



# DEPARTMENT OF PLANNING

## Application / Petition Form & Statement of Financial Interest

### Department Use

Case #
Meeting Date
Total Fee
Received By/Date

**Case Type** (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) SITE DEVELOPMENT REVIEW

**Project Address** (Location) East of MICHAEL WAY and South of CHEYENNE AVENUE

**Project Name** CRYSTAL PARK APARTMENTS **Proposed Use** RESIDENTIAL

**Assessor's Parcel #(s)** 138-13-512-009 and 010 **Ward #** \_\_\_\_\_

**General Plan:** Existing \_\_\_\_\_ Proposed \_\_\_\_\_ **Zoning:** Existing R-3 Proposed R-3

**Additional Information** \_\_\_\_\_

**Property Owner** 3000 M W LLC **Contact** JOSEPH RIGGS

**Address** 3065 NORTH RANCH DRIVE, SUITE # 132 **City** LAS VEGAS **State** NV **Zip** 89130

**E-mail** jriggs@eabinv.com **Phone** (702)331-9080 Ext. 105

**Applicant** 3000 M W LLC **Contact** JOSEPH RIGGS

**Address** 3065 NORTH RANCH DRIVE, SUITE # 132 **City** LAS VEGAS **State** NV **Zip** 89130

**E-mail** jriggs@eabinv.com **Phone** (702)331-9080 Ext. 105

**Representative** VTN-NEVADA **Contact** Jeffrey Armstrong

**Address** 2727 SOUTH RAINBOW BOULEVARD **City** LAS VEGAS **State** NV **Zip** 89146

**E-mail** jeffreya@vtnnv.com **Phone** (702)873-7550

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

**City Official** \_\_\_\_\_ **Partner(s)** \_\_\_\_\_

**Partner(s)** \_\_\_\_\_

- I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

**Property Owner Signature** \_\_\_\_\_

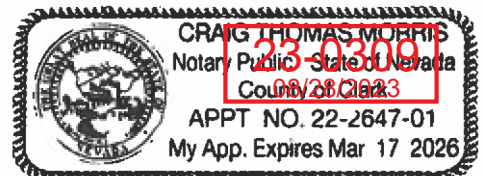
An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

**Print Name** JOSEPH RIGGS

Subscribed and sworn before me

This 8th day of June, 2023

Notary Public in and for said County and State





VICINITY PLAN

CHEYENNE AVE

RANCHO DRIVE

HAIRE WAY

MOSSMAN AVE

MICHAEL WAY

R3 ZONE

C2 ZONE

M1 ZONE

R1 ZONE

[illegible]

The image contains two architectural drawings. The top drawing is a cross-section of a 'DECORATIVE PERIMETER WALL' (A). It shows a wall with a 'CONCRETE PILASTER CAP' at the top, followed by 'SPLIT FACE CMU WALL and PILASTERS', 'WROUGHT IRON INFILL', and 'SPLIT FACE CMU BASE and PILASTERS'. A detail callout shows a 'COORDINATE WALL CAP and WROUGHT IRON CAP PROFILE w/OWNER'. The bottom drawing is a plan view of a 'TRASH ENCLOSURE' (A). It shows a rectangular enclosure with a 'PERFORATED IRON VISION' and 'WROUGHT IRON VISION' section. A detail callout shows a 'PAIR TUBE STEEL GATES'. The enclosure is labeled 'TRASH ENCLOSURE (TYP)' and 'PERFORATED IRON VISION STEEL FRAME ROOF (TYP)'. Dimensions are given as 1'-8" and 6".

**DECORATIVE PERIMETER WALL (A)**

- CONCRETE PILASTER CAP
- SPLIT FACE CMU WALL and PILASTERS
- WROUGHT IRON INFILL
- SPLIT FACE CMU BASE and PILASTERS
- COORDINATE WALL CAP and WROUGHT IRON CAP PROFILE w/OWNER

**TRASH ENCLOSURE (A)**

- PERFORATED IRON VISION STEEL FRAME ROOF (TYP)
- PAIR TUBE STEEL GATES
- WROUGHT IRON VISION
- TRASH ENCLOSURE (TYP)

### 3 SITE ELEMENTS

## 2 RI ADJACENCY SETBACK



SCALE: 1" = 40'-0"

ADJACENT RI ZONE

-EXISTING 6" HIGH CMU

DRAINAGE OUTLET

NOTE: THESE PLANS ARE SUBJECT TO INTERVAL CITY/COUNTY PLANNING DEPARTMENT'S GENERAL REQUESTS TO THE GENERAL CONTRACTOR & SUBCONTRACTORS SHALL VERIFY WITH THE OWNER ARCHITECT THAT THEY ARE IN POSSESSION OF THE MOST RECENT SET PRIOR TO FINALIZING CONTRACT PURCHASE, FABRICATION AND INSTALLATION OF ALL BUILDING COMPONENTS & SYSTEMS

NEVADA

DATE: \_\_\_\_\_

REVISIONS

KC CAMIS  
ARCHITECT  
BECAUSE ARCHITECTURE  
SHOULDN'T BE TORTURE  
PO BOX 91531  
HENDERSON, NV 89009

ccam18@gmail.com  
702.262.9473  
FAX 253-1182

DRAWINGS & SPECIFICATIONS OF THIS ARCHITECT  
REMAIN SOLELY HIS PROPERTY. THEY ARE TO BE  
USED ONLY FOR THE PROJECT FOR WHICH THE  
WERE PRODUCED. UNTIL SEALED, SIGNED, & DATED  
THEY ARE NOT FINAL OR VALID. ANY USE OR  
REPRODUCTION OF THESE DOCUMENTS WITHOUT  
THE WRITTEN CONSENT OF THE ARCHITECT IS  
PROHIBITED.

23-0309



VICINITY PLAN

CHEYENNE AVE

RANCHO DRIVE

C3 ZONE

M1 ZONE

R3 ZONE

R1 ZONE

MICHAEL WAY

HARE WAY

NOSTRAND AVE

SHRUBS AND GROUND COVER		
TEXAS RANGER LEICORANTULP Intense	5 GALL	20
TEXAS RANGER (GREEN GLOD) LEICORANTULP Intense	5 GALL	56
FOUNTAIN GRASS PENNINEI setaeum	5 GALL	23
DESERT BROOM SALICARJAS serotoides	5 GALL	52
ROSE HENUS officinalis	5 GALL	31
DESERT BROOM PASTILTRON (weeler)	5 GALL	41
TEXAS FROET LEASTYR LIPORICUM	5 GALL	61
RED ROCK POTINIA	5 GALL	62
SCOTIE PONTINA POTINIA laser	5 GALL	68
TOTAL	536	483
	(536 REQ'D)	

NOTE - PERMIETTER SHRUBS SHALL BE PROVIDED AT A RATE OF 1 SHRUB PER ACRE. AVERAGE AT LOCATIONS WHERE PERMITMENT IS CONSIDERED.

NOTE - PERMIETTER SHRUBS SHALL BE PROVIDED AT A RATE OF 4 SHRUBS PER EVERY REQUIRED TREE.

- ▶ **TRAINING LANTANA**  
LANTANA *L. camara* DesRoi.
- ▶ **DECORATIVE LANDSCAPE BOLLERS**
- ▶ **NOTES:**  
1. LANDSCAPE BOLLERS: GROUND COVER TO BE 1/3 PLANTED IN GRASS - FINAL COLOR SELECTION TO OWNER
- ▶ **IRRIGATION**
- ▶ **EMITTERS**
  - 3. THREE - (3) JUNCIE TURBO-50 (DP) .08" PER TREE
  - SHRUBS - (1) HARDIE TURBO-50 (DP) .08" PER SHRUB
  - EMITTERS - (1) HARDIE TURBO-50 (DP) .08" PER SHRUB
  - NOTES:
  - 1. ALL 24-VOLT WIRING SHALL BE 14/2 PL DIRECT BURIAL, SOLID COPPER
  - 2. ALL FIRING AND DIRECT BURIAL WIRING UNDER 100' SHALL BE 14/2 PL DIRECT BURIAL
  - 3. SLEEVES 1/2" DIA. SHALL BE 1/2" DIA. RIGID PVC OF PIPE BEING USED.
  - 3. CONTRACTOR SHALL INSTALL ALL 24-VOLT WIRING FROM CONTROLLERS TO VALVES AND MAIN LINE ENCLOSED IN 2" O.D. CLASS 75 PVC PIPE
  - 4. INDIVIDUAL EMITTERS ARE NOT SHOWN ON DRAWINGS FOR CLARITY, SEE SCHEDULE FOR EMITTERS TO BE USED
  - 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPE INSTALLATION TO DETERMINE VOLUME QUANTITY OF EMITTERS.
  - 5. DISTRIBUTION PIPE FOR DRIP (EMITTER) SYSTEM SHALL BE 3/4" CLASS 4500 P.V.C (min)



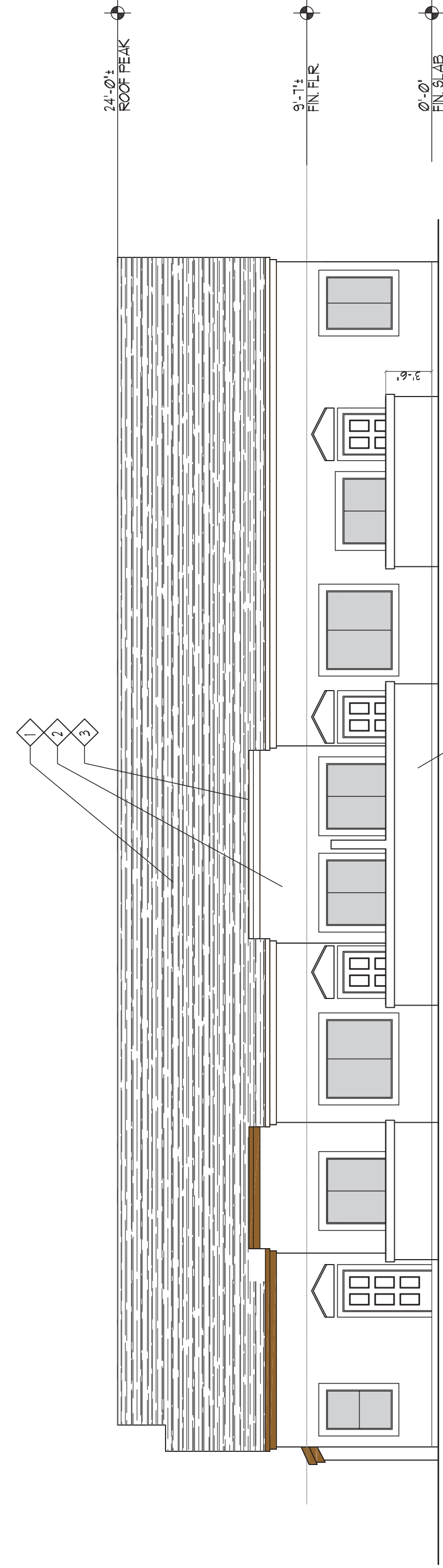
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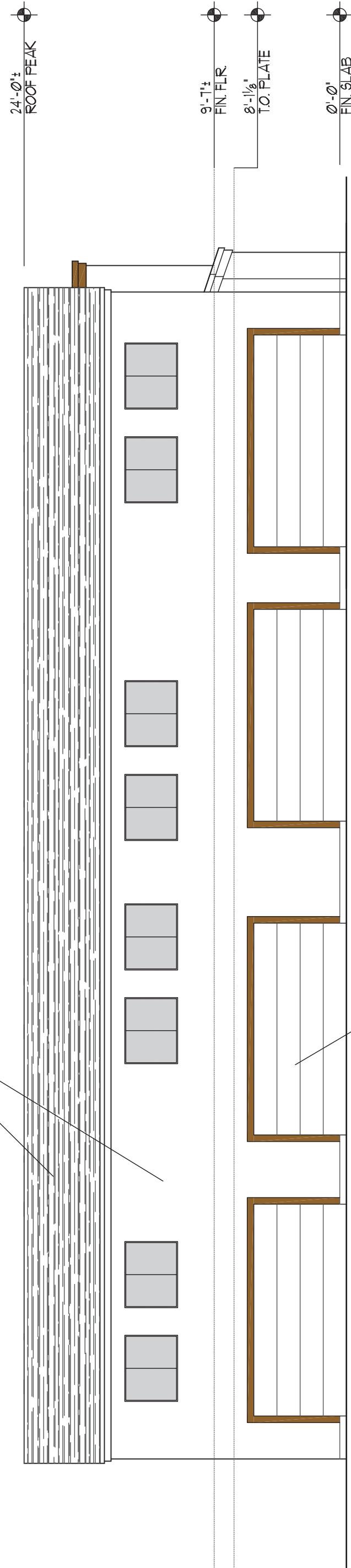




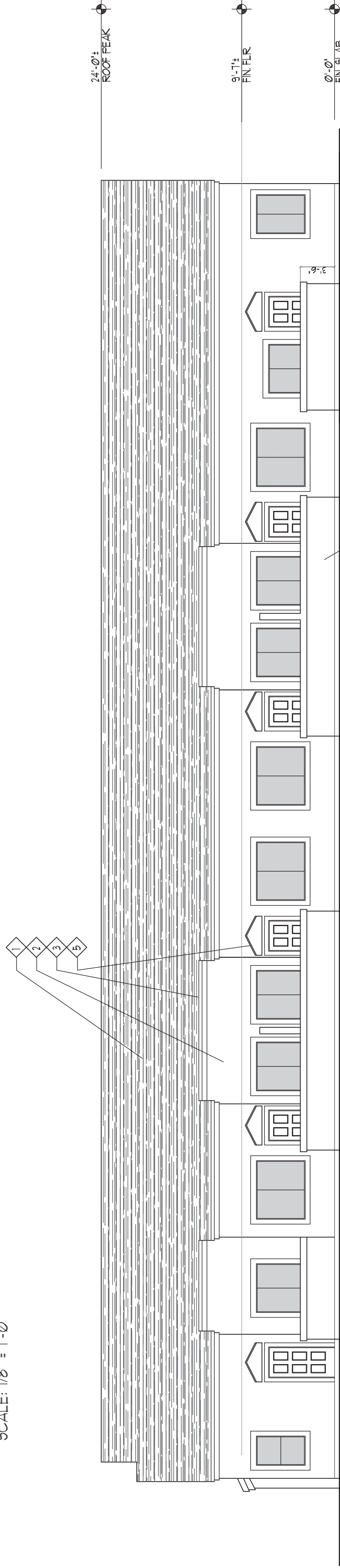
COLOR SCHEME	KEYNOTES
<div><div>(A) STUCCO FIELD SHERWIN WILLIAMS SUBS11 IRISH CREAM</div><div>(B) TERRAZZO/CLADDOORS SHERWIN WILLIAMS SUBS50 RESORT TAN</div><div>(C) ROOF CONCRETE TILE - SLATE PROFILE DESERT TAN</div><div>(D) WINDOWS VINYL CLAD - WHITE</div><div>(E) STANDING SEAM METAL MATCH DESERT TAN TILE</div></div>	<div><div>No.</div><div>Description</div></div> <div><div>1</div><div>CONCRETE ROOF TILE (SLATE PROFILE) 6/12 FELD</div></div> <div><div>2</div><div>STUCCO 6/FAIRBACK -HEXURE 6/12 SHEATHING (VENTILATION WITH OWNER)</div></div> <div><div>3</div><div>DECORATIVE STUCCO FASCIA</div></div> <div><div>4</div><div>DECORATIVE STUCCO SCREEN WALL</div></div> <div><div>5</div><div>STANDING SEAM METAL ROOF 6/12 FELD</div></div> <div><div>6</div><div>OVERHEAD SECTIONAL DOOR</div></div> <div><div>7</div><div>DECORATIVE STUCCO PLANT ON TRIM</div></div>



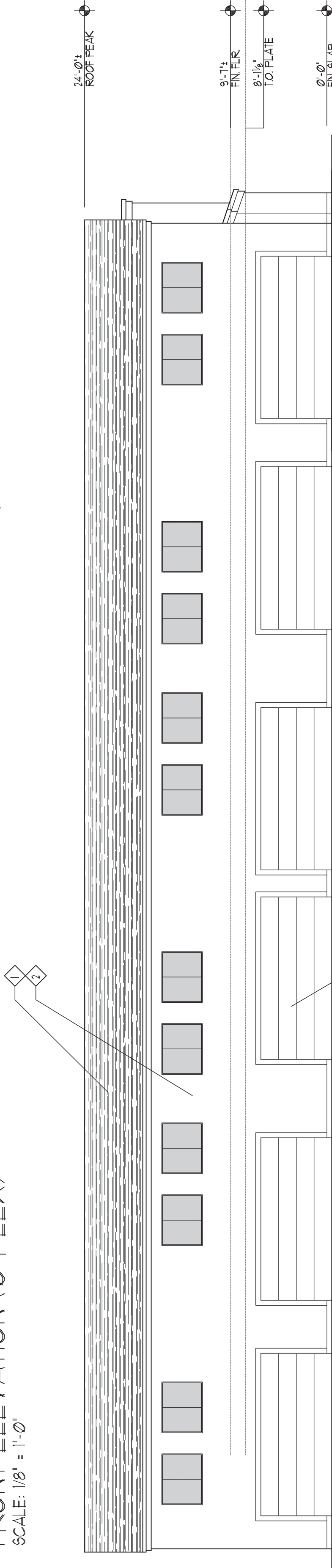
6 FRONT ELEVATION (4 PLEX)  
SCALE: 1/8" = 1'-0"



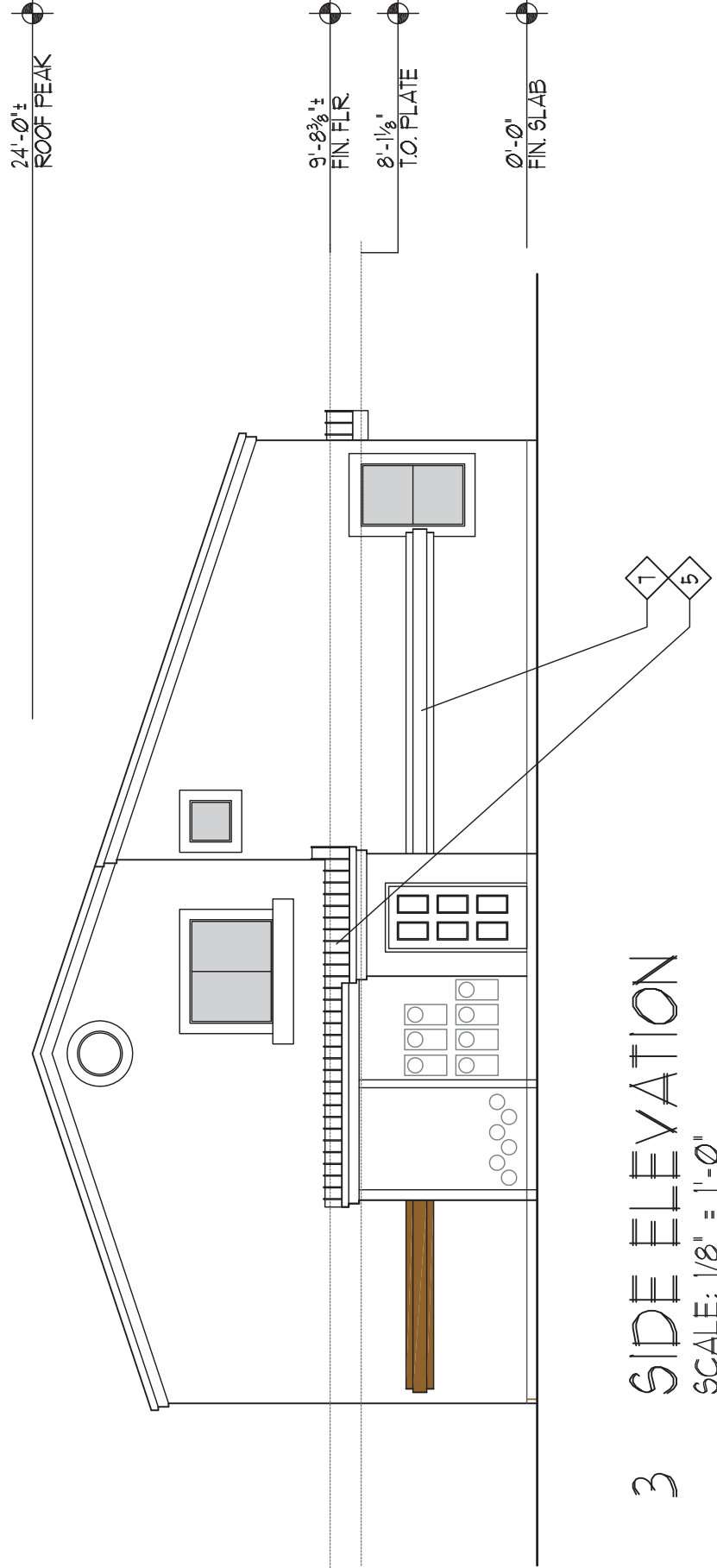
5 BACK ELEVATION (4 PLEX)  
SCALE: 1/8" = 1'-0"



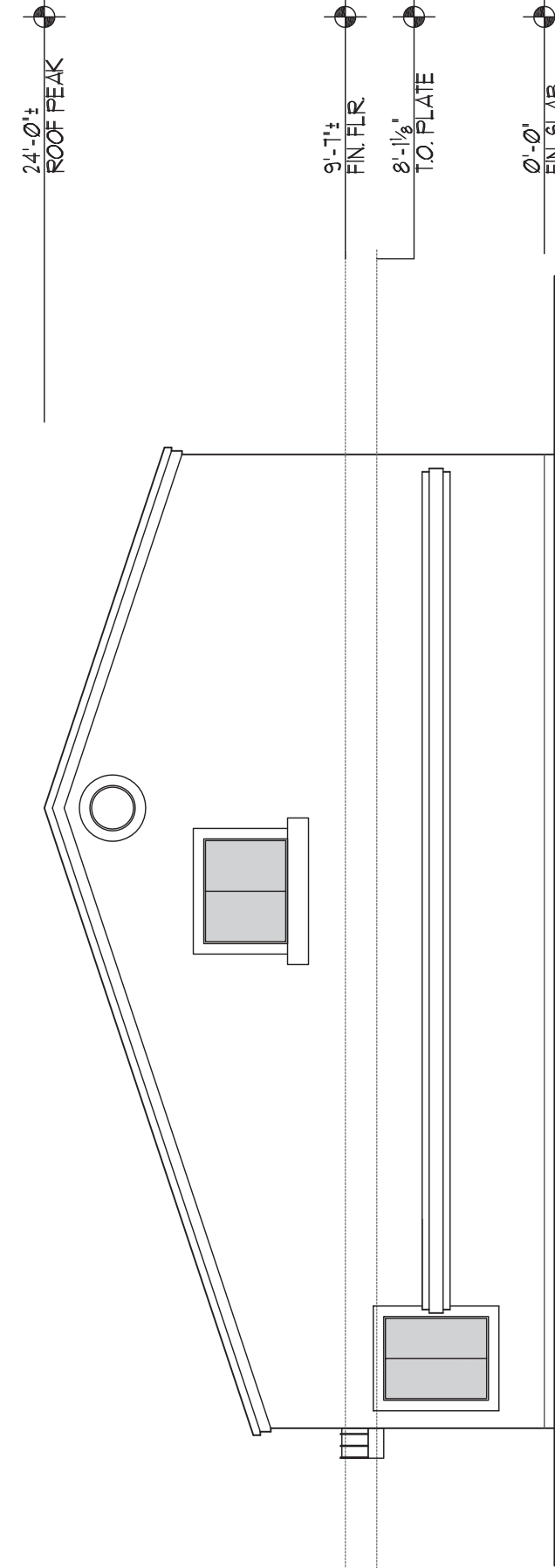
4 FRONT ELEVATION (6 PLEX)  
SCALE: 1/8" = 1'-0"



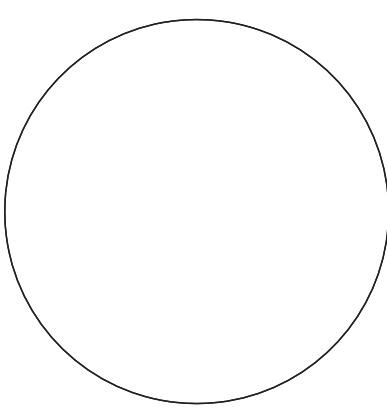
2 BACK ELEVATION (6 PLEX)  
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



1 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

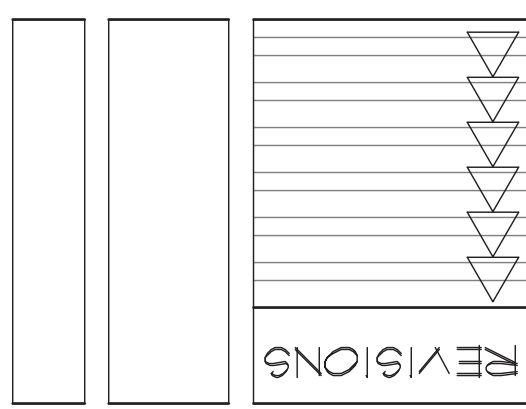


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02/20/2023 10:00 AM



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kccarchitects@gmail.com



JOB: CN11222  
DATE: .

CLARK COUNTY  
FOR: 3000 ME LLC  
PHASE 1  
DUBOIS TRAIL  
DUBOIS TRAIL  
NEVADA

NOTHING IS TO BE SUBMITTED TO INTERNAL CITY/COUNTY PLANNING DEPARTMENTS AND OTHER CONTRACTORS, SUBCONTRACTORS, ARCHITECTS, ENGINEERS, OR ANY OTHER ARCHITECT THAT THEY ARE IN CONTACT WITH WITHOUT THE ARCHITECT'S PRIOR WRITTEN CONSENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL BUILDING COMPONENTS & SYSTEMS.



# COLOR/MATERIALS BOARD

