



DEPARTMENT OF PLANNING

Application / Petition Form & Statement of Financial Interest

Department Use

Case #
Meeting Date
Total Fee
Received By/Date

Case Type (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) SITE DEVELOPMENT PLAN REVIEW

Project Address (Location) 388 MAYDELLE PL

Project Name ESPARZA MULTIFAMILY **Proposed Use** R-3

Assessor's Parcel #(s) 139-36-110-022 **Ward #** 3 - Olivia Diaz

General Plan: Existing _____ Proposed _____ **Zoning:** Existing R-3 Proposed R-3

Additional Information A NEW SIX UNITS MULTIFAMILY BUILDING, DEVELOPMENT IN 2 STORIES

Property Owner LOS CAMINOS DE LA VIDA TRUST and ESPARZA MIGUEL & MA **Contact** Maria Esparza

Address 8113 MEADOW FALLS ST **City** NLV **State** NV **Zip** 89085

E-mail mcec880outlook.com **Phone** 702 279 1957

Applicant _____ **Contact** _____

Address _____ **City** _____ **State** _____ **Zip** _____

E-mail _____ **Phone** _____

Representative EDGAR MONTALVO **Contact** _____

Address 2209 TOSCA ST. 8-101 **City** LAS VEGAS **State** NV **Zip** 89128

E-mail comments@xpconsult.net **Phone** 702-479-8664

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official _____ **Partner(s)** _____

Partner(s) _____

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

Property Owner Signature [Signature] MIGUEL ESPARZA

An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

Print Name Maria C Esparza MIGUEL ESPARZA

23-0516
01/31/2024

Subscribed and sworn before me

This 16th day of November, 2023

[Signature]

Notary Public in and for said County and State

NEVADA NOTARY ACKNOWLEDGMENT

THE STATE OF NEVADA

COUNTY OF Clark

This instrument was acknowledged before me on November 16th, 2023
Maria Carmen Esparza
(date) by and Miguel Esparza, (name of person).



Notary Public Signature

Print Betsy Gaytan Leon

Title Notary

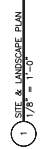


(Seal)



23-0516
01/31/2024

23-0516
01/28/2024

AS PER SOUTHERN NEVADA REGIONAL PLANT LIST

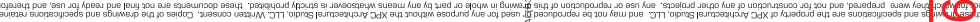
<p>DATE: 10/10/22</p> <p>PROJECT: 1739 ACHE - 1122</p> <p>CONSTRUCTION:</p>	<p>PROPOSED ZONING: MEDIUM DENSITY RESIDENTIAL (R-3)</p> <p>PROPOSED USE: 6 UNITS MULTIFAMILY BUILDING</p> <p>BUILDING DEPARTMENT: LAS VEGAS</p> <p>PARKING ANALYSIS: MULTIPLE FAMILY RESIDENCES 1. 1-2 UNITS: 1.5 PARKING SPACE 2. 3-4 UNITS: 2.0 PARKING SPACE 3. 5-6 UNITS: 2.5 PARKING SPACE 4. 7-9 UNITS: 3.0 PARKING SPACE 5. 10-14 UNITS: 3.5 PARKING SPACE 6. 15-19 UNITS: 4.0 PARKING SPACE 7. 20-24 UNITS: 4.5 PARKING SPACE 8. 25-29 UNITS: 5.0 PARKING SPACE 9. 30-39 UNITS: 5.5 PARKING SPACE 10. 40-49 UNITS: 6.0 PARKING SPACE 11. 50-59 UNITS: 6.5 PARKING SPACE 12. 60-69 UNITS: 7.0 PARKING SPACE 13. 70-79 UNITS: 7.5 PARKING SPACE 14. 80-89 UNITS: 8.0 PARKING SPACE 15. 90-99 UNITS: 8.5 PARKING SPACE 16. 100-149 UNITS: 9.0 PARKING SPACE 17. 150-199 UNITS: 9.5 PARKING SPACE 18. 200-249 UNITS: 10.0 PARKING SPACE 19. 250-299 UNITS: 10.5 PARKING SPACE 20. 300-349 UNITS: 11.0 PARKING SPACE 21. 350-399 UNITS: 11.5 PARKING 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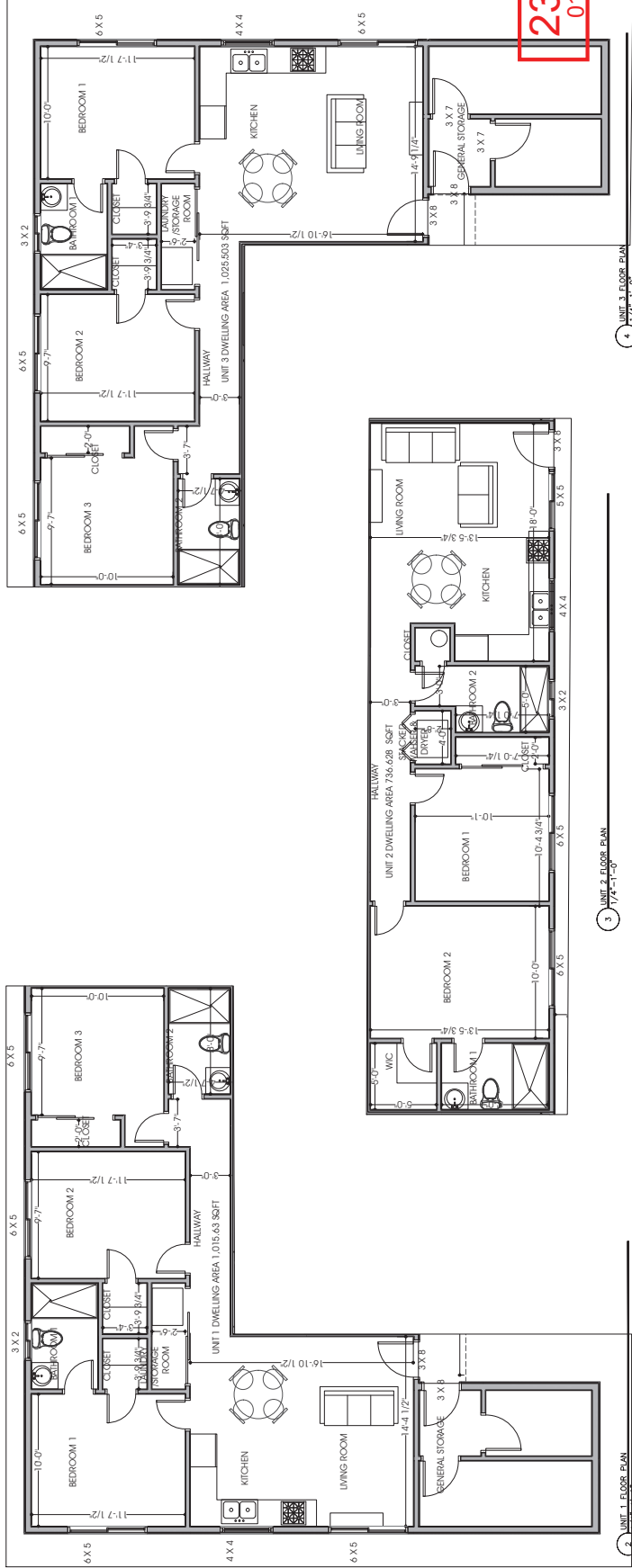
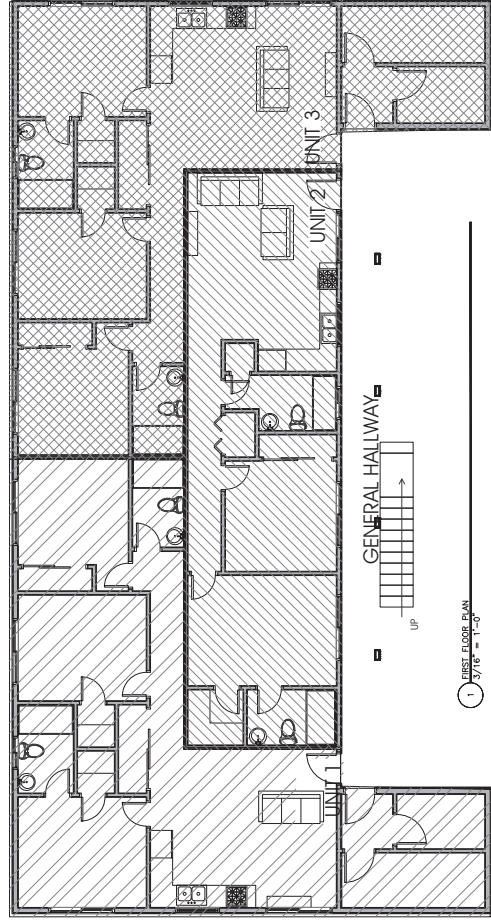
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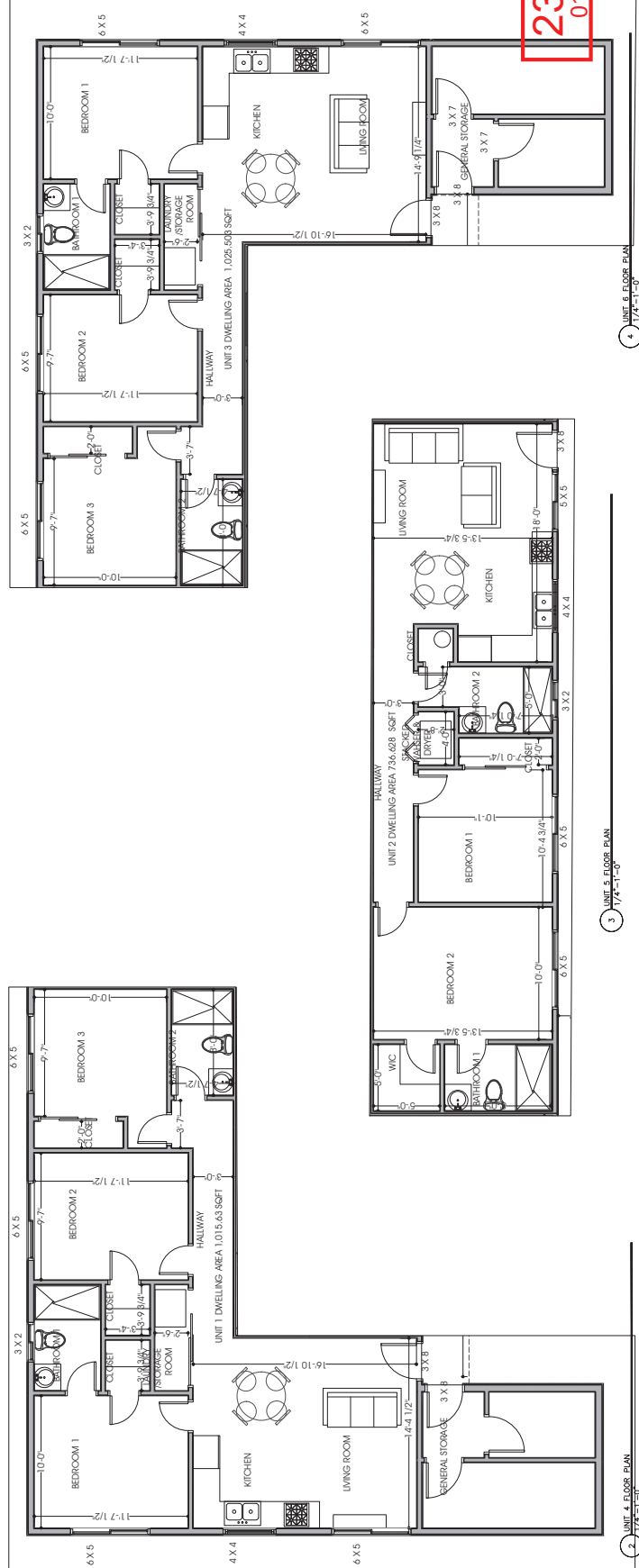
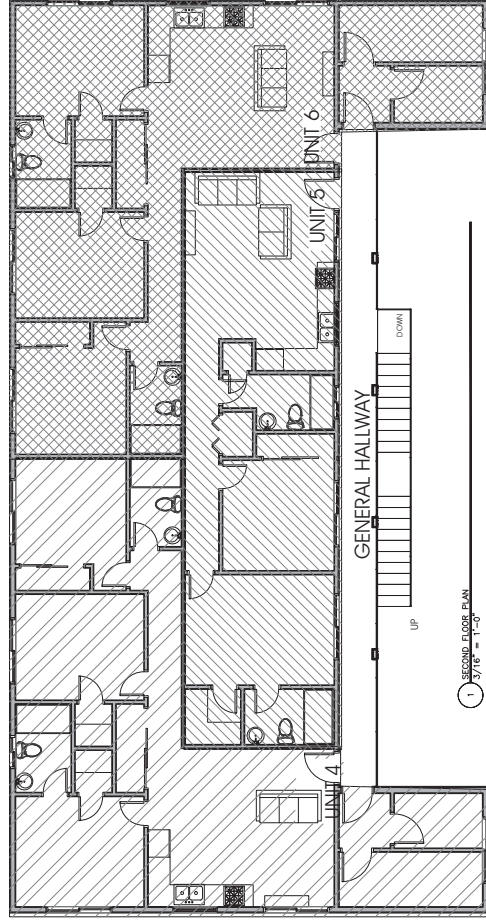
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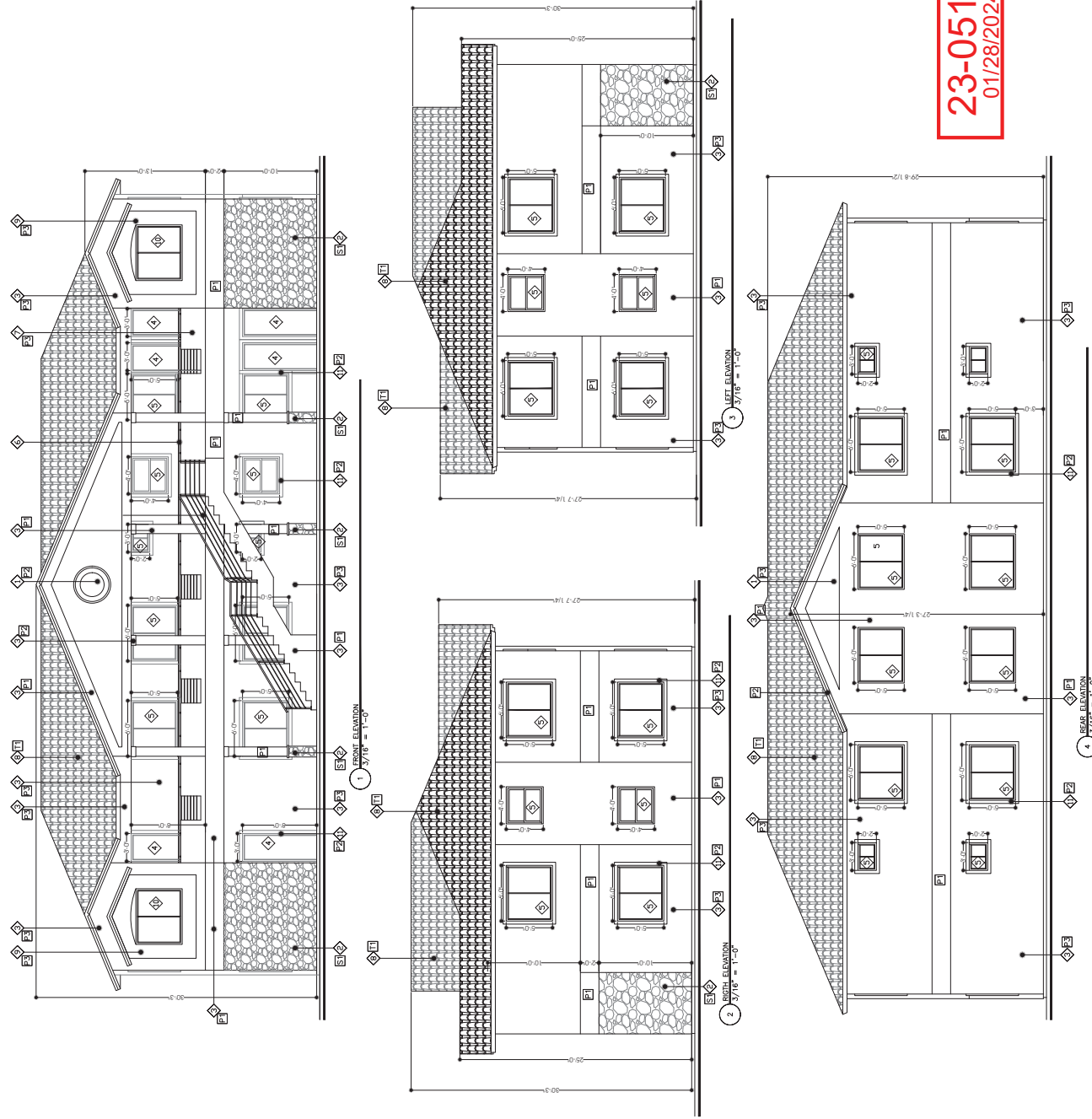


KEY NOTES

- 1 CIRCULAR PASTER MOLDING
- 2 VENEER STONE
- 3 STUCCO BREAM FINISH
- 4 DOOR SET FLOOR PLAN
- 5 WINDOW SET FLOOR PLAN
- 6 METAL GUARD/HANDRAIL
- 7 FLOOR WALL
- 8 CONCRETE FLOOR TILE
- 9 WINDOW POP-OUT
- 10 PASTER MOLDING
- 11 PASTER MOLDING

COLOR AND FINISH SCHEDULE

- 1 DUNK EDWARDS
ALMOND MILK T DEW101
(TRIM)
- 2 DUNK EDWARDS
FAINT T BEV186
(ACCENT)
- 3 DUNK EDWARDS
FAINT GRAY - BEV382
(BODY)
- 4 ROOF CONCRETE FLAT TILE
40% DARK CHARCOAL GRAY ROOFING
- 5 STACKED STONE VANILLA BEAN FAUX STONE
SIDING PANEL



ESPARZA
MULTIFAMILY BUILDING

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WWW.ESPASASTUDIO.COM

PROJECT NO. 23-0516

DATE: 01/28/2024

DRAWN BY: [REDACTED]

CHECKED BY: [REDACTED]

SCALE: 1/8" = 1'-0"

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