	

A7.5

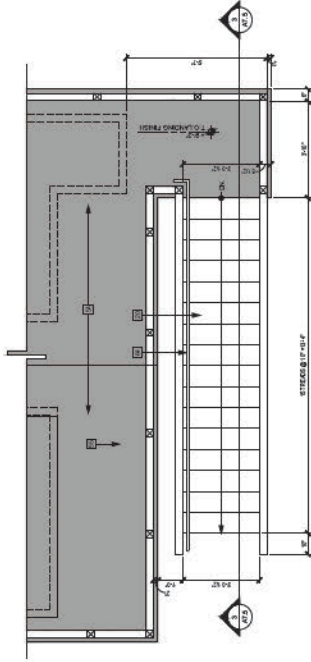
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KEYNOTES:

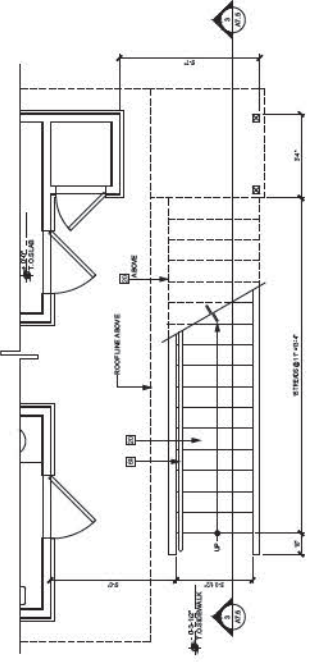
1. SETTING 3" THICK WALLS TO REMAIN.
2. SETTING REWORK TO REMAIN.
3. SETTING BASED FLOOR SYSTEM WITH OVER 18" THICK CONCRETE SLAB TO REMAIN.
4. SETTING CONCRETE SLAB ON GRADE.
5. SETTING ROOF FLOOR JOIST TO REMAIN.
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100. SETTING ROOF FLOOR JOIST TO REMAIN.



3 STAIR SECTION
SCALE: 1/2" = 1'-0"



2 ENLARGED 2ND FLOOR STAIR PLAN
SCALE: 1/2" = 1'-0"

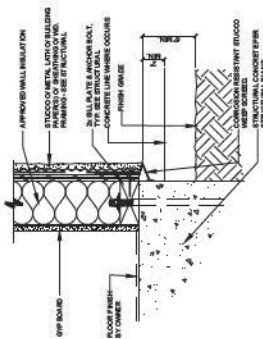


1 ENLARGED 1ST FLOOR STAIR PLAN
SCALE: 1/2" = 1'-0"

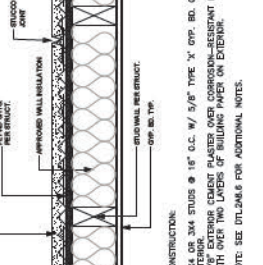
DETAILS

TYPICAL FOUNDATION DETAIL

TYPICAL



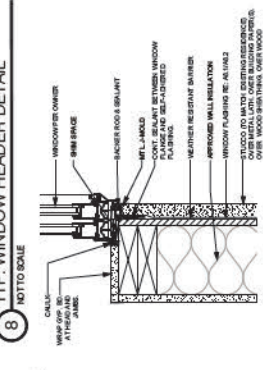
TYPICAL



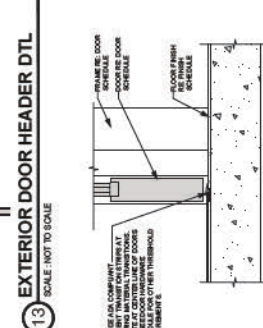
TYPE

TYPICAL EXTERIOR WALL

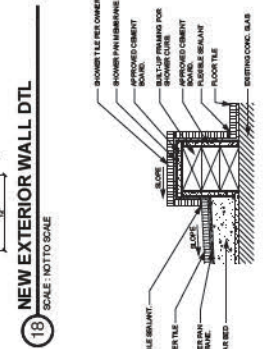
TYPICAL



TYP. WINDOW SILL/JAMB DETAIL



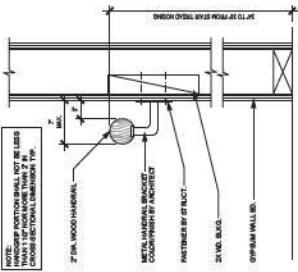
EXTERIOR DOOR THRESHOLD



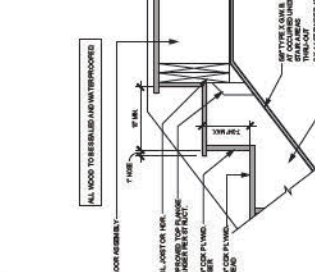
SHOWER CURB

SHOWER C

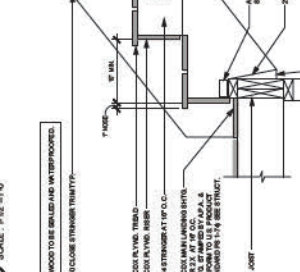
NOTE: ALL WOOD TO BE SEaled AND WATERPROOFED.



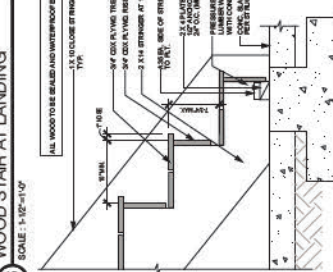
18 WOOD STAIR AT TOP
SCALE: 1/2\"/>



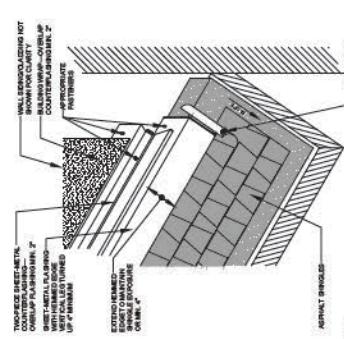
17 WOOD STAIR AT TOP
SCALE: 1/2\"/>



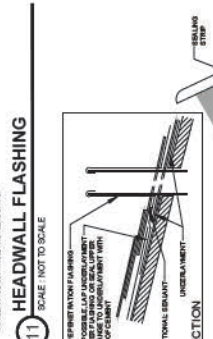
16 WOOD STAIR AT LANDING
SCALE: 1/2\"/>



15 WOOD STAIR AT SLAB
SCALE: 1/2\"/>



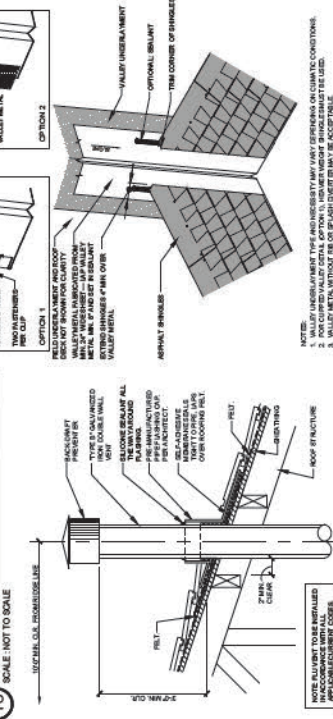
11 HEADWALL FLASHING
SCALE: NOT TO SCALE



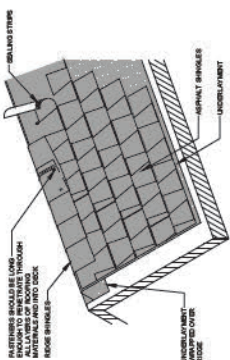
14 ROOF GUARDRAIL DETAIL
SCALE: NOT TO SCALE



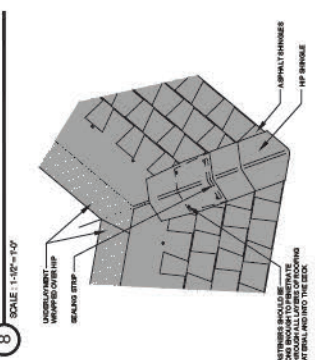
13 ROOF TO WALL PERP.
SCALE: NOT TO SCALE



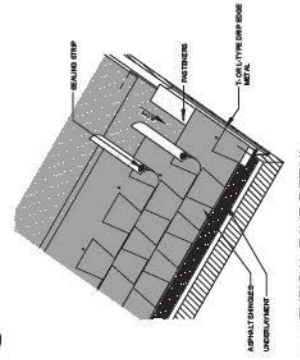
12 FLUE VENT ROOF PENETRATION
SCALE: NOT TO SCALE



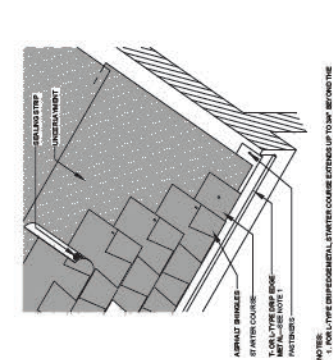
8 RIDGE DETAIL
SCALE: 1/2\"/>



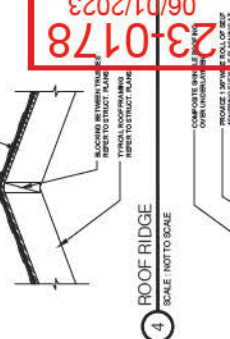
7 TYPICAL HIP CONNECTION DETAIL
SCALE: NOT TO SCALE



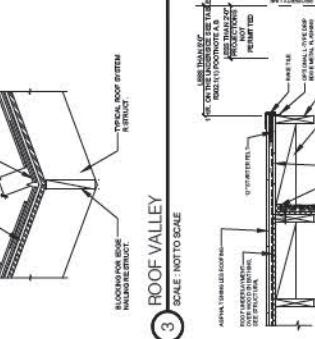
6 TYPICAL EAVE DETAIL
SCALE: NOT TO SCALE



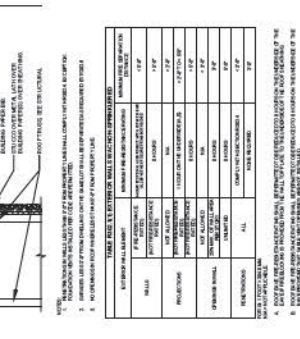
5 TYPICAL EAVE DETAIL
SCALE: NOT TO SCALE



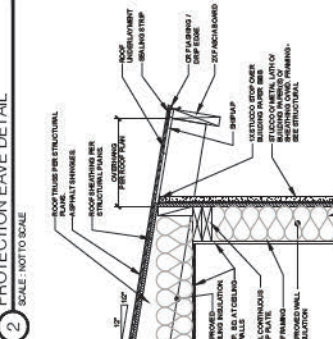
4 ROOF RIDGE
SCALE: NOT TO SCALE



3 ROOF VALLEY
SCALE: NOT TO SCALE



2 PROPERTY LINE PROTECTION EAVE DETAIL
SCALE: NOT TO SCALE



1 TYPICAL EAVE DETAIL
SCALE: NOT TO SCALE



CONTRACTOR



CLASS B-2
LIC. #0083438

STATE OF NEVADA

DATE: 06/01/2023

PROJECT NO. 23-0178

PROJECT NAME: LESSOURD RESIDENCE REMODEL AND ADDITION

PROJECT ADDRESS: 1001 E BONANZA RD, LAS VEGAS, NV 89001

PROJECT NO. 23-0178

PROJECT NAME: LESSOURD RESIDENCE REMODEL AND ADDITION

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PROJECT ADDRESS: 1001 E BONANZA RD, LAS VEGAS, NV 89001

PROJECT NO. 23-0178



COUNTER SLOPE OF SURFACES ADJACENT TO CURB RAMES
FIG. 40d.2

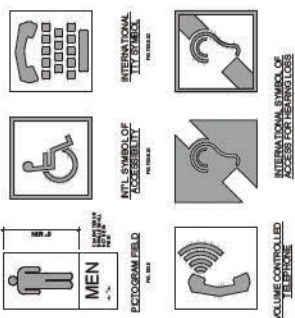
SCALE: N.T.S.

CURB SI
SCALE: N.T.S.



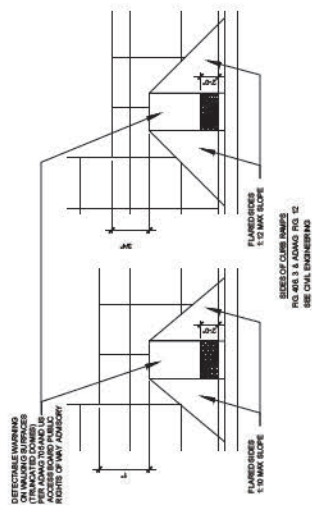
SCALE: N.T.S.

SCALE: N.T.S.



SCALE: N.T.S.
ADA DETAILS 2

SCALE: N.T.S.



SCALE: N.T.S.

SCALE: N.T.S.

ADA TYPICAL DETAILS
 CURD RESIDENCE REMO
 AND ADDITION

LESOURD RESIDENCE REMODEL
AND ADDITION

1001 E BONANZA RD,
LAS VEGAS, NV 89101

DATE:	12/15/2022
DRAWN BY:	J. WOOTEN
CHECKED BY:	
SCALE	As Noted
PROJECT NO.	2023.0006
PERMIT NO.	

A10.1

SHEET NO.