



# DEPARTMENT OF PLANNING

## Application / Petition Form & Statement of Financial Interest

### Department Use

Case #
Meeting Date
Total Fee
Received By/Date

Case Type (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Major Modification and Variance

Project Address (Location) \_\_\_\_\_

Project Name Skye Summit Proposed Use \_\_\_\_\_

Assessor's Parcel #(s) 126-26-101-004 Ward # \_\_\_\_\_

General Plan: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Zoning: Existing \_\_\_\_\_ Proposed \_\_\_\_\_

Additional Information \_\_\_\_\_

Property Owner Canyon Walk LLC Contact Chris Armstrong  
Address 11411 Southern Highlands Pkwy., Ste. 300 City Las Vegas State NV Zip 89141  
E-mail carmstrong@olympiacompanies.com Phone 702-204-9989

Applicant Same as Owner Contact \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
E-mail \_\_\_\_\_ Phone \_\_\_\_\_

Representative Chris Armstrong Contact Chris Armstrong  
Address 11411 Southern Highlands Pkwy., Ste. 300 City Las Vegas State NV Zip 89141  
E-mail carmstrong@olympiacompanies.com Phone 702-204-9989

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official \_\_\_\_\_ Partner(s) \_\_\_\_\_

Partner(s) \_\_\_\_\_

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

Property Owner Signature [Signature]

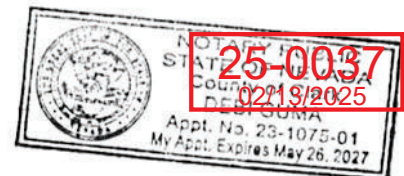
An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

Print Name CHRIS ARMSTRONG

Subscribed and sworn before me

This 12 day of FEBRUARY, 20 25

[Signature]  
Notary Public in and for said County and State



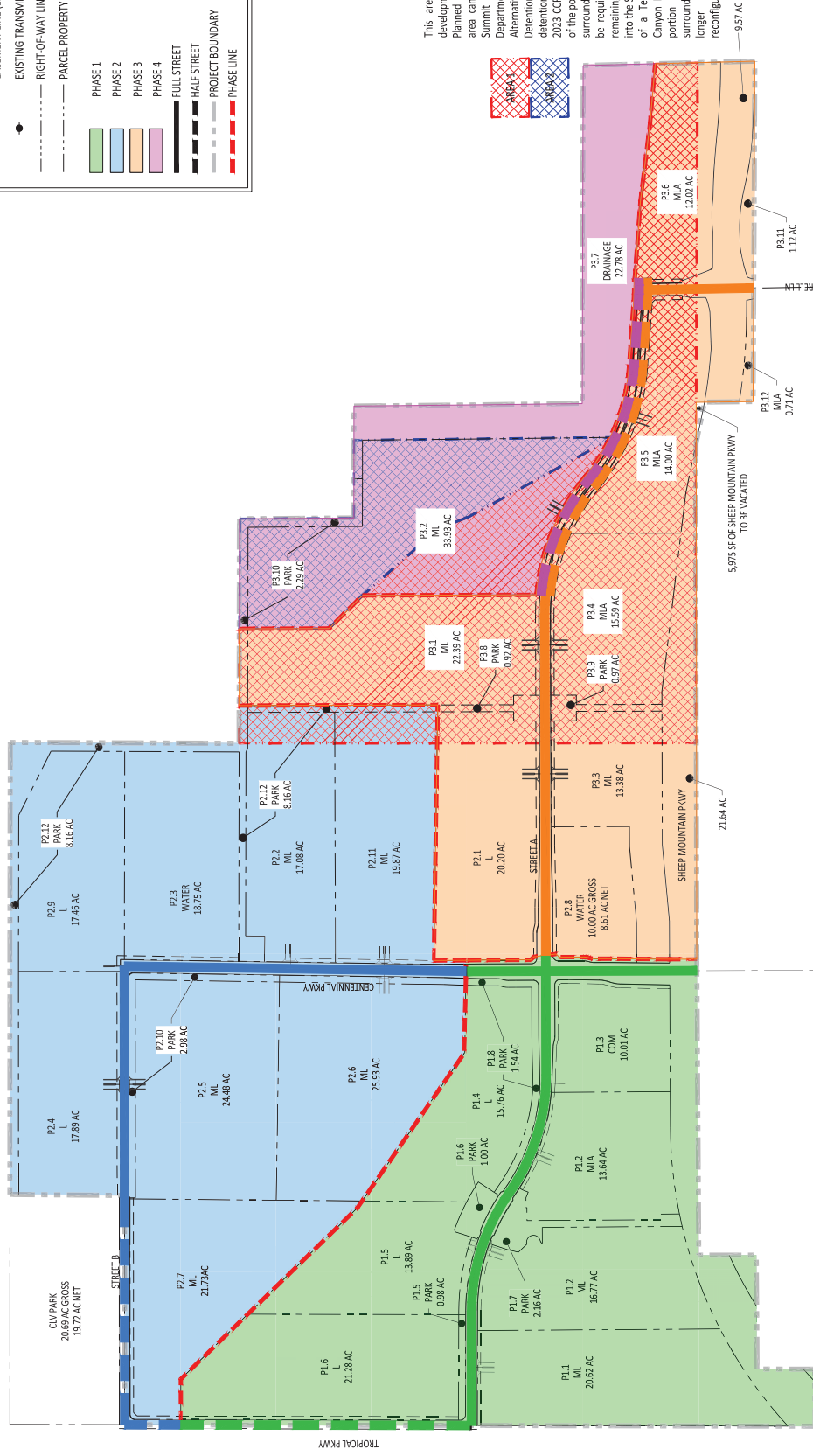
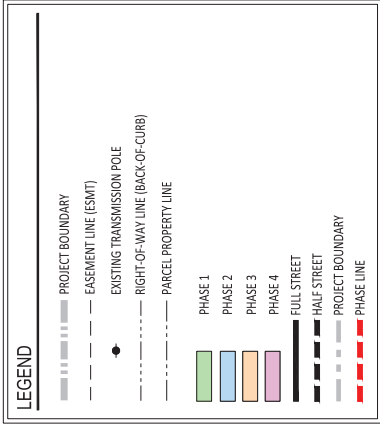
# Exhibit “A”

## Phasing Map

25-0037  
02/05/2025



# SKYE SUMMIT LAS VEGAS, NV



This area is designated for potential future development as part of the Skye Summit Master Planned Community. Development within this area can only be incorporated into the Skye Summit Master Plan after City of Las Vegas Department of Public Works approval of an Alternative Assessments for the Kyle Canyon Detention Basin to address the area required for detention basin expansion as identified in the 2023 CROCO Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that would not be required for the expansion (Area #1). The remaining area (Area #2) can be incorporated into the Skye Summit Master Plan upon approval of a Technical Drainage Study for the Kyle Canyon Detention Basin and Vacation of that portion of the existing BLM drainage grant surrounding the Detention Basin that is no longer needed due to Detention Basin reconfiguration.

**25-0037**  
02/05/2025

DATE: January 13, 2025  
SCALE: 1"=300'  
PROJECT #: OLV2306-000

SCALE: 1"=300'

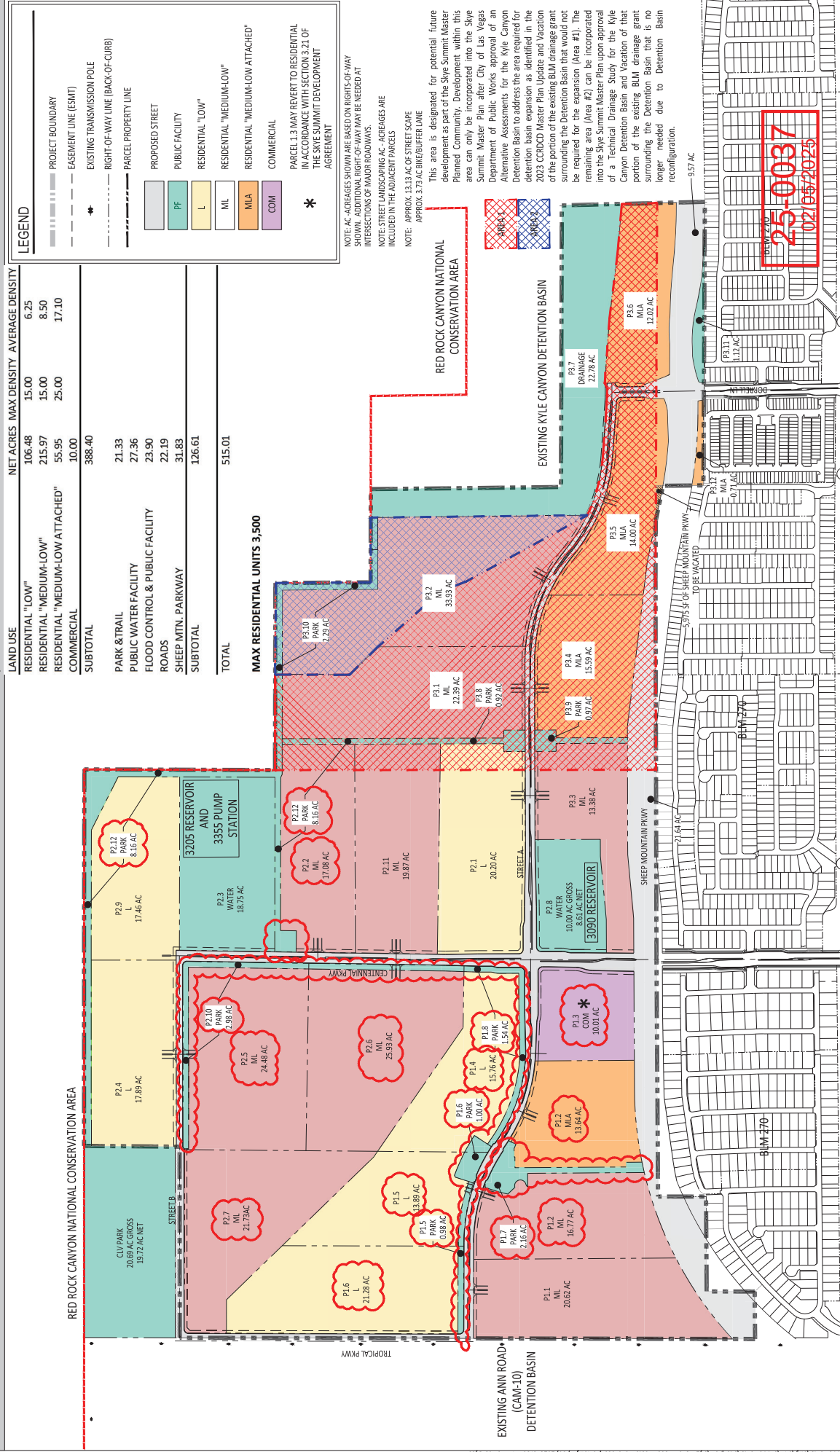
**Westwood**

Phone (702) 284-5300 5725 W. Beldare Ave. STE: 100  
Toll Free (888) 937-5150 Las Vegas, NV 89118  
westwoodpro.com  
Westwood Professional Services, Inc.

**DEVELOPMENT PHASING EXHIBIT**

**SKYE SUMMIT  
LAS VEGAS, NV**

LAND USE	NET ACRES	MAX DENSITY	AVERAGE DENSITY
RESIDENTIAL "LOW"	106.48	15.00	6.25
RESIDENTIAL "MEDIUM-LOW"	215.97	15.00	8.50
RESIDENTIAL "MEDIUM-LOW ATTACHED"	55.95	25.00	17.10
COMMERCIAL	10.00		
SUBTOTAL	388.40		
PARK & TRAIL	21.33		
PUBLIC WATER FACILITY	27.36		
FLOOD CONTROL & PUBLIC FACILITY	23.90		
ROADS	22.19		
SHEEP MTN. PARKWAY	31.83		
SUBTOTAL	126.61		
TOTAL	515.01		

MAX RESIDENTIAL UNITS 3,500

NOTE: AC - ACREAGES SHOWN ARE BASED ON RIGHTS-OF-WAY SHOWN. ADDITIONAL RIGHT-OF-WAY MAY BE NEEDED AT INTERSECTIONS OF MAJOR ROADWAYS.

NOTE: STREET LANDSCAPING AC - ACREAGES ARE INCLUDED IN THE ADJACENT PARCELS

NOTE: APPROX. 13.13 AC OF STREET SCOPE APPROX. 3.73 AC RIGHT/LEFTER LANE

This area is designated for potential future development as part of the Slave Summit Master Planned Community. Development within this area can only be incorporated into the Slave Summit Master Plan after City of Las Vegas Department of Public Works approval of Alternative Assessments for the Kye Canyon Detention Basin to address the area required for detention basin expansion as identified in the 2023 CORDO Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that would not be required for the expansion [Area #1]. The remaining area (Area #2) can be incorporated into the Slave Summit Master Plan upon approval of a Vacation of the BLM drainage grant. Currently, the Slave Summit Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that is no longer needed due to Detention Basin reconfiguration.

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**Westwood Professional Services, Inc.**

# LAND USE PLAN

DATE: January 30, 2025  
SCALE: 1"=300'  
PROJECT #: OLY2306-000



Exhibit “C”  
Residential Land Use Table and Master  
Land Use Plan

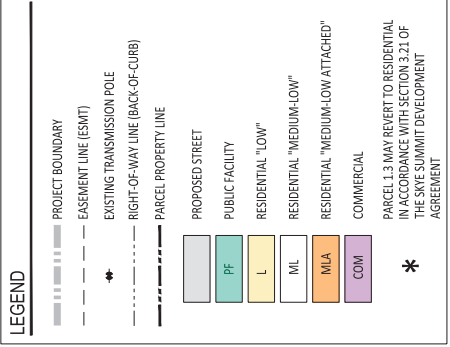
25-0037  
02/05/2025



# SKYE SUMMIT LAS VEGAS, NV

LAND USE	NET ACRES	MAX DENSITY	AVERAGE DENSITY
RESIDENTIAL "LOW"	106.48	15.00	6.25
RESIDENTIAL "MEDIUM-LOW"	215.97	15.00	8.50
RESIDENTIAL "MEDIUM-LOW ATTACHED"	55.95	25.00	17.10
COMMERCIAL	10.00		
<b>SUBTOTAL</b>	<b>388.40</b>		
PARK & TRAIL	21.33		
PUBLIC WATER FACILITY	27.36		
FLOOD CONTROL & PUBLIC FACILITY	23.90		
ROADS	22.19		
SHEEP MTN. PARKWAY	31.83		
<b>SUBTOTAL</b>	<b>126.61</b>		
<b>TOTAL</b>	<b>515.01</b>		

MAX RESIDENTIAL UNITS 3,500



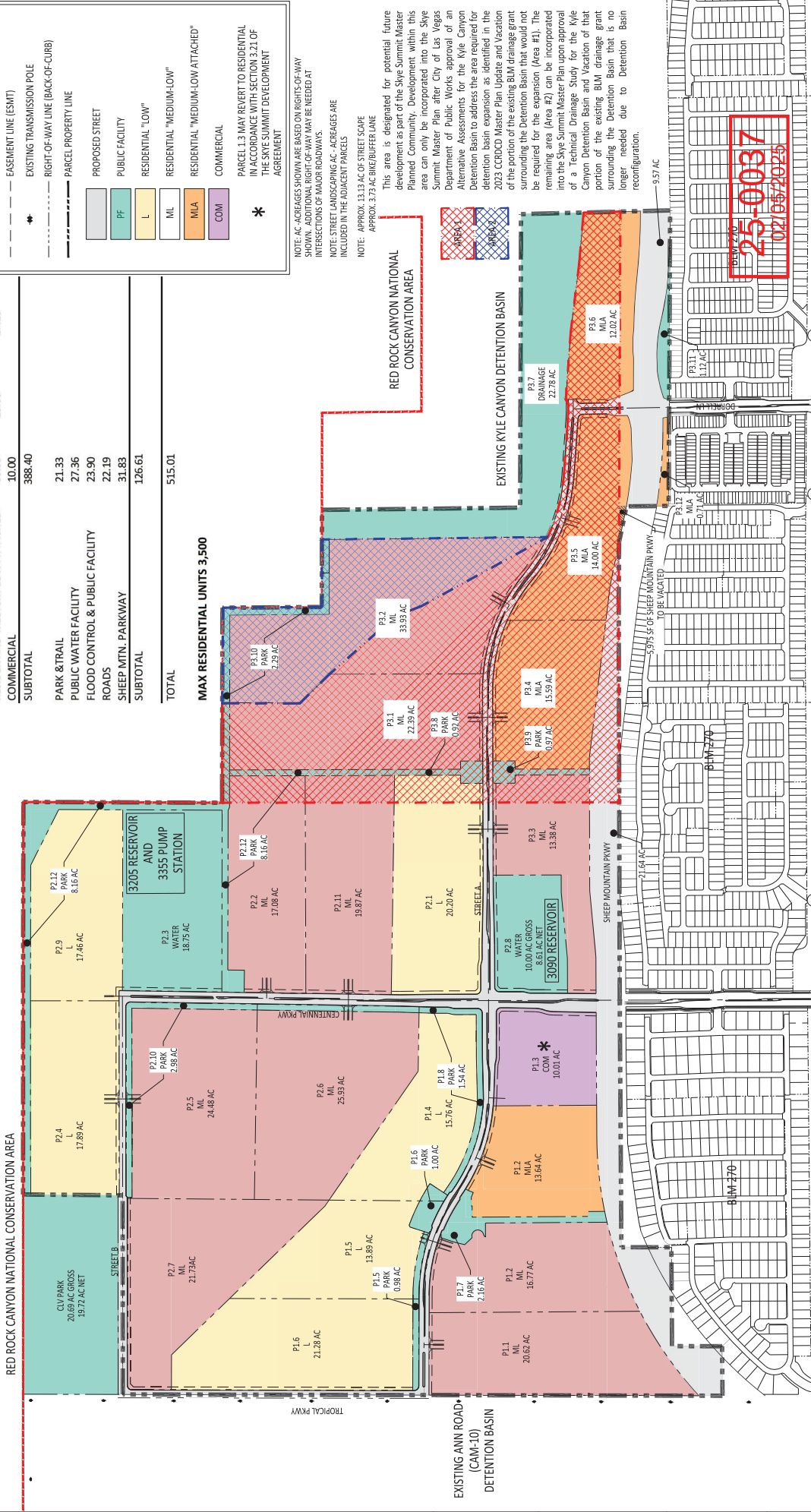
NOTE: AC ACREAGES SHOWN ARE BASED ON RIGHTS-OF-WAY SHOWN. ADDITIONAL RIGHT-OF-WAY MAY BE NEEDED AT INTERSECTIONS OF MAJOR ROADWAYS.

NOTE: STREET LANDSCAPING AC - ACREAGES ARE INCLUDED IN THE ADJACENT PARCELS

NOTE: APPROX. 13.13 AC OF STREET SCAPE APPROX. 3.73 AC BIKE/BUFFER LANE

RED ROCK CANYON NATIONAL CONSERVATION AREA

This area is designated for potential future development as part of the Skye Summit Master Planned Community. Development within this area can only be incorporated into the Skye Summit Master Plan after City of Las Vegas Department of Public Works approval of an Alternative Assessments for the Kyle Canyon Detention Basin to address the area required for detention basin expansion as identified in the 2023 CBOCD Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that would not be required for the expansion (Area #1). The remaining area (Area #2) can be incorporated into the Skye Summit Master Plan upon approval of a Technical Drainage Study for the Kyle Canyon Detention Basin and Vacation of that portion of the existing BLM drainage grant surrounding the Detention Basin that is no longer needed due to Detention Basin reconfiguration.



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LAND USE PLAN

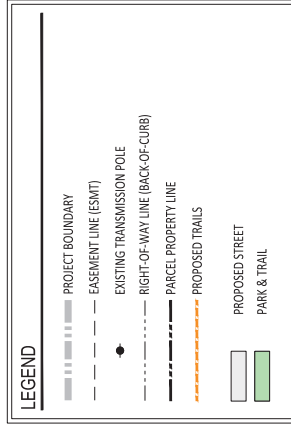
DATE: January 13, 2025  
SCALE: 1"=300'  
PROJECT #: OLV2306-000

# Exhibit “B”

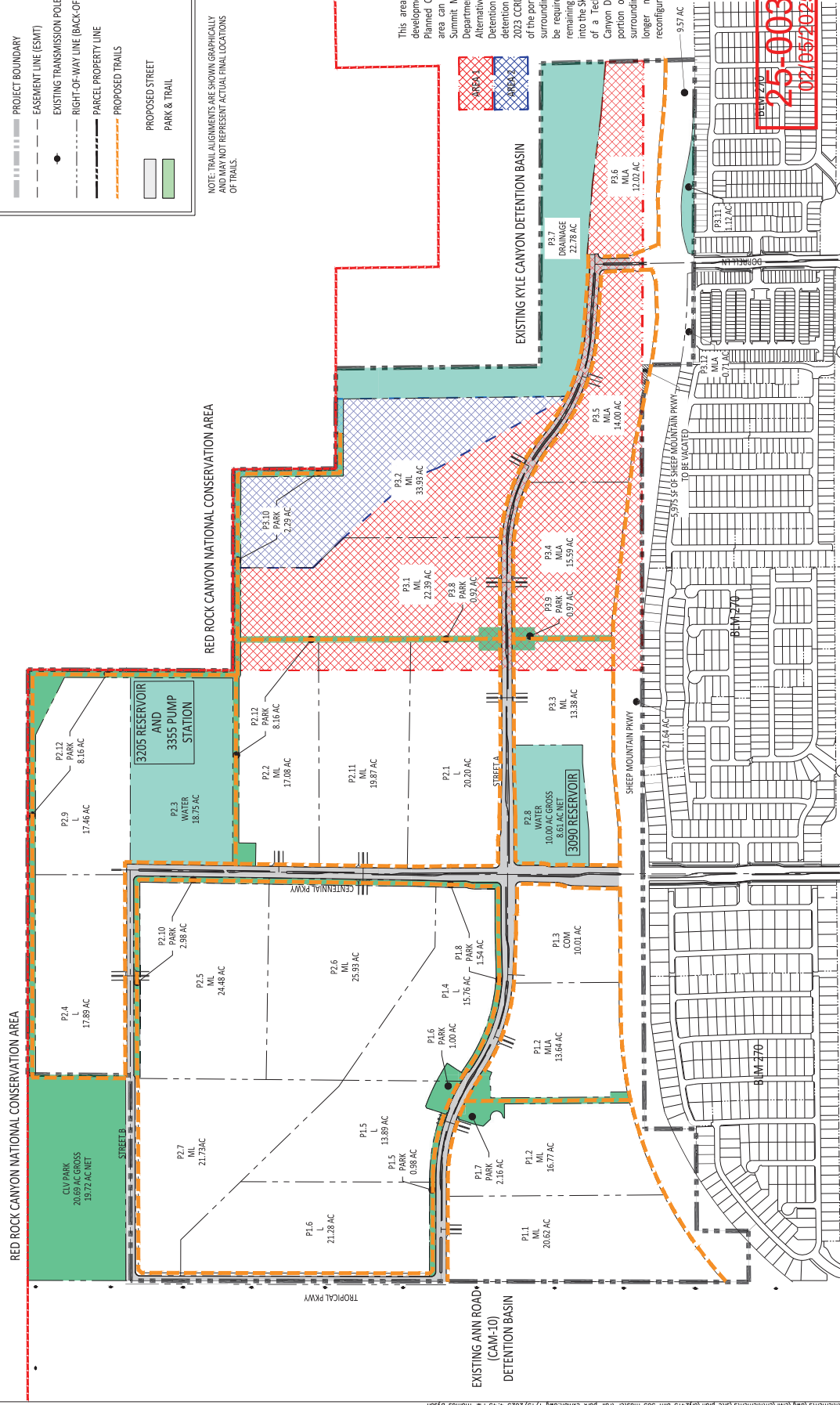
## Trails and Park Exhibit

25-0037  
02/05/2025

**SKYE SUMMIT**  
**LAS VEGAS, NV**



NOTE: TRAIL ALIGNMENTS ARE SHOWN GRAPHICALLY AND MAY NOT REPRESENT ACTUAL FINAL LOCATIONS OF TRAILS.

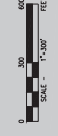


This area is designated for potential future development as part of the Slye Summit Master Plan. Planned Community Development within this area can only be incorporated into the Slye Summit Master Plan after approval by the Department of Public Works City of Las Vegas. Alternative Assessments for the Kyle Canyon Detention Basin to address the area required for the detention basin expansion as identified in the 2023 CROD Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that would not be required for the expansion (Area #1). The remaining Area (Area #2), can be incorporated into the Slye Summit Master Plan upon approval of a Technical Drainage Study for the Kyle Canyon Detention Basin. The location of the proposed expansion of the BLM drainage grant surrounding the Detention Basin that is no longer needed due to Detention Basin reconfiguration.

25-0037  
02/05/2025



DATE: January 13, 2025  
SCALE: 1"=300'  
PROJECT #: OLY2306-000



## TRAIL & PARK EXHIBIT

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Las Vegas, NV 89118  
[westwoodps.com](http://westwoodps.com)

**Westwood Professional Services, Inc.**

## Westwood



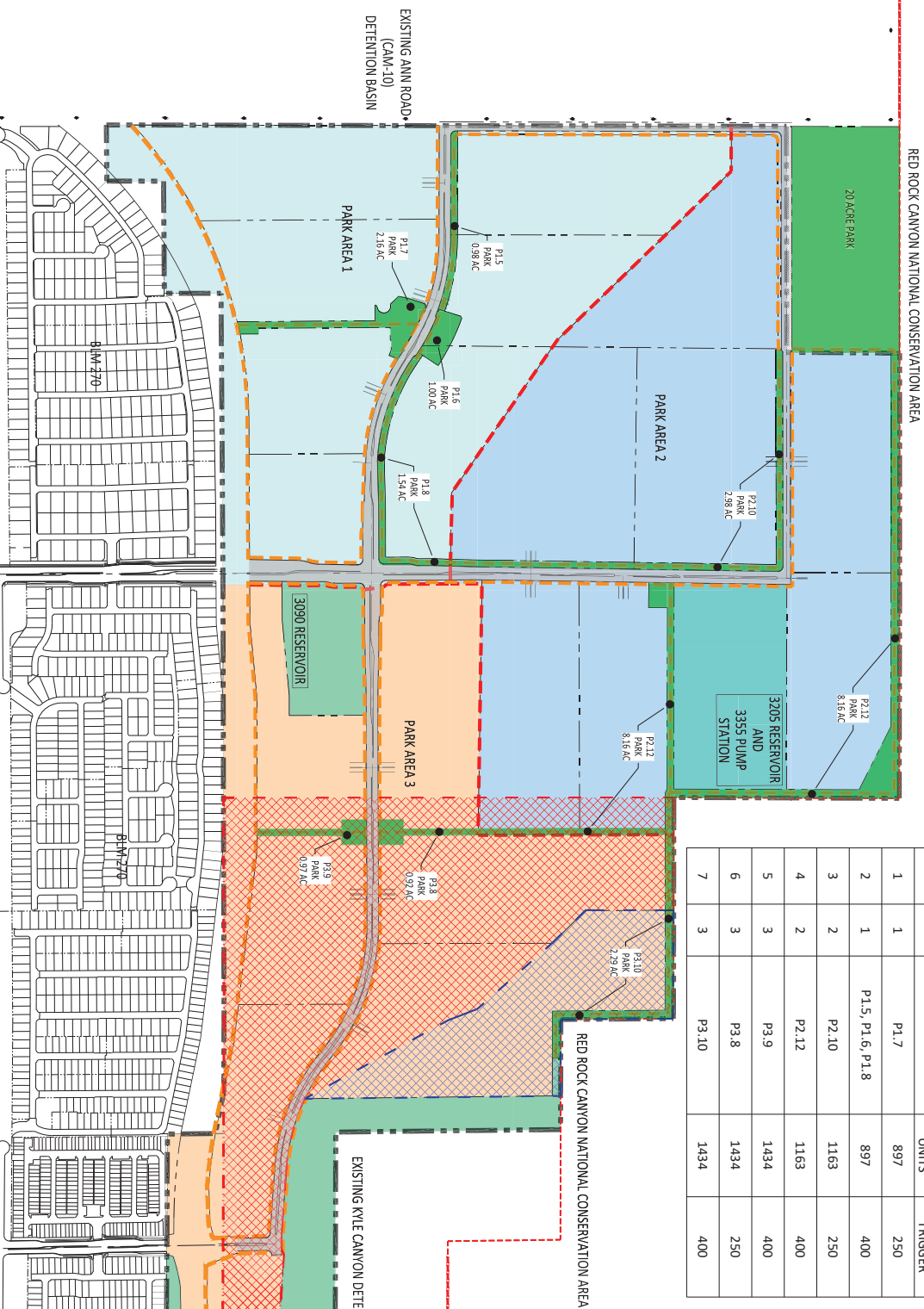
# Exhibit “C”

## Park Trigger Exhibit












25-0037  
02/05/2025

**LAS VEGAS, NV**

PARK AREAS				
PARK	PARK AREA	PARK PARCELS	PROBABLE DWELLING UNITS	PARK CONSTRUCTION TRIGGER
1	1	P1.7	897	250
2	1	P1.5, P1.6, P1.8	897	400
3	2	P2.10	1163	250
4	2	P2.12	1163	400
5	3	P3.9	1434	400
6	3	P3.8	1434	250
7	3	P3.10	1434	400



NOTE: TRAIL ALIGNMENTS ARE SHOWN GRAPHICALLY AND MAY NOT REPRESENT ACTUAL FINAL LOCATIONS OF TRAILS.

- ## LEGEND
- |   |                                  |
|---|----------------------------------|
|  | PROJECT BOUNDARY                 |
|  | EASEMENT LINE (ESMT)             |
|  | EXISTING TRANSMISSION POLE       |
|  | RIGHT-OF-WAY LINE (BACK-OF-CURB) |
|  | PARCEL PROPERTY LINE             |
|  | PROPOSED TRAILS                  |
|  | PARK AREA 1                      |
|  | PARK AREA 2                      |
|  | PARK AREA 3                      |
|  | PROPOSED STREET                  |
|  | PARK & TRAIL                     |

This area is designated for potential future development as part of the Snye Summit Master Plan. Planned community development within this area can only be incorporated into the Snye Summit Master Plan with City of Las Vegas Department of Public Works approval of an Alternative Assessments for the Snye Canyon Detention Basin to address the area required for the Snye Summit Master Plan expansion as identified in the 2013 CDDO and the Snye Summit Master Plan. The Snye Canyon Detention Basin and the area surrounding the Detention Basin that would not be required for the expansion (Area 11), the remaining area (Area 42) can be incorporated into the Snye Summit Master Plan upon approval of a Technical Damage Study for the Snye Canyon Detention Basin and Vacation of that portion of the existing B1M drainage grant surrounding the Detention Basin that is no longer needed due to Detention Basin reconfiguration.

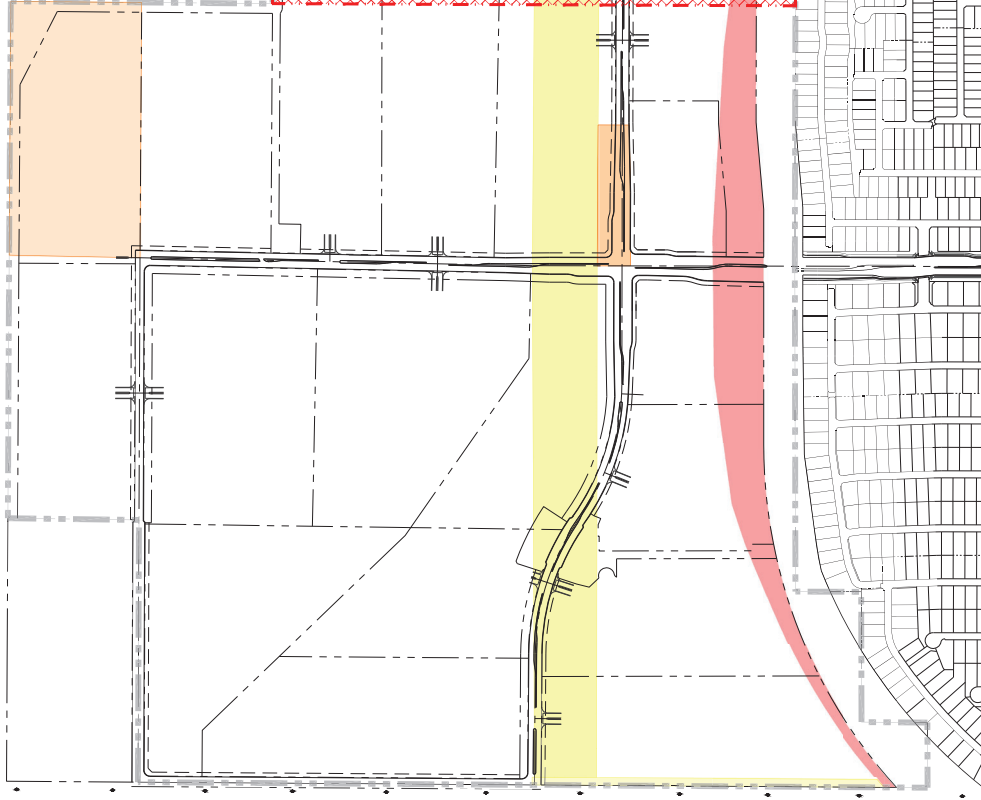
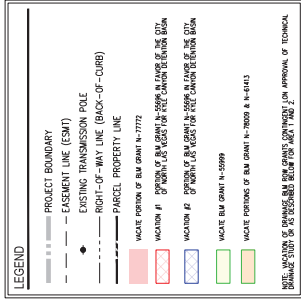
25-0037  
02/05/2025

Exhibit “L”  
KYLE CANYON  
DETENTION  
BASIN AND  
BLM GRANT  
AREA

25-0037  
02/05/2025



# SKYE SUMMIT LAS VEGAS, NV



This area is designated for potential future development as part of the Skye Summit Master Planned Community. Development within this area can only be incorporated into the Skye Summit Master Plan after City of Las Vegas Department of Public Works approval of an Alternative Assessments for the Kyle Canyon Detention Basin to address the area required for detention basin expansion as identified in the 2023 CROCD Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that would not be required for the expansion (Area #1). The remaining area (Area #2) can be incorporated into the Skye Summit Master Plan upon approval of a Technical Drainage Study for the Kyle Canyon Detention Basin and Vacation of that portion of the existing BLM drainage grant surrounding the Detention Basin that is no longer needed due to Detention Basin reconfiguration.

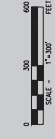


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**Westwood**

Westwood Professional Services, Inc.

## KYLE CANYON DETENTION BASIN AND BLM GRANT AREA VACATION EXHIBIT



DATE: January 13, 2025  
SCALE: 1" = 300'  
PROJECT #: ###



# Exhibit “N”

## Flood Control Phasing Plan

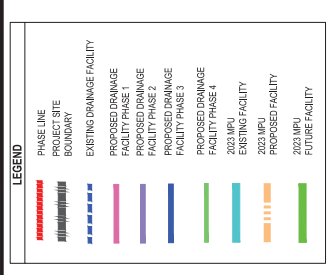
25-0037  
02/05/2025

95 MANAGEMENT, LLC  
SKYE SUMMIT  
PHASED INFRASTRUCTURE EXHIBIT

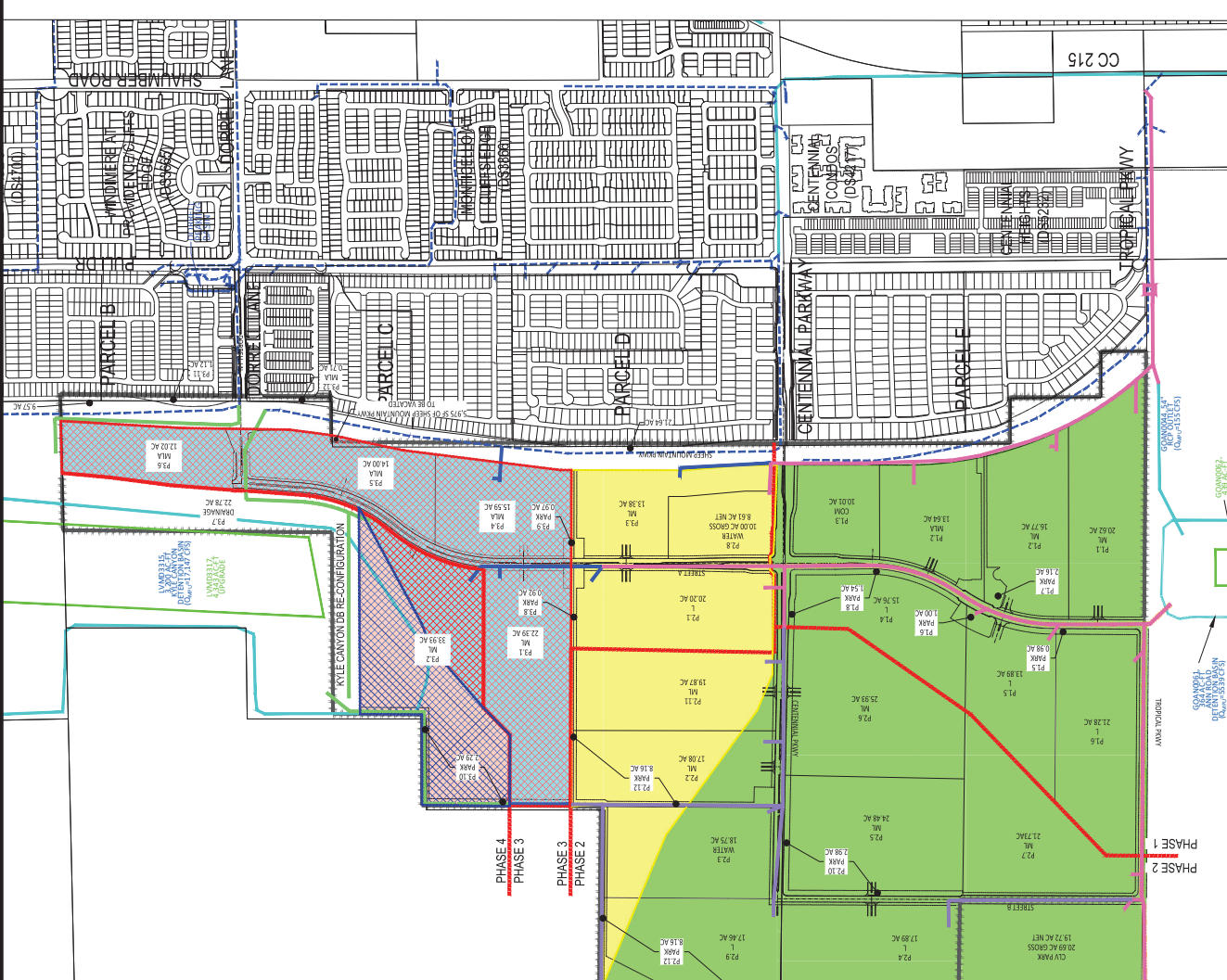
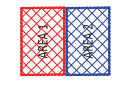
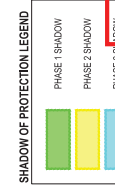
DATE: ----	
DRAWN: CRW	
DESIGNER: AP	
CHECKED: BM	
PROJECT NO.	OLY2413



**NOTE:**  
EXACT LOCATION AND LIMITS OF PERMANENT AND TEMPORARY DRAINAGE FACILITIES TO BE DETERMINED WITH PHASE TECHNICAL DRAINAGE STUDIES.



This area is designated for potential future development as part of the Kyle Summit Master Planned Community. Development within this area can only be incorporated into the Kyle Summit Master Plan after City of Las Vegas Department of Public Works approval of an Alternative Assessments for the Kyle Canyon Detention Basin to address the area required for detention basin expansion as identified in the Kyle Summit Master Plan Update and Vacation Grant 023 CRDCCD Master Plan Update and Vacation Grant for the portion of the existing BLM drainage grant area surrounding the Detention Basin that would not be required for the expansion [Area #1]. The remaining area [Area #2] can be incorporated into the Kyle Summit Master Plan upon approval of a Technical Detention Study for the Kyle Canyon Detention Basin and Vacation Grant for the portion of the existing BLM drainage grant area surrounding the Detention Basin that would not be required due to Detention Basin reconfiguration.

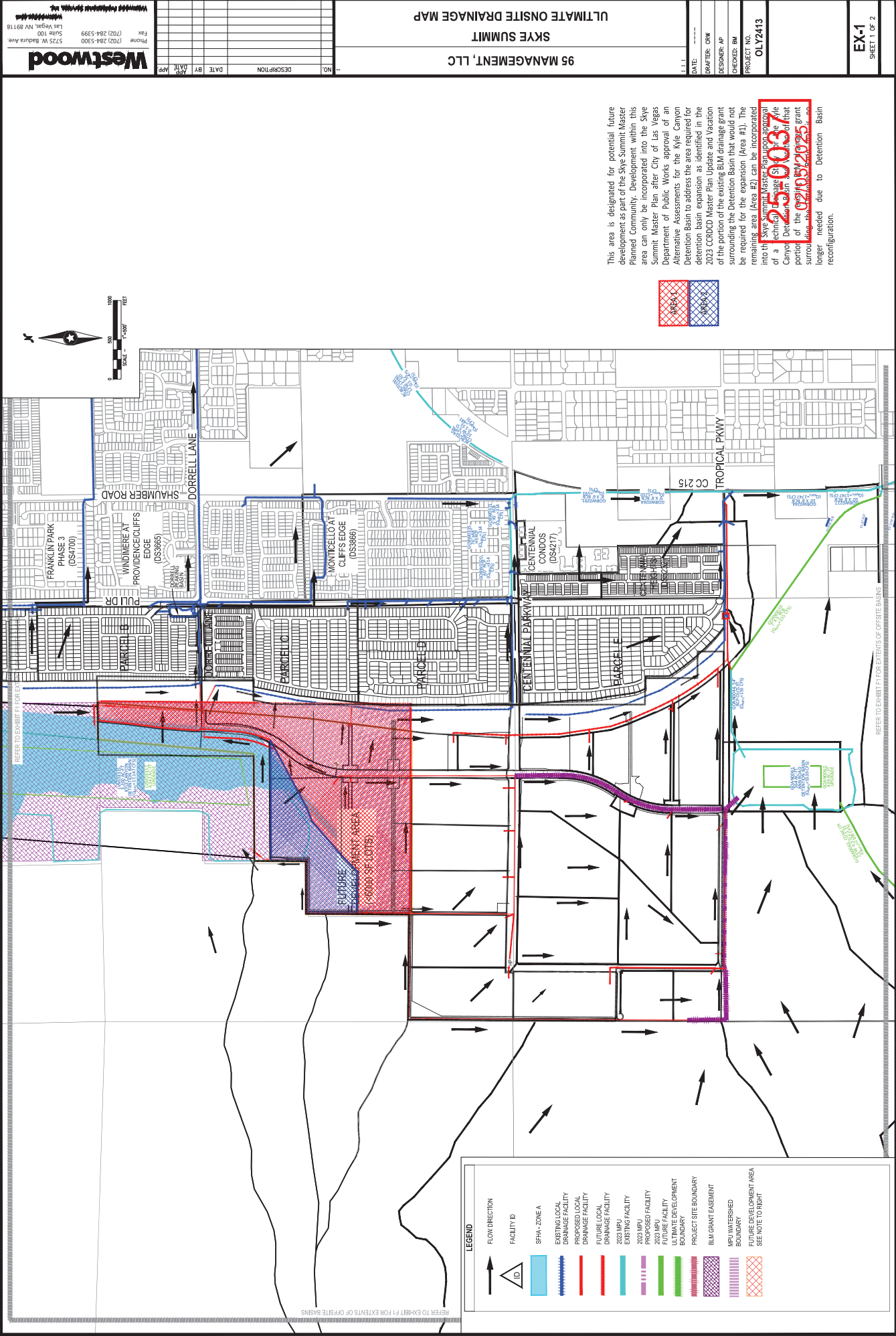




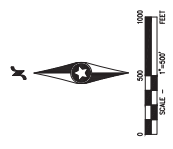
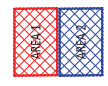
# Exhibit “O”

## MPU Exhibit

25-0037  
02/05/2025



This area is designated for potential future development as part of the Sky Summit Master Planned Community. Development within this area can only be incorporated into the Sky Summit Master Plan after City of Las Vegas Department of Public Works approval of an Alternative Assessments for the Kyle Canyon Detention Basin to address the area required for detention basin expansion as identified in the 2023 CCRCO Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that would not be required for the expansion (Area #1). The remaining area (Area #2) can be incorporated into the Sky Summit Master Plan upon approval of a technical review of the Kyle Canyon Detention Basin and a portion of that portion of the 2023 CCRCO Master Plan Update that would no longer be needed due to Detention Basin reconfiguration.



**LEGEND**

FLOW DIRECTION

FACILITY ID

SFHA - ZONE A

EXISTING LOCAL DRAINAGE FACILITY

PROPOSED LOCAL DRAINAGE FACILITY

FUTURE LOCAL DRAINAGE FACILITY

EXISTING FACILITY

PROPOSED FACILITY

FUTURE FACILITY

FUTURE DEVELOPMENT BOUNDARY

PROJECT SITE BOUNDARY

BLM GRANT EASEMENT

MPU WATERSHED BOUNDARY

FUTURE DEVELOPMENT AREA

SEE NOTE TO RIGHT



**DEVELOPMENT  
STANDARDS  
&  
DESIGN GUIDELINES**

Submittal Date:  
August 29, 2024

Amendment Submittal:  
March 26, 2025

City Council Approval Date:  
December 18, 2024

PREPARED FOR:

**CANYON WALK, L.L.C.**

PREPARED BY:

**OLYMPIA COMPANIES, L.L.C.**

11411 Southern Highlands Parkway, Suite 300  
Las Vegas, NV 89141

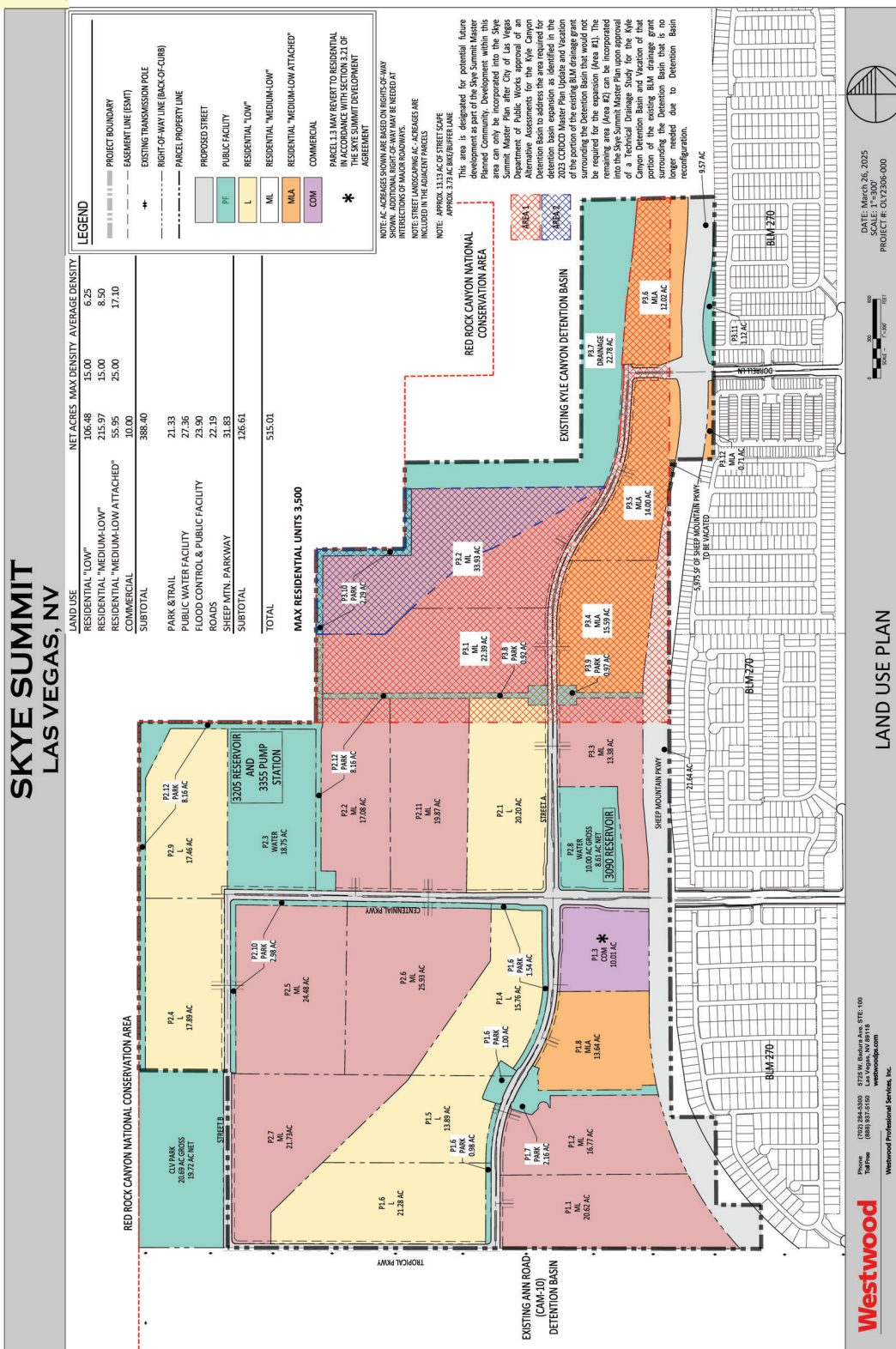
**25-0037**  
03/31/2025

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25-0037  
 03/31/2025

**SKYE SUMMIT**  
**LAS VEGAS, NV**



Development Standards and Design Guidelines  
August 29, 2024  
Amended March 26, 2025

1-6



*\*Subject to Public Works design approvals, typical all conditions*



DATE: January 13, 2025  
SCALE: 1"=300'  
PROJECT #: QLY2305-000

TRAIL &amp; PARK EXHIBIT

Phone (782) 284-5400  
Toll Free (888) 937-5120  
6723 W. Madison Ave., STE. 100  
Las Vegas, NV 89118  
westworldpa.com

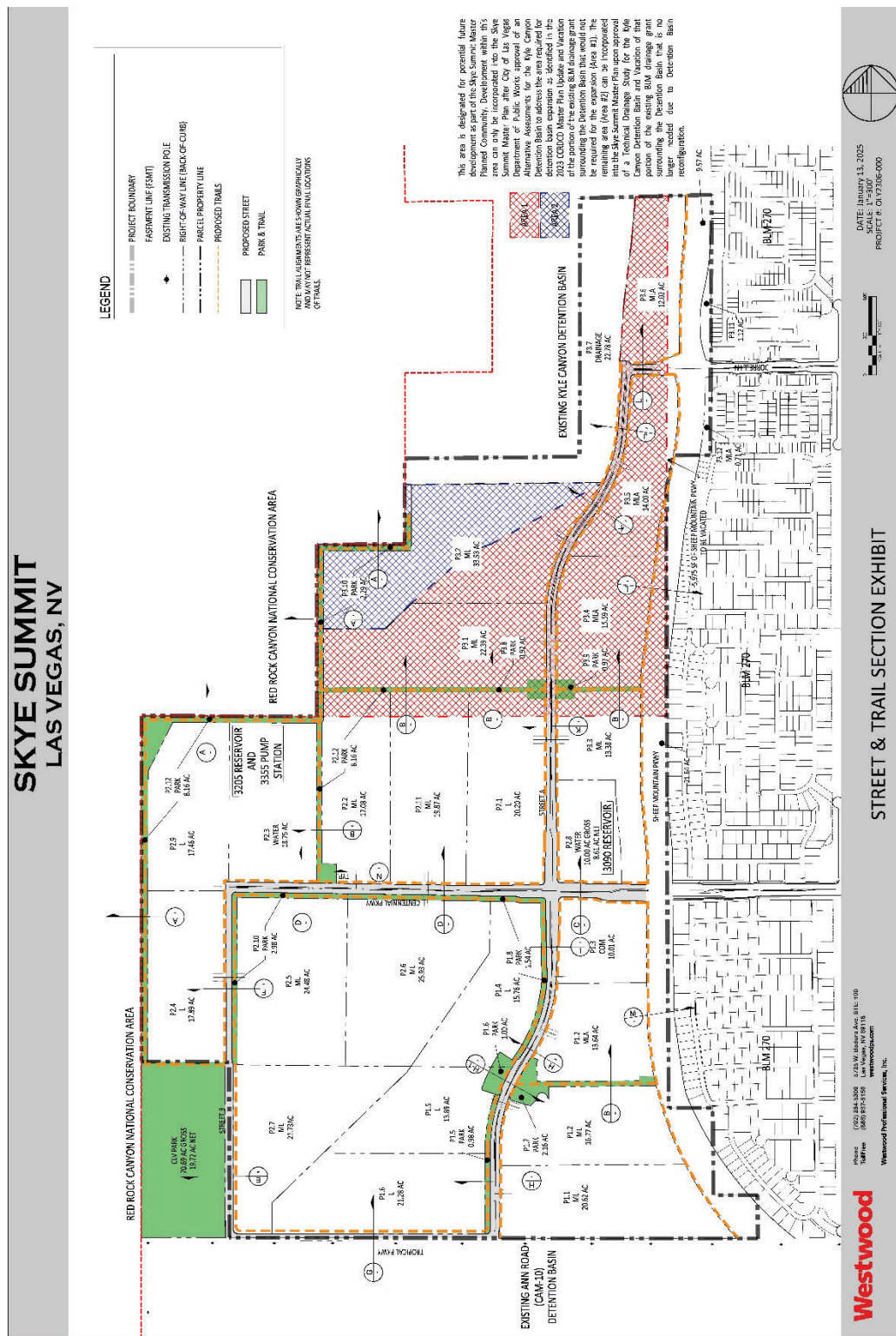
Westwood

Amended March 26, 2025

25-0037  
03/31/2025



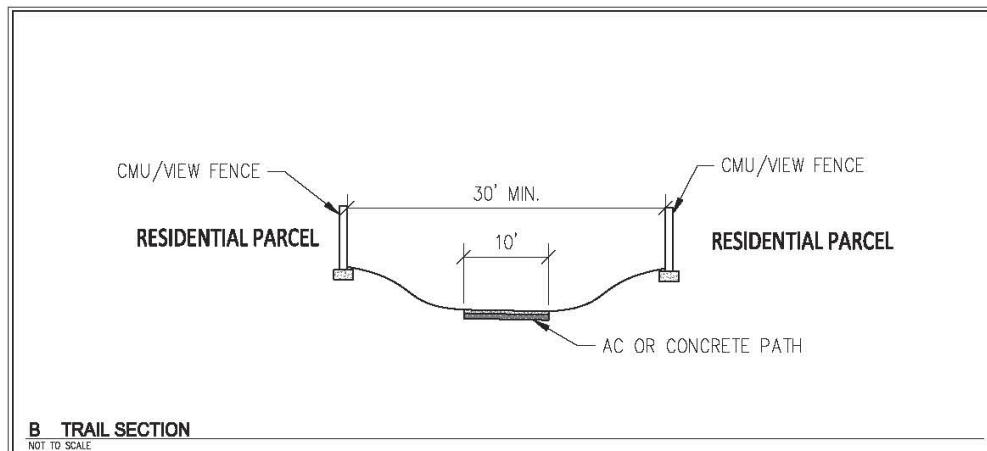
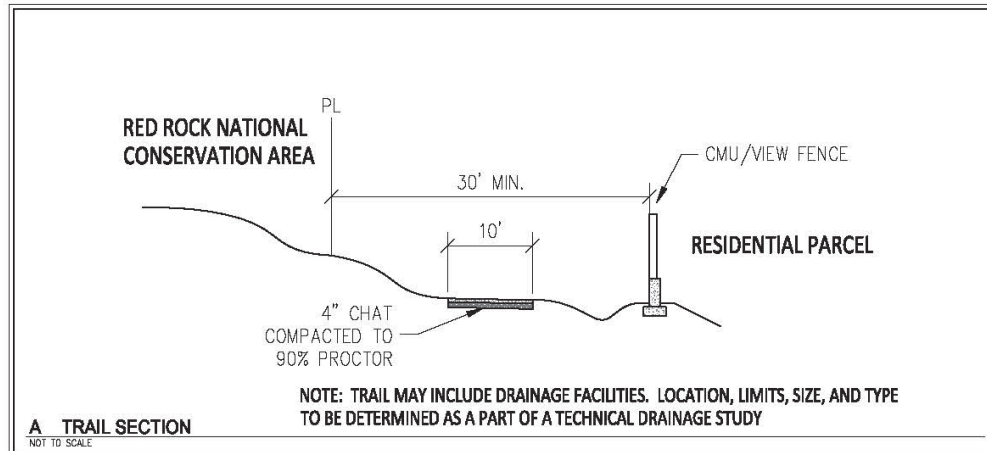
*\*Subject to Public Works design approvals, typical all conditions*



**Exhibit 2.3.5: Trail Sections**

*\*Subject to Public Works design approvals, typical all conditions*

j:\oly2413 b1m 505 entitlements\dwg\civil\entitlements\design\_criteria.dwg 12/20/2024 8:52 AM Thomas Dyson

**NOTES:**

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE

**Westwood**

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Westwood Professional Services, Inc.

**SKYE SUMMIT**

Development Standards and Design Guidelines

August 29, 2024

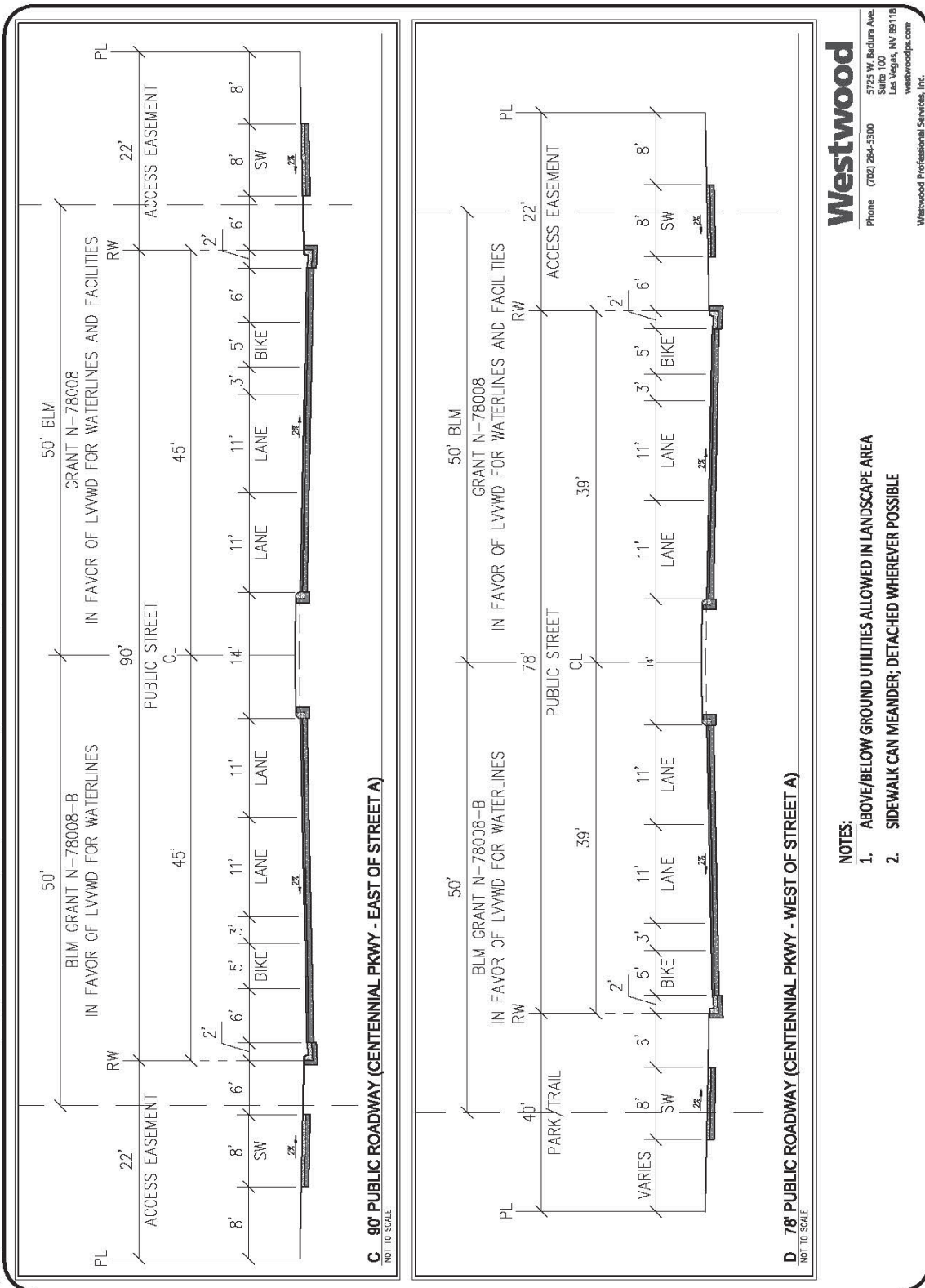
Amended March 26, 2025

**25-0037**  
03/31/2025

**Exhibit 2.3.6: Street Sections**

\*Subject to Public Works design approvals, typical all conditions

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**SKYE SUMMIT**

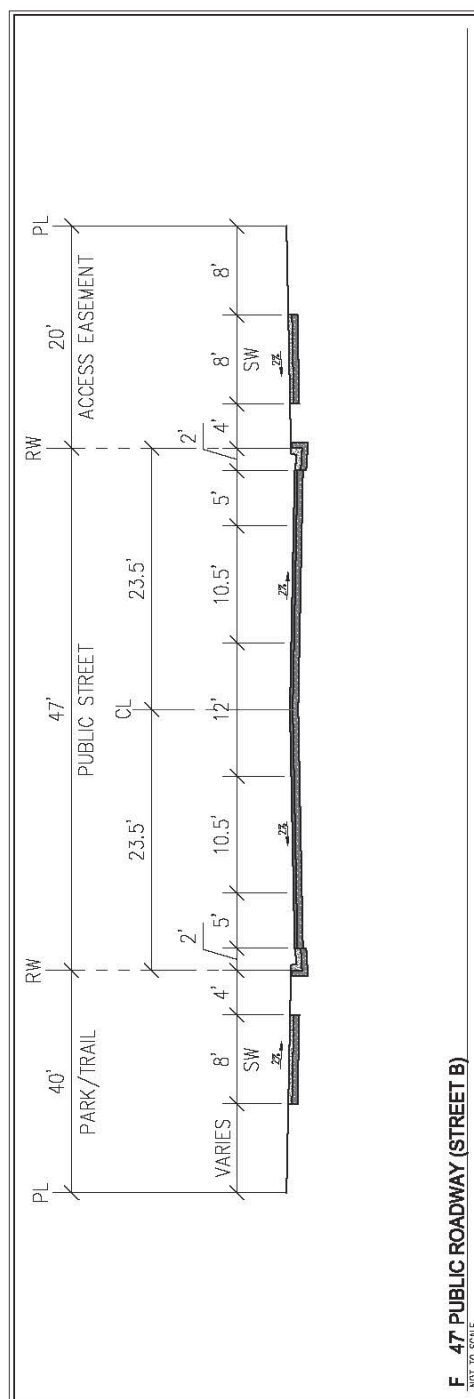
Development Standards and Design Guidelines

August 29, 2024

Amended March 26, 2025

**25-0037**  
03/31/2025

**\*\* Public Parking Requires adherence to Public Right-of-Way Accessibility Guidelines (PROWAG)**



NOTES:

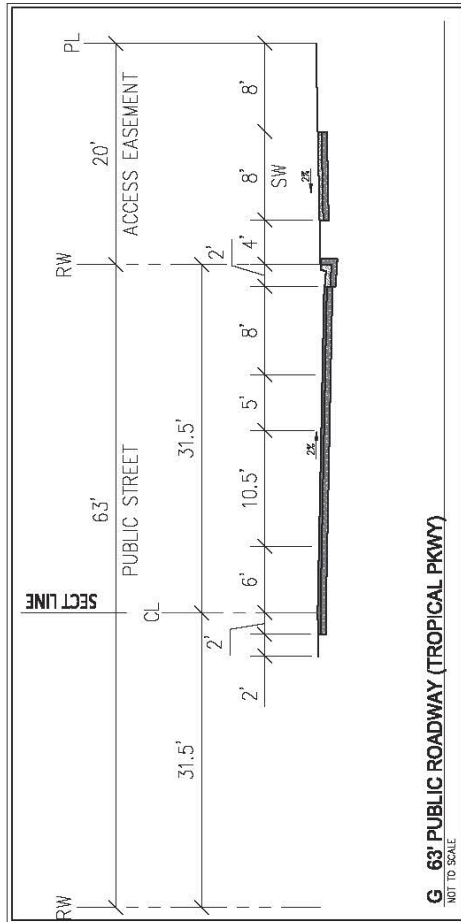
1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE
3. MEDIAN OPTIONAL

# Westwood

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**NOTES:**

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August 29, 2024

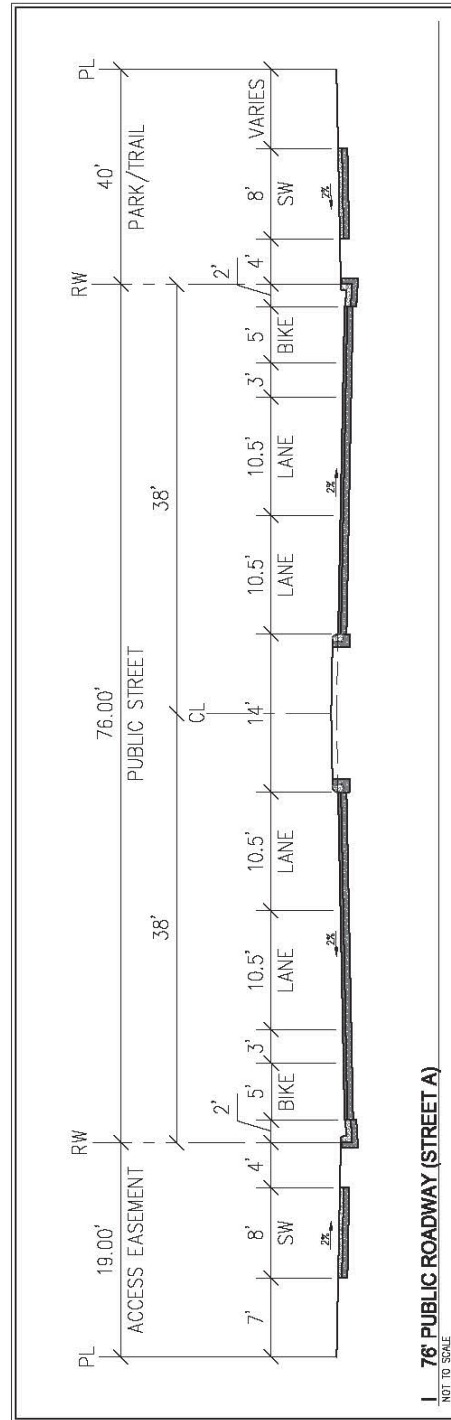
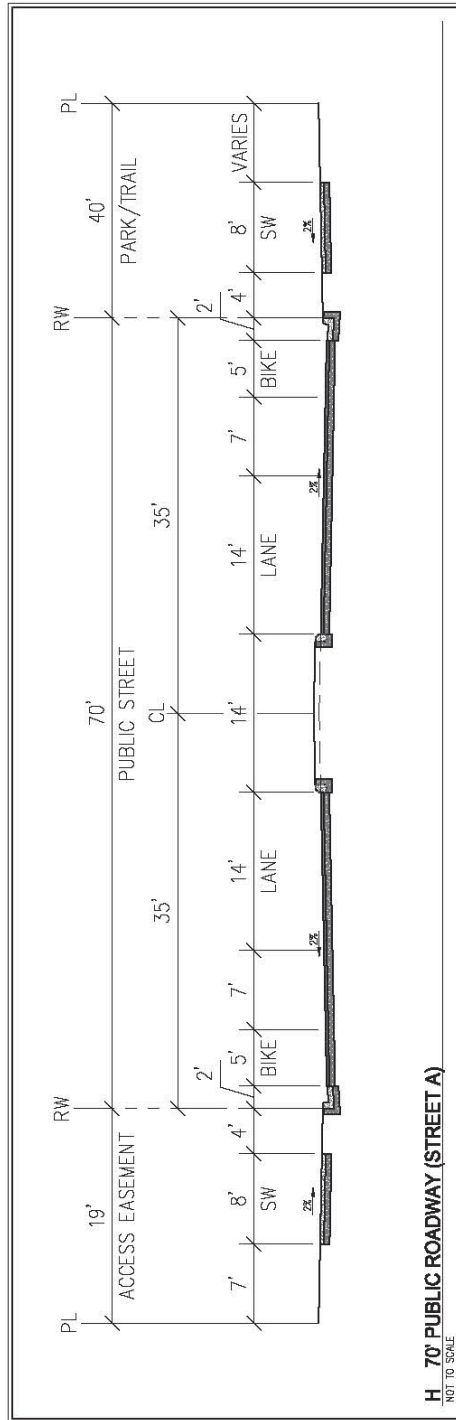
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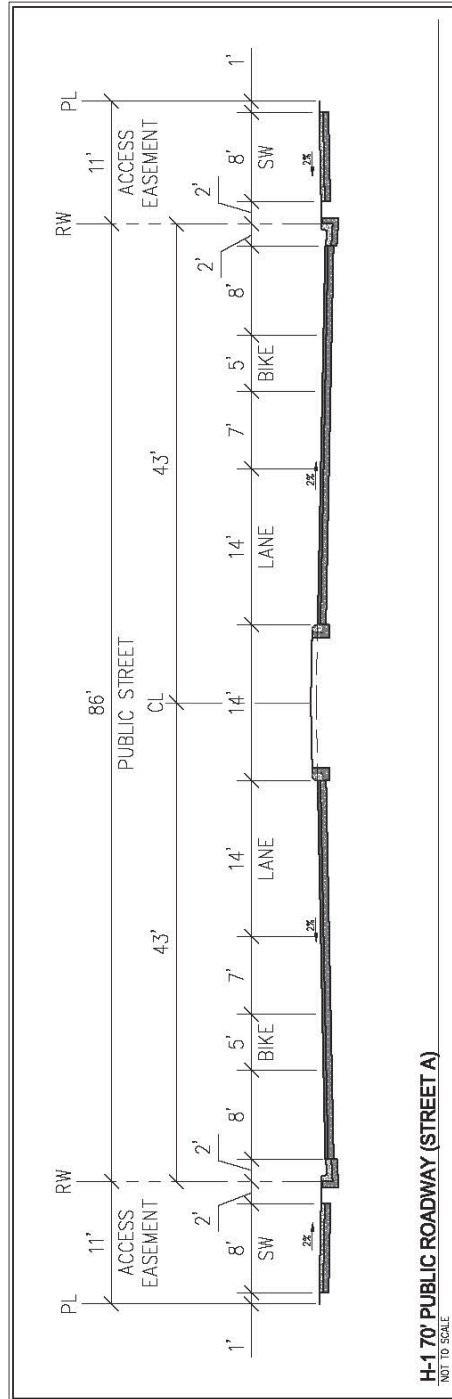
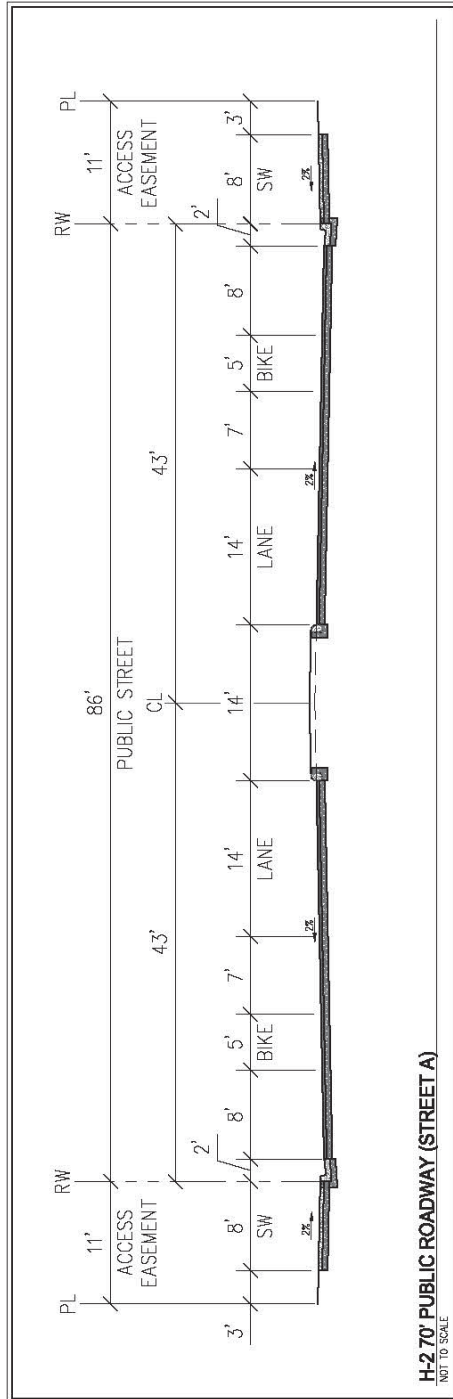
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**NOTES:**

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August 29, 2024

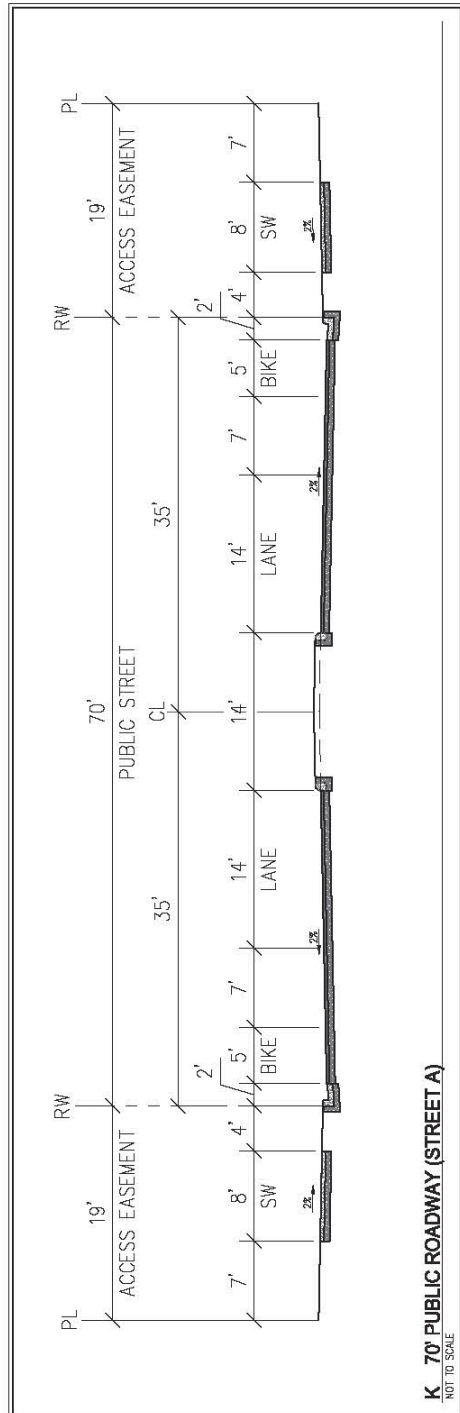
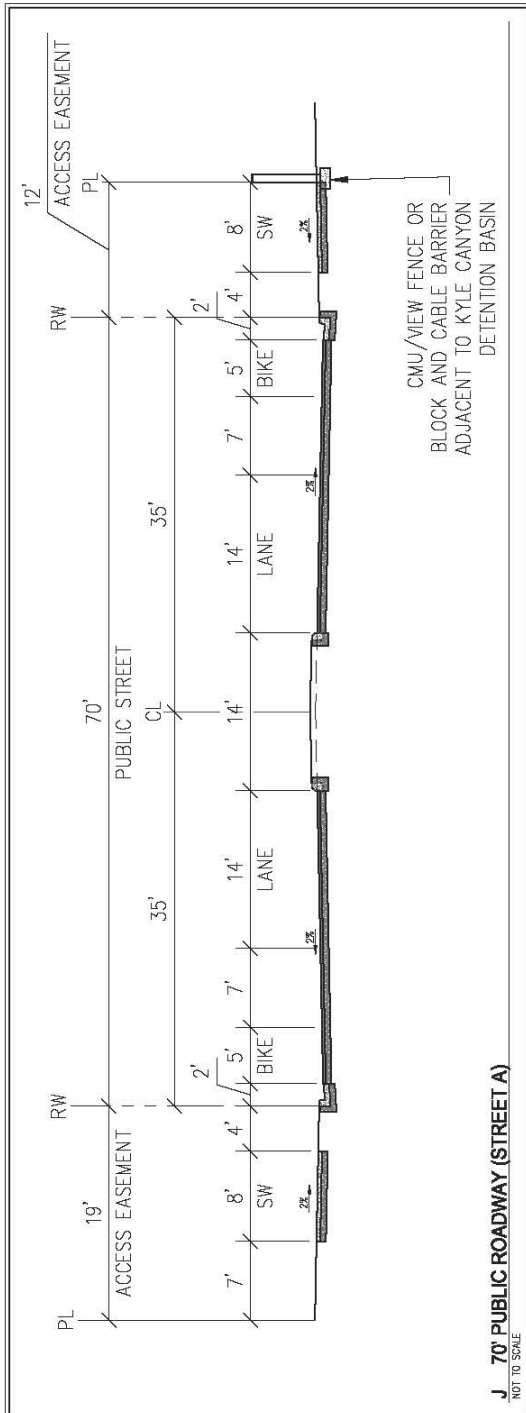
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**NOTES:**

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August 29, 2024

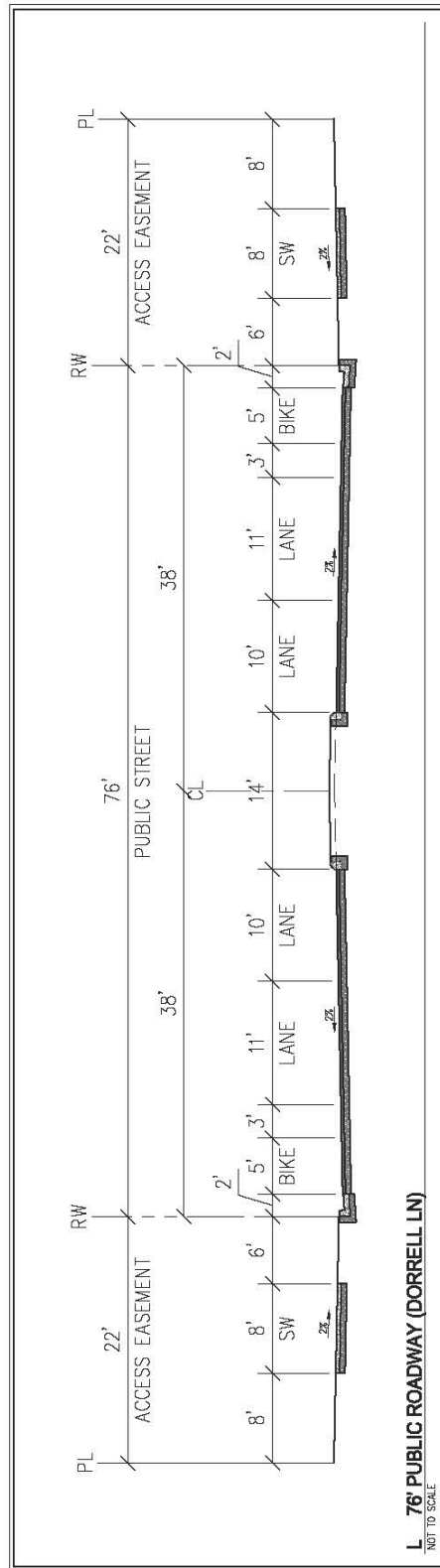
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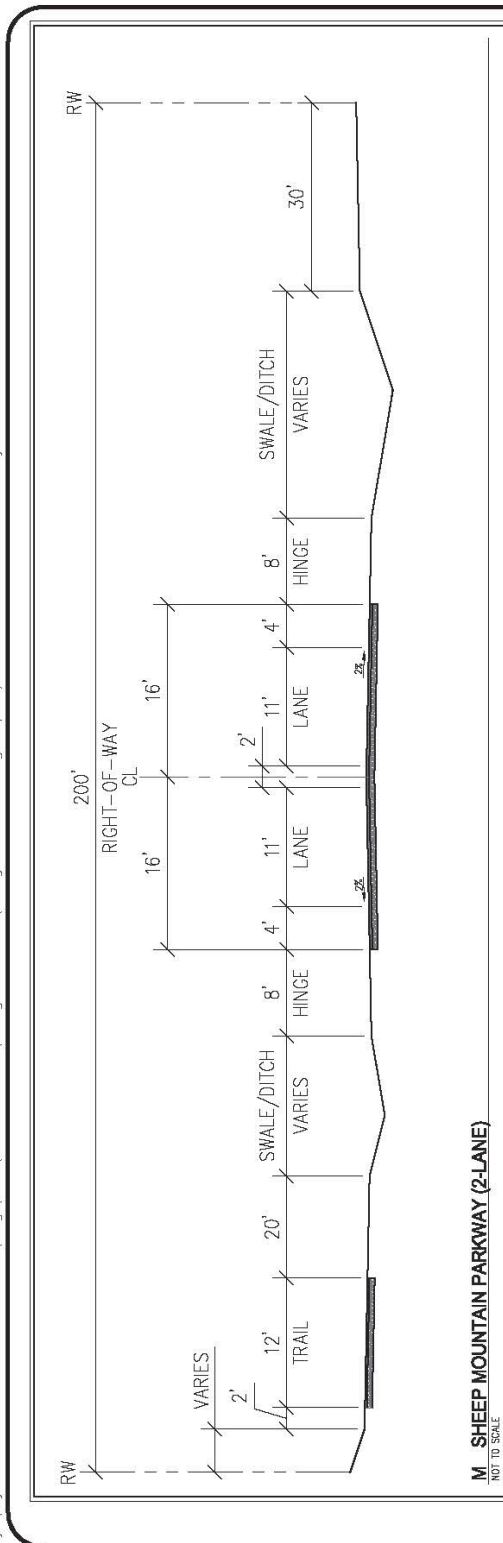
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**NOTES:**

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN ROW

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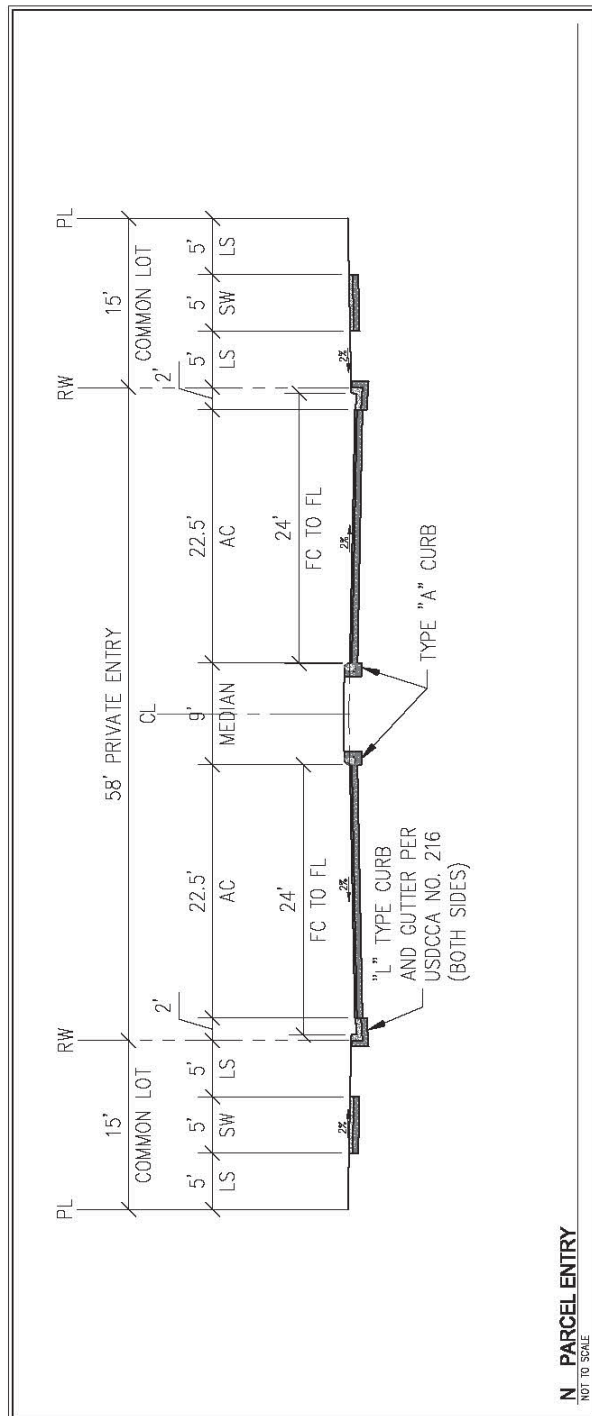
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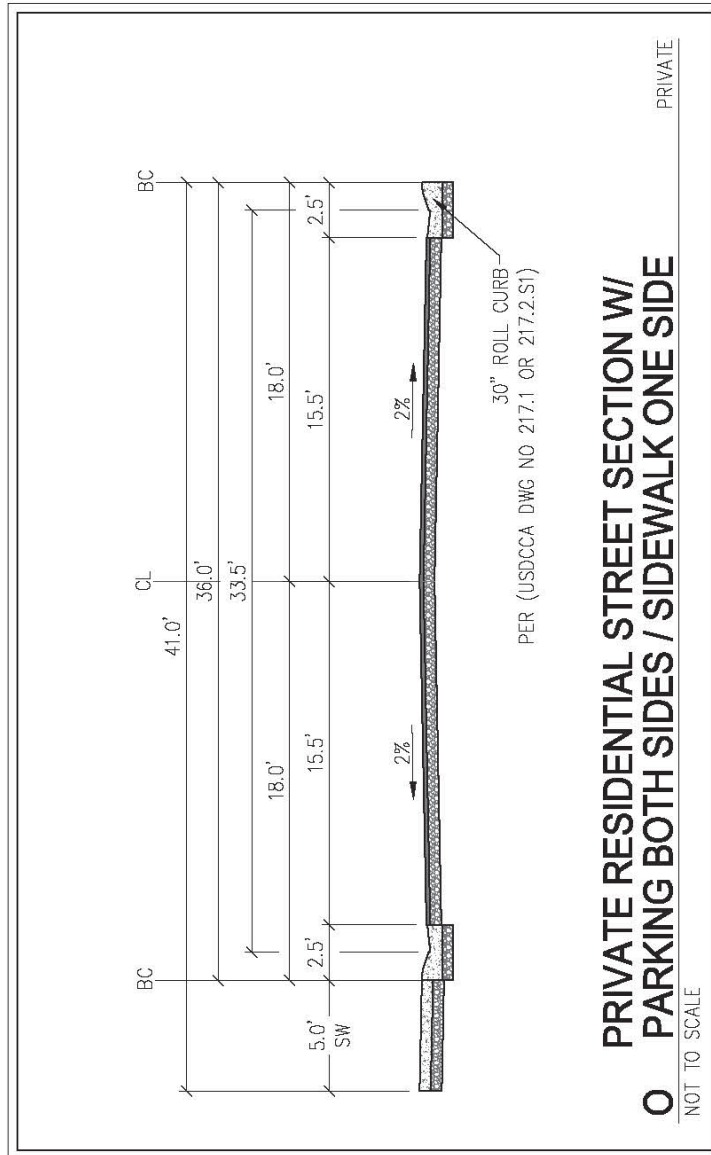
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## PRIVATE GATED STREET SECTIONS

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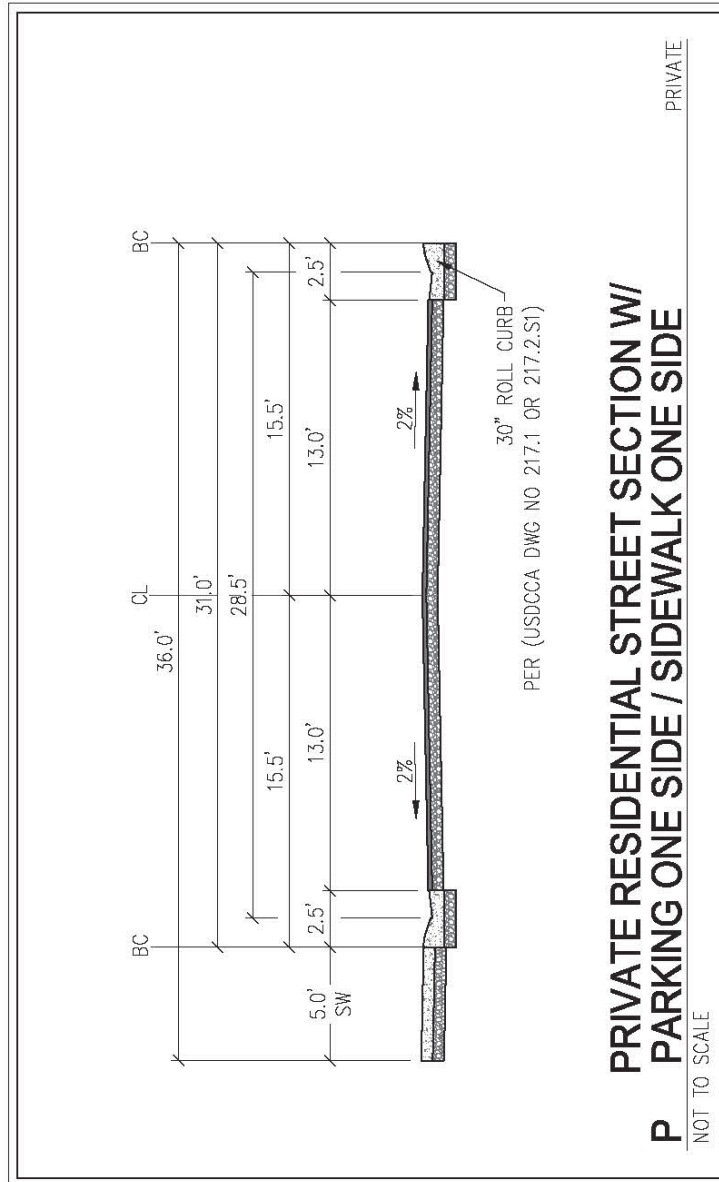
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Streets with <41' width (sidewalk on one side) that contain storm drain must meet minimum separation requirements with other wet utilities per HCDDM Section 802.4, UDACS Section 221 & DCSWWCS Section 2.3.1. Widening may be required to accommodate storm drain.

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## PRIVATE GATED STREET SECTIONS

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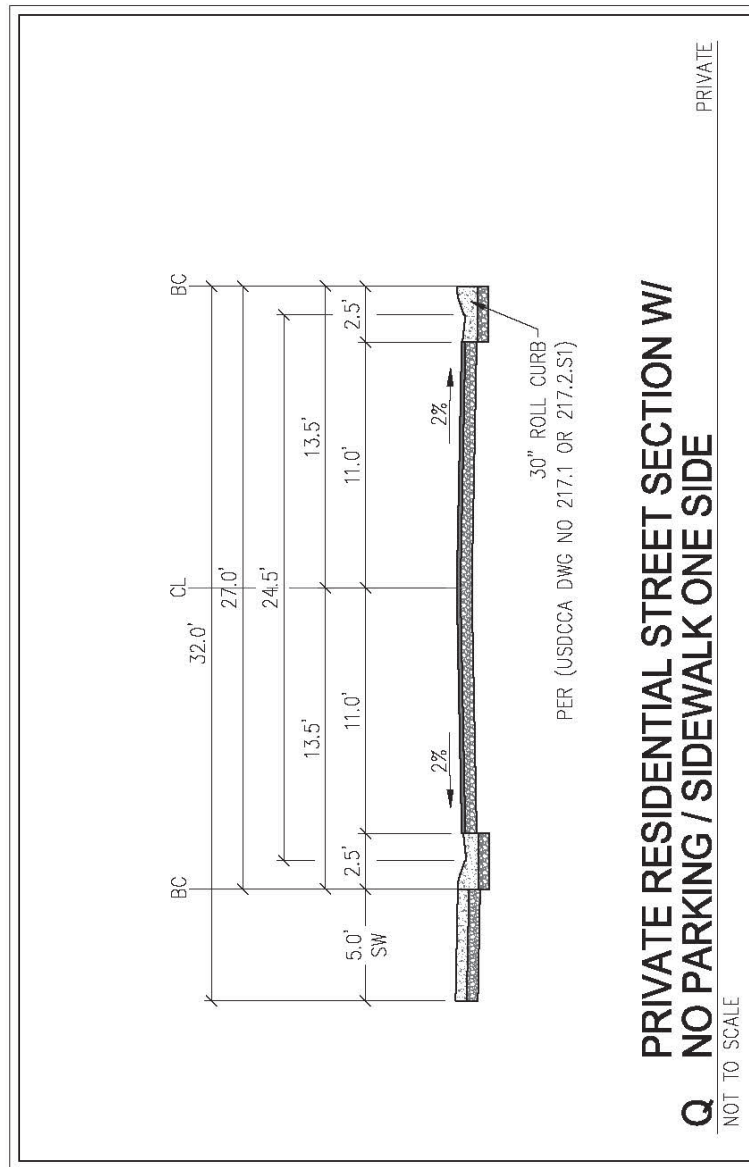
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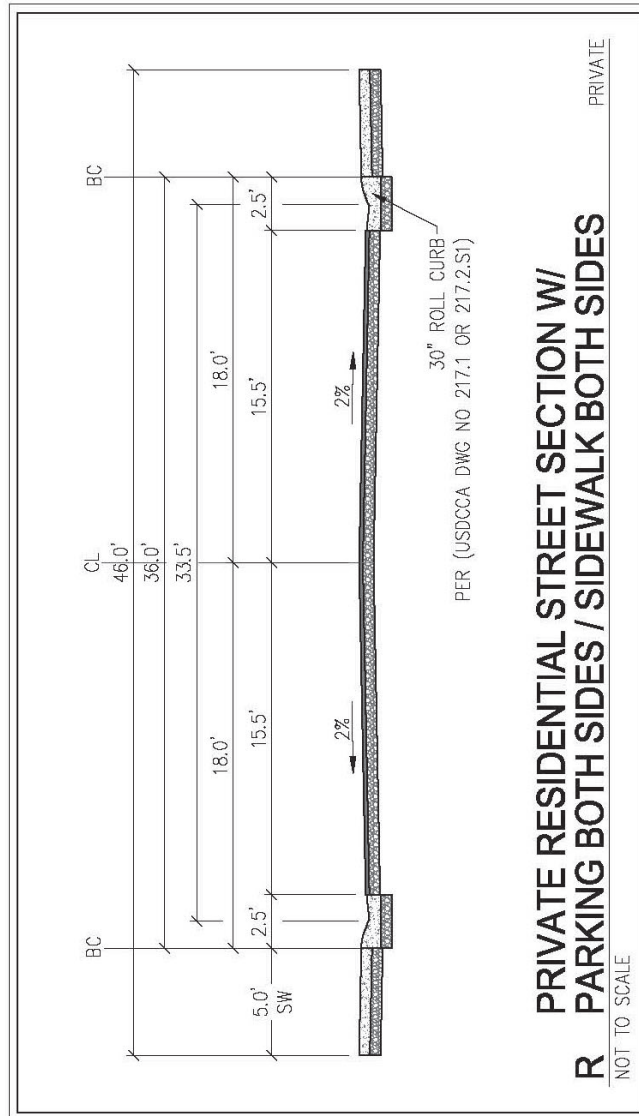
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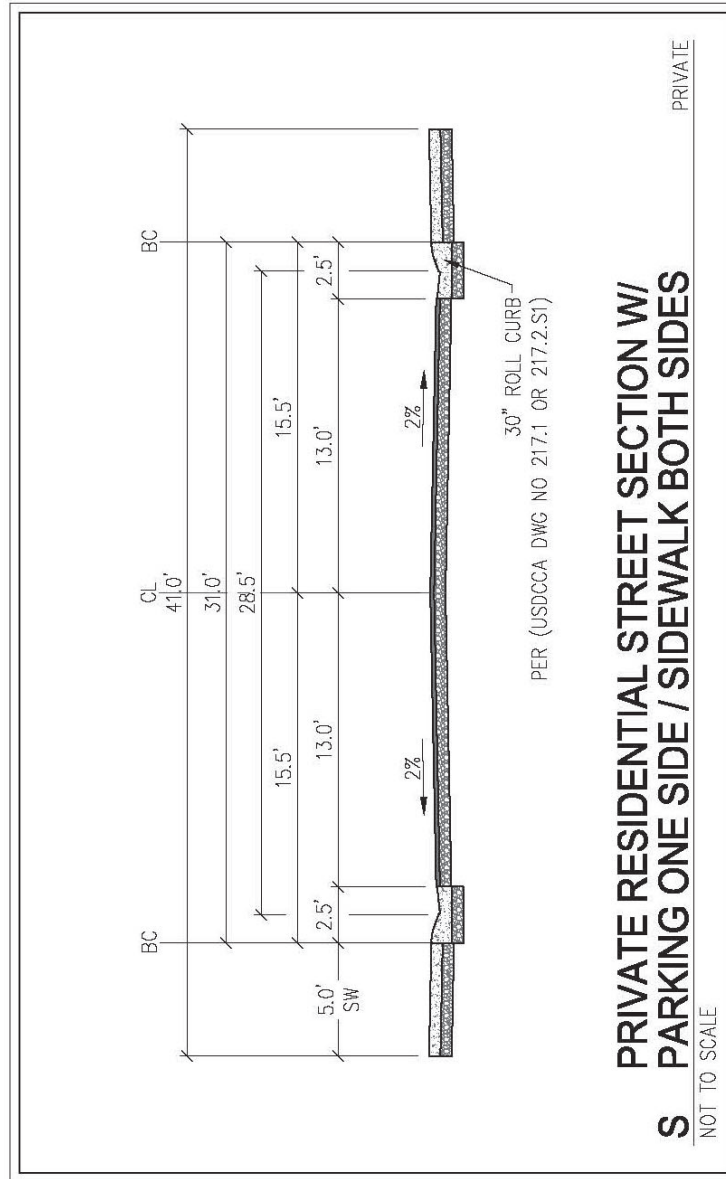
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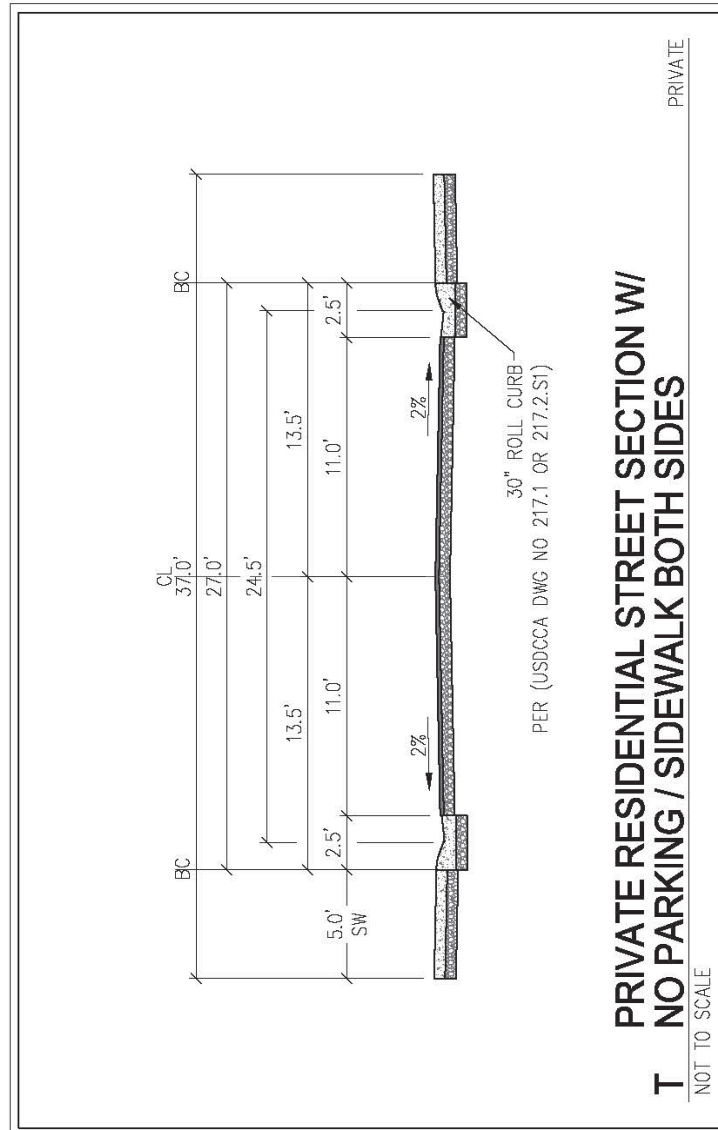
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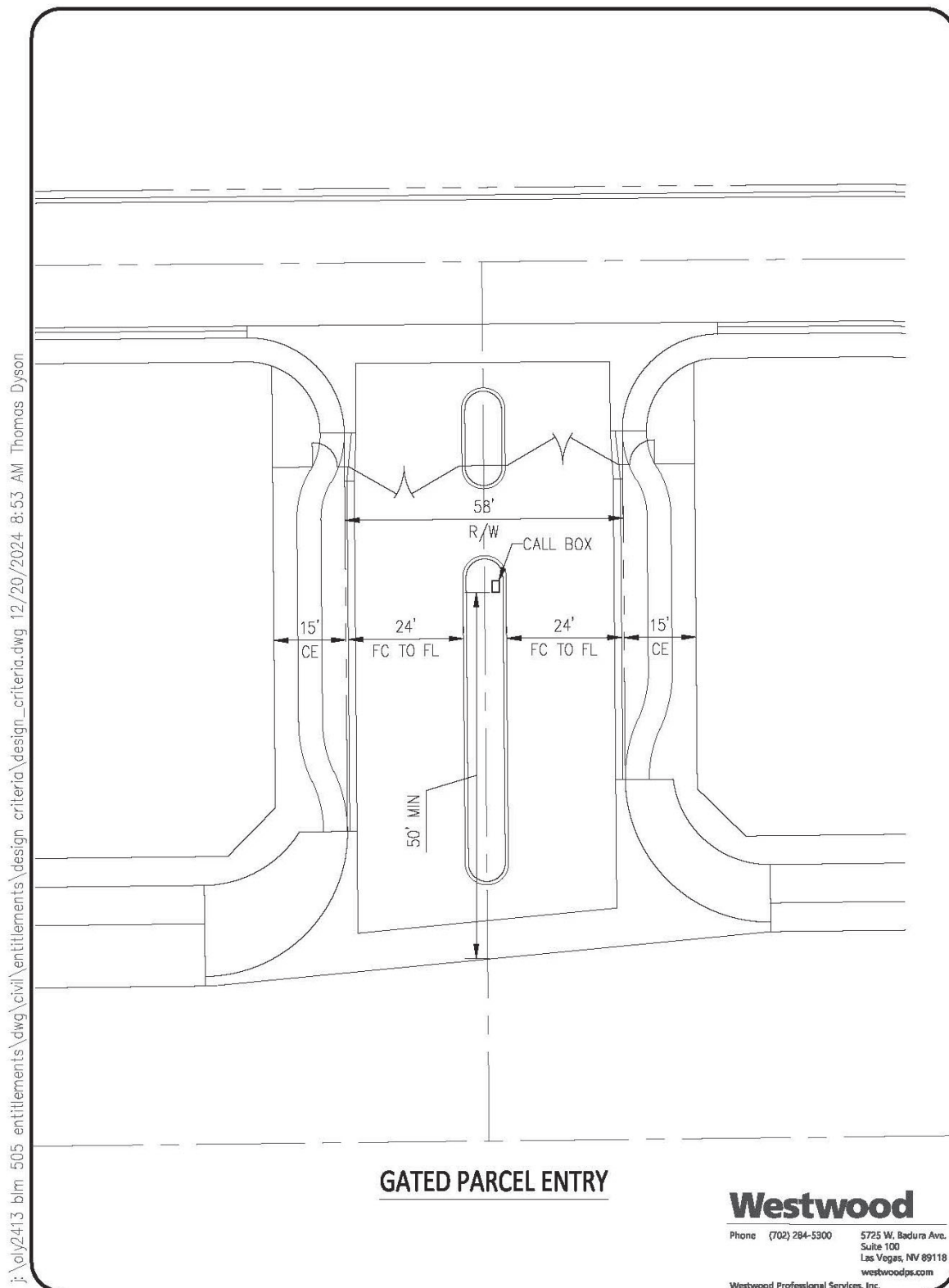
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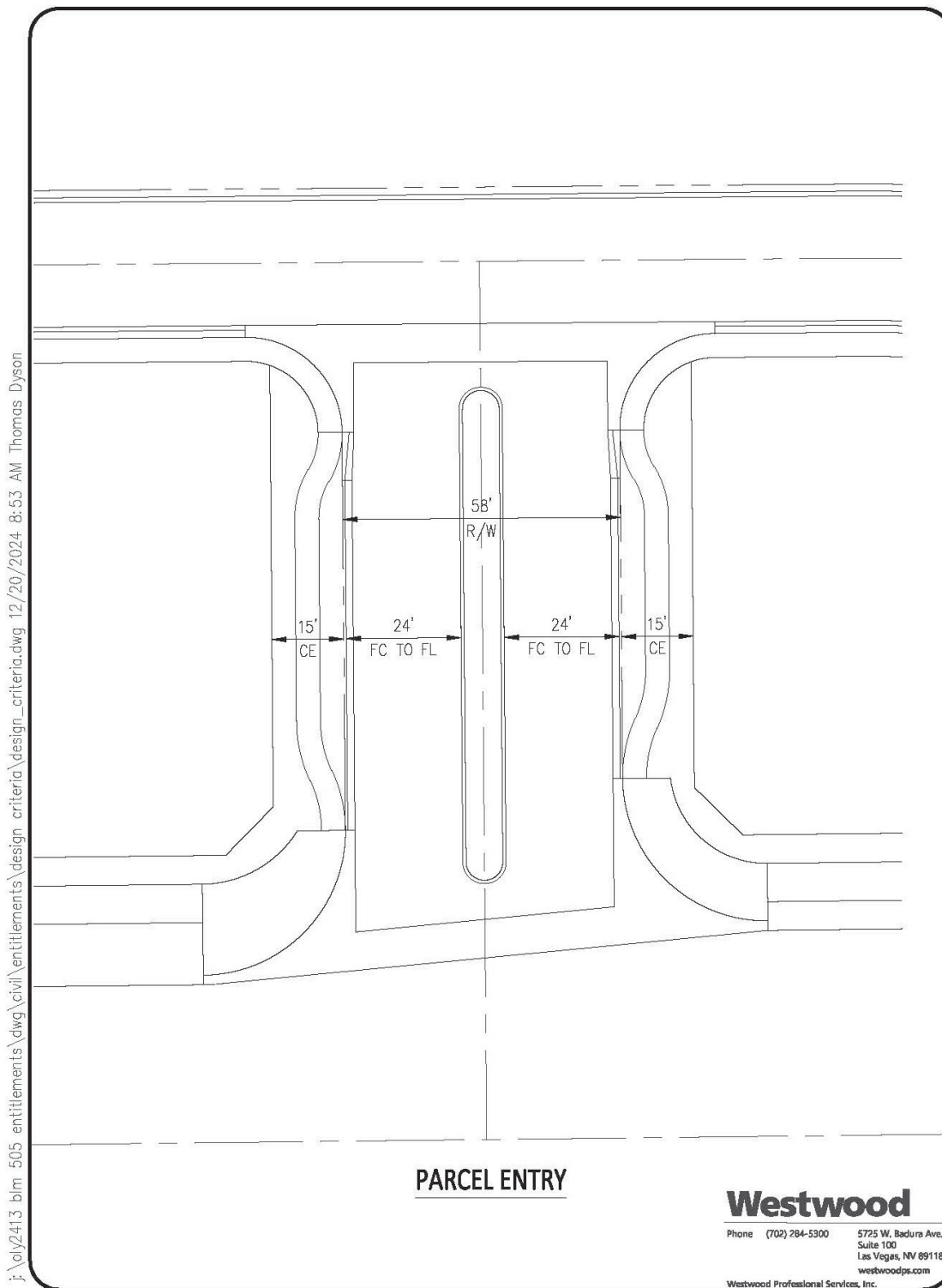
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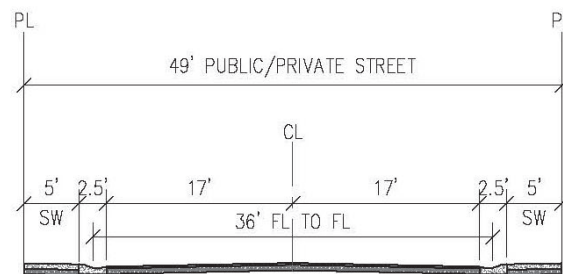
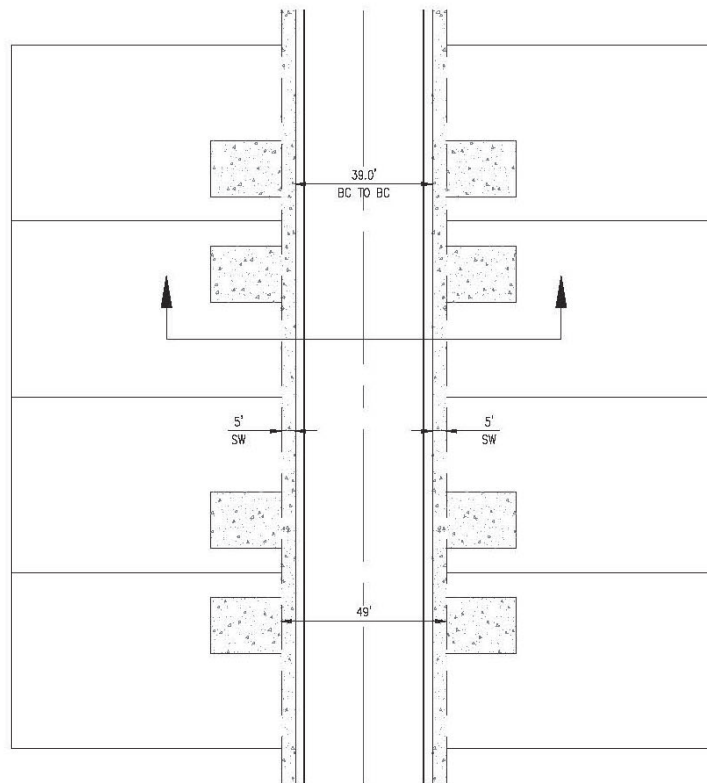
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30" WEDGE TYPE, "L" TYPE (PER USDCCA DWG NO. 216), 30" ROLL (PER USDCCA DWG NO. 217), OR 18" "L" TYPE (PER USDCCA DWG NO. 219) CURB AND GUTTER (BOTH SIDES)

**NOTE:**

1. PARKING ALLOWED ON BOTH SIDES OF STREET

### 49' PUBLIC/PRIVATE STREET SECTION

NTS

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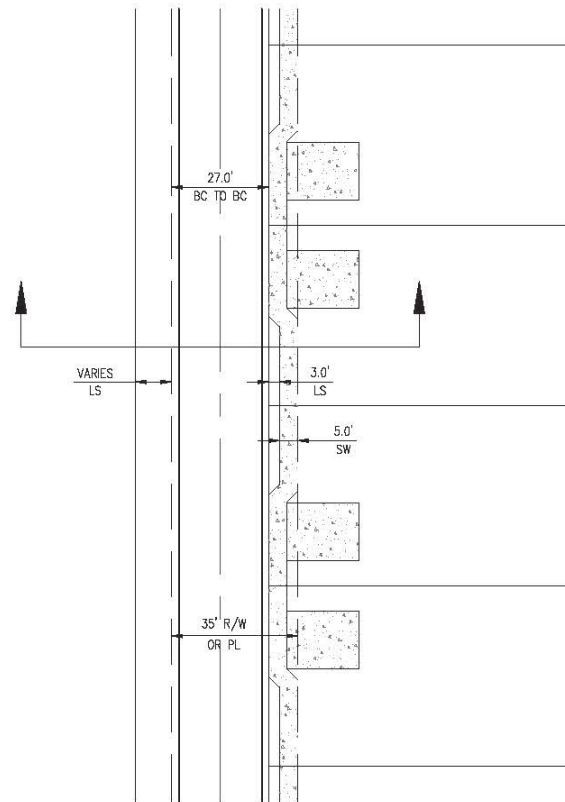
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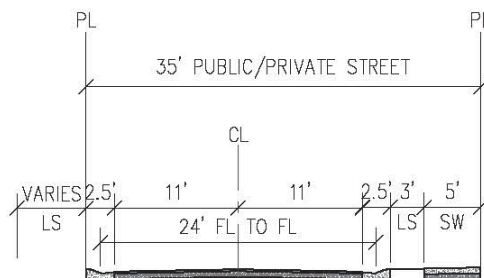
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30" WEDGE TYPE, "L" TYPE (PER USDCCA DWG NO. 216), 30" ROLL (PER USDCCA DWG NO. 217), OR 18" "L" TYPE (PER USDCCA DWG NO. 219) CURB AND GUTTER (BOTH SIDES)

**NOTE:**

1. PARKING ALLOWED ON RESIDENTIAL SIDE OF STREET ONLY
2. HOUSES MUST BE SPRINKLED
3. MAY BE REQUIRED TO BE WIDENED TO ACCOMMODATE STORM DRAIN

**35' PRIVATE SINGLE-LOADED STREET SECTION**

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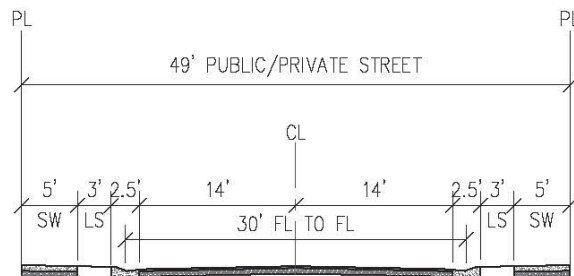
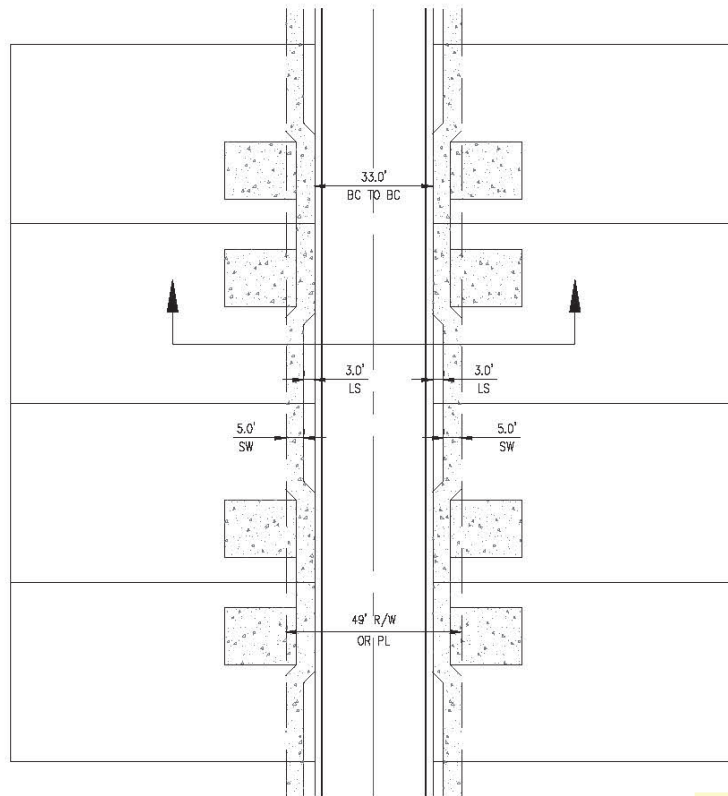
August 29, 2024

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03/31/2025



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**NOTE:**

1. PARKING ALLOWED ON BOTH SIDES OF STREET
2. HOUSES MUST BE SPRINKLED

**49' PRIVATE STREET SECTION (ALT 1)**

NTS

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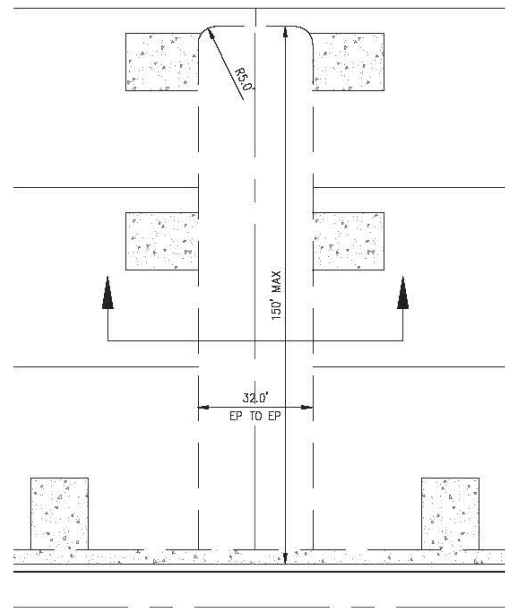
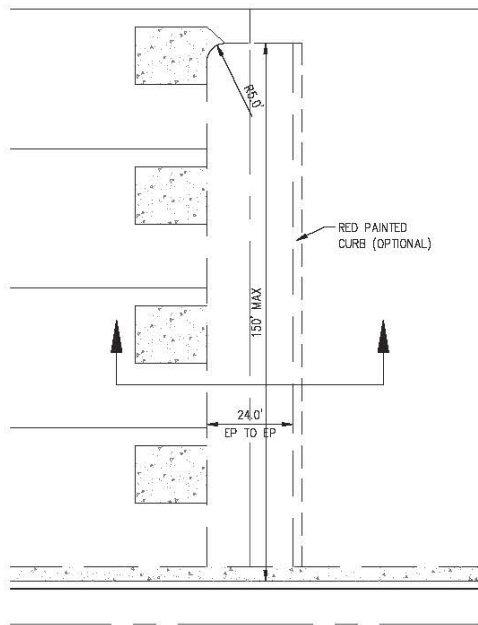
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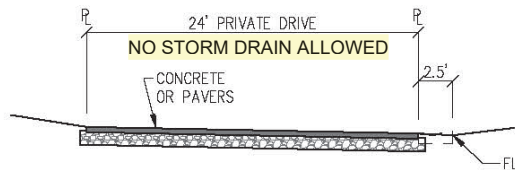
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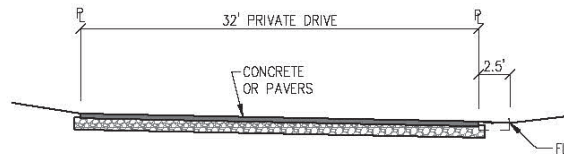
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**24' SHARED PRIVATE DRIVE DETAIL**

NTS

NOTE: NOTWITHSTANDING ANY OTHER LANGUAGE TO THE CONTRARY IN THE DESIGN GUIDELINES OR THE AGREEMENT, NO PARKING ALLOWED IN FIRE LANES LESS THAN 32 FEET IN WIDTH. FIRE LANE SHALL BE MARKED IN ACCORDANCE WITH ADOPTED FIRE CODE.



**32' SHARED PRIVATE DRIVE DETAIL**

NTS

NOTE: NOTWITHSTANDING ANY OTHER LANGUAGE TO THE CONTRARY IN THE DESIGN GUIDELINES OR THE AGREEMENT, PARKING ALLOWED ON ONE SIDE ONLY, IF PART OF THE REQUIRED FIRE DEPARTMENT ACCESS LANE

**NOTES:**

1. 150' MAXIMUM LENGTH FROM BACK OF CURB
2. MAXIMUM OF FOUR LOTS FRONTING PRIVATE DRIVE
3. ALLOWS PARKING ON ONE SIDE
4. OPTIONAL CURB AND GUTTER ONE SIDE
5. OPTIONAL PAN DRIVEWAY WITH INVERTED CROWN

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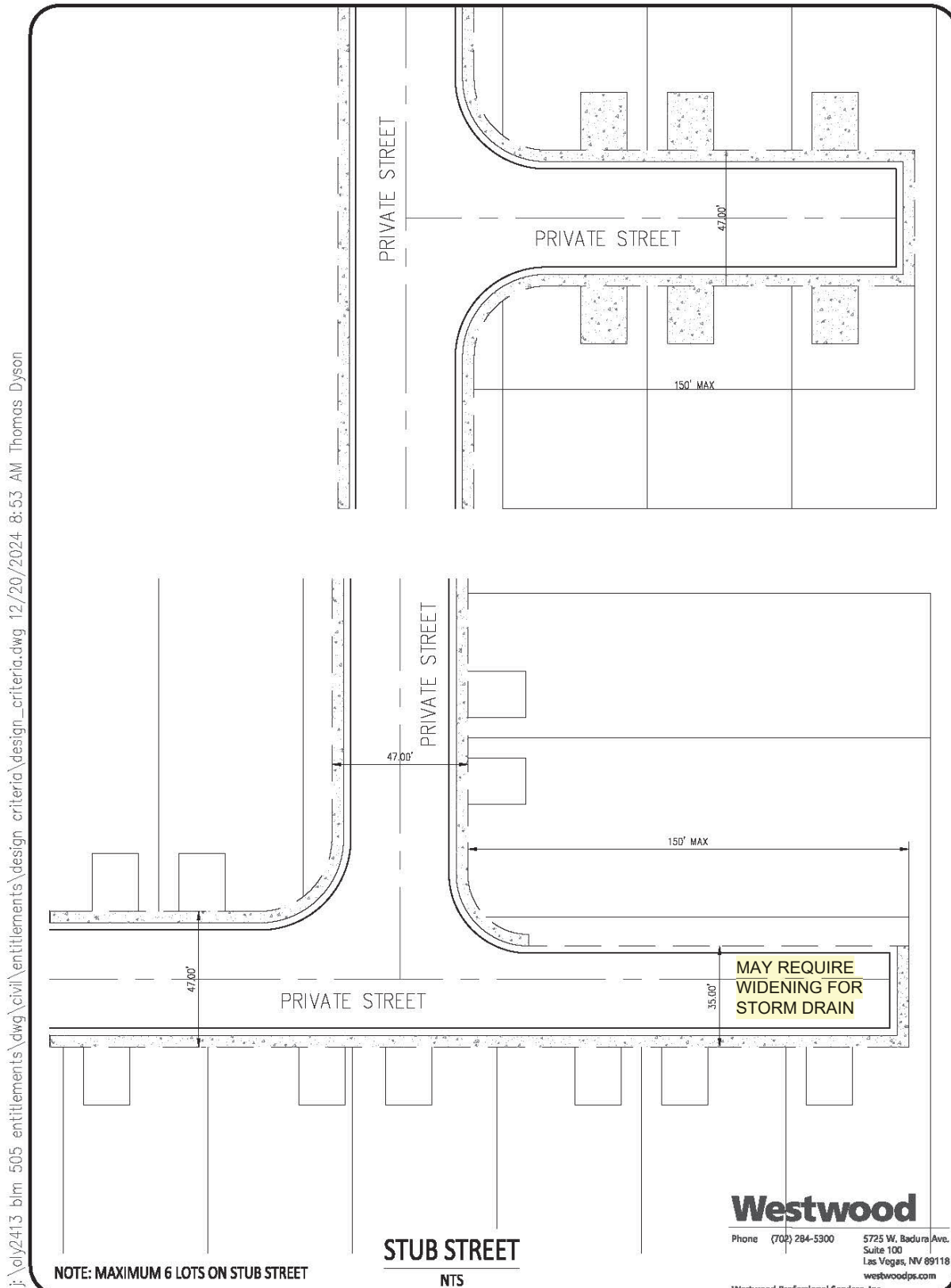
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03/31/2025

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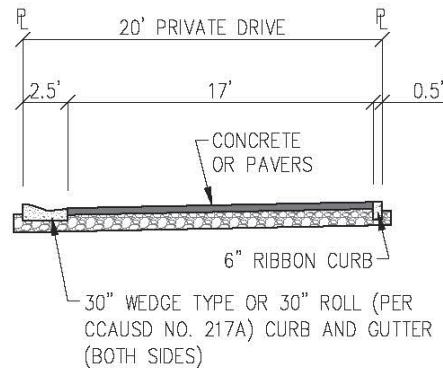
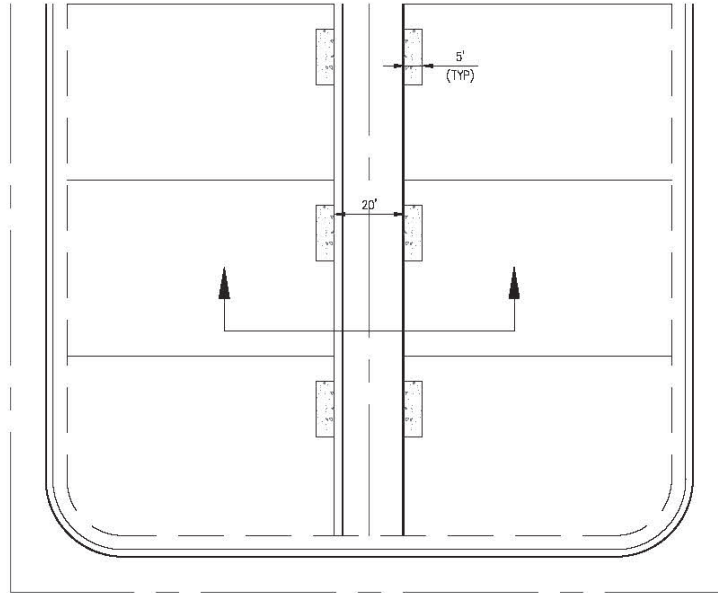
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**25-0037**  
03/31/2025

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NOTE: NOTWITHSTANDING ANY OTHER  
LANGUAGE TO THE CONTRARY IN THE  
DESIGN GUIDELINES OR THE AGREEMENT,  
NOT ALLOWED FOR REQUIRED FIRE  
APPARATUS ACCESS

### 20' PRIVATE ALLEY DRIVE DETAIL

NTS

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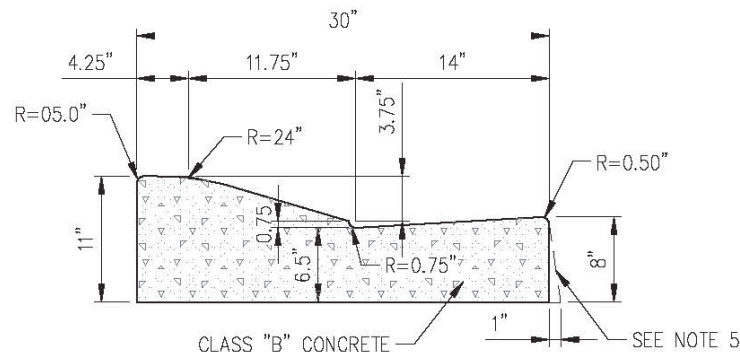
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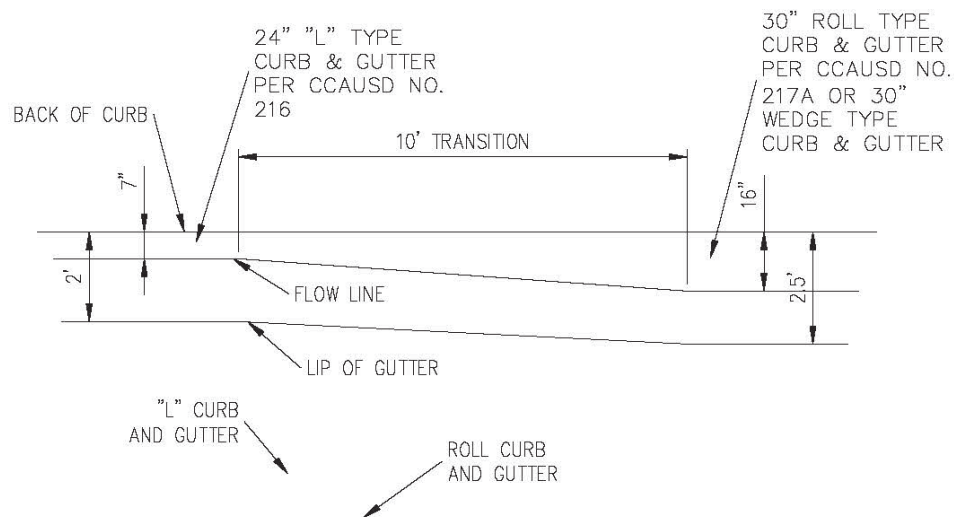


### 30" WEDGE TYPE CURB AND GUTTER

NTS

NOTES:

1. MODIFIED CCAUSD NO. 217A
2. ALL CURB FLOW LINES SHALL BE WATER TESTED. ANY CURB THAT DOES NOT FLOW SHALL BE REMOVED AND REPLACED AS DIRECTED BY CLARK COUNTY AT THE SOLE EXPENSE OF THE CONTRACTOR.



### 10' TRANSITION FROM "L" CURB TO ROLL CURB

NTS

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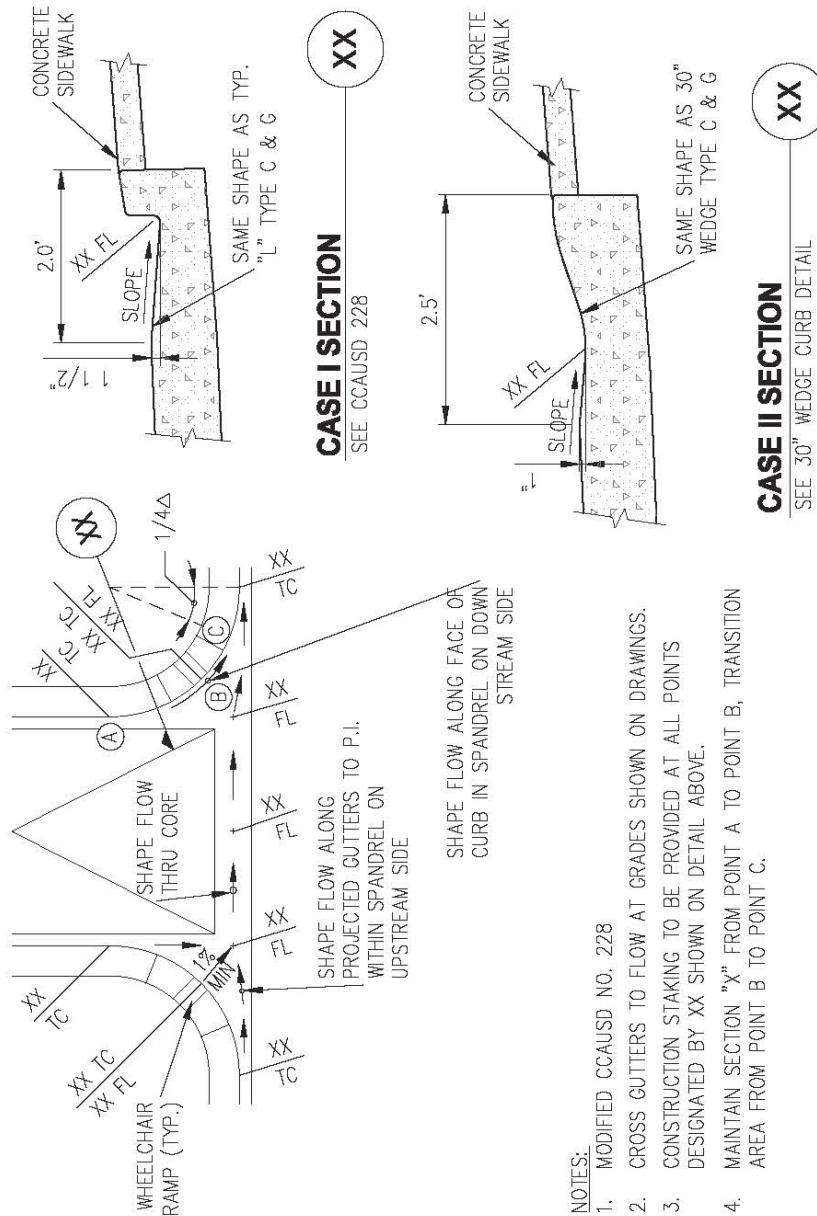
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## TYPICAL CROSS GUTTER W/ 30" ROLL TYPE CURB AND GUTTER DETAIL

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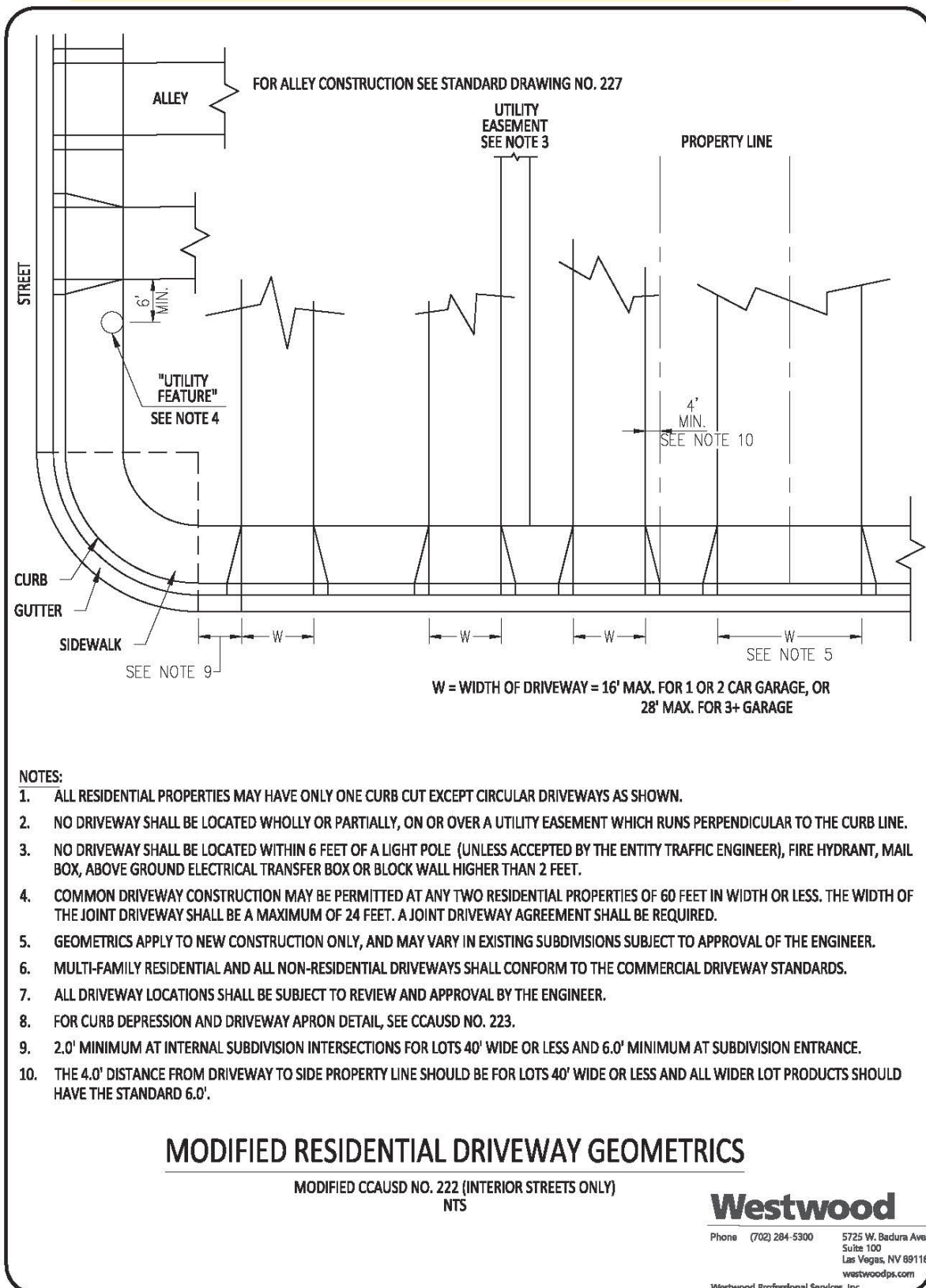
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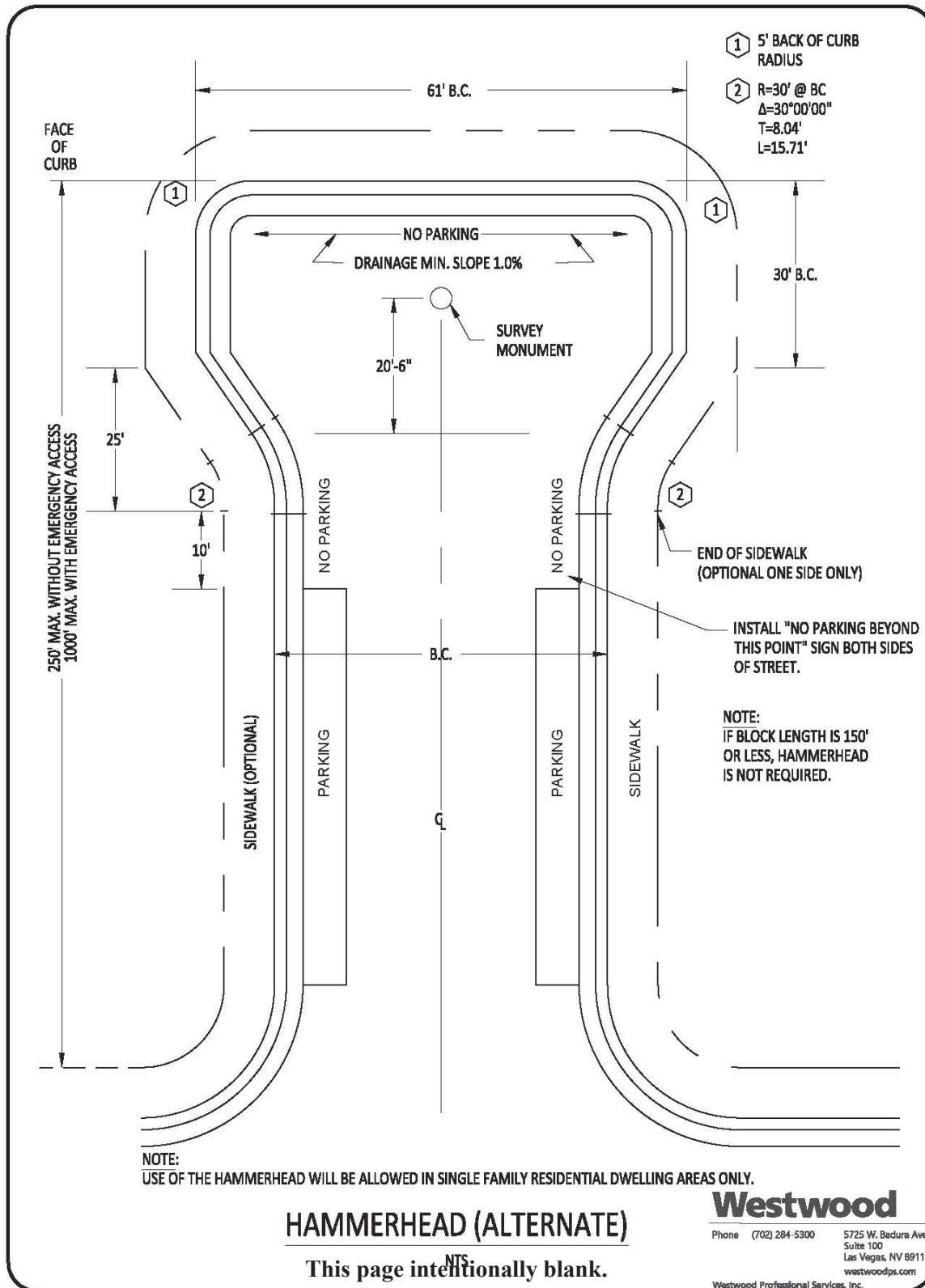
Development Standards and Design Guidelines

August 29, 2024

Amended March 26, 2025

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\*Subject to Public Works design approvals, typical all conditions



**SKYE SUMMIT**

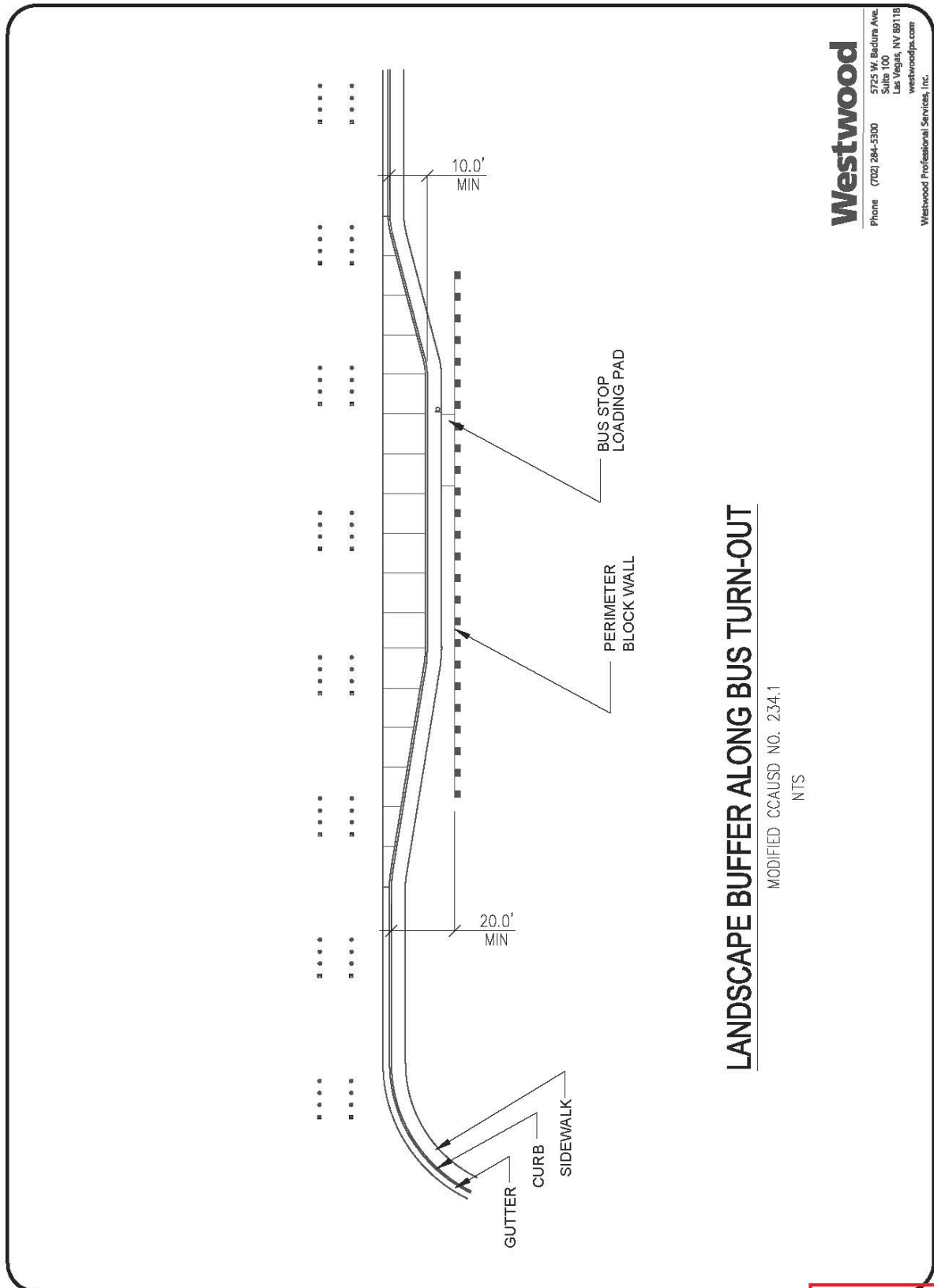
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- D. A minimum useable area of nine hundred (900) square feet. Useable Park Area is defined as portions of a park designated and designed for active and passive recreational use by the community.
1. This includes areas that provide recreational, social, and leisure opportunity for the community such as:
    - a. Playgrounds and play structures;
    - b. Sports fields or sports courts;
    - c. Picnic areas equipped with tables and seating;
    - d. Walking, jogging, and/or cycling paths;
    - e. Dedicated space for public gatherings, performances, or art installations;
    - f. Functional turf/ open play turf areas.
    - g. Refer to **Section 2.2.1: Park Amenities** for more information on amenities.
  2. This does not include areas for recreational infrastructure like maintenance yards, service roads, parking lots, and other non-recreational infrastructure.

#### 4.1.8 Private Open Space for Single Family Attached Developments

- A. Single family attached units are required to have a minimum of one hundred twenty-five (125) square feet of private open space. Open space is calculated per builder parcel.
- B. The minimum dimension for private open space is eight (8) feet in any direction.
- C. Seventy-five (75) percent of the private open space is to be open to the sky and may be located on the front, side, or rear of the unit.
- D. For perimeter or corner lots, private open space shall be located adjacent to the exposed property line to provide articulation to the building mass on these visible edges.
- Privacy wall or fence may enclose private open space in these cases.
- E. Outdoor living space requirements defined in Section 7.5: Outdoor Living Space Requirements for Single-Family Development may be counted toward the private open space requirement for single family attached units.

#### 4.1.9 Open Space for Commercial Development

Key requirements for outdoor pedestrian open spaces and plazas have been established. These guidelines aim to enhance the overall aesthetic and usability of these areas:

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## 4.3 DEVELOPMENT STANDARDS AND SETBACK STANDARDS

### 4.3.1 R-1 Single Family Residential District

STANDARD	R – 1 STANDARDS
Housing Types	Single Family Detached
SKYE SUMMIT	
Minimum Lot Size s.f.	3,500
Dwelling Units per Lot	1
Min. Lot Width	40' (cul-de-sac or knuckle lots which do not meet minimum width at the street are allowed while maintaining minimum lot sizes, subject to ARC review)
<b>MINIMUM SETBACKS</b> <i>Refer to Exhibit 4.3.1 for Setback Diagram.</i> All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	14' to single story, Porch or Attached Side Entry Garage elements, or (May be reduced to 10' at single-story living or porch for 30% of building on a maximum of 25% of product, subject to ARC approval). 10' to Attached Trellis at Driveway 20' to second story 25' to third story elements 5' maximum (cluster product only) or 20' minimum (all garage setbacks) to face of Front Entry Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	8' to ground level Porch 10' to first and second story 15' to third story
<ul style="list-style-type: none"> <li>Rear</li> </ul>	15' to single story 20' to second story (May be reduced by 5' for a maximum of 20% of product, subject to ARC approval). 20' minimum backyards are strongly encouraged. 25' to third story
<b>Detached Accessory Structure</b> <i>(Single-Story only; including Casita* &amp; Detached Side-Entry Garages)</i>	
<ul style="list-style-type: none"> <li>Front</li> </ul>	Match principle structure requirement
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit (subject to 70% total lot coverage maximum)
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> </ul>	10' to post or edge of patio cover 8' to roof overhang 15' to post or edge of sundeck or balcony (may be reduced to 10' at perimeter edge with average 15' typ.) 13' to roof overhang (may be reduced to 8' at perimeter edge with average 13' typ.)

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STANDARD	R – 1 STANDARDS
Housing Types	Single Family Detached
<ul style="list-style-type: none"> <li>Side</li> <li>Corner Side</li> </ul>	5' to post or edge of patio cover, sundeck or balcony  8' to post or edge of patio cover, sundeck or balcony 6' to roof overhang
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Front</li> <li>Side</li> <li>Corner Side</li> </ul>	5' Setback 0' Setback 5' Setback
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	70% or less (Includes detached structures)
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> <ul style="list-style-type: none"> <li>3 Stories max. (Front/rear wall planes must be offset, box on box not allowed)</li> <li>35' max. height</li> </ul> <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage
<b>Landscape Buffers and Turf Limitations</b>	
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	<ul style="list-style-type: none"> <li>Adjacent to Right-of-Way: 5' or building setback, whichever is less</li> </ul>
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' – 6" (3' Solid wall + 18" iron). Pilasters one course above wall
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.12) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Max. Perimeter Wall Height</li> </ul>	7' CMU screen and / or view fence (see Exhibit 5.8)
<ul style="list-style-type: none"> <li>Max. CMU Retaining Wall Height</li> </ul>	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.12)
<ul style="list-style-type: none"> <li>Rockery Walls</li> </ul>	Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.10) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> <li>Contrasting Material</li> </ul>	One course above adjacent wall (see Exhibit 5.2.1) 20%
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> <li>Max. Secondary Wall Height</li> <li>Min. spacing between wall sections – Inside Dimensions</li> <li>Max. Pilaster Height</li> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	6' - 12' Exterior / 10'-16' Interior 4' Exterior – 6' Interior 4' One course above adjacent wall 5'-4"

\* Accessory Dwelling Unit may include a full kitchen facilities.

\*\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to Perimeter wall faces oriented to the inside boundaries of the subdivision.

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### 4.3.2 R-1 Single Family Residential District

STANDARD	R – 1 STANDARDS (Wide/Shallow Product)
Housing Types	Single Family Detached: Front-loaded and/or Private Street and Alley-loaded
SKYE SUMMIT	
Minimum Lot Size s.f.	3,500
Dwelling Units per Lot	1
Min. Lot Width	40' (cul-de-sac or knuckle lots which do not meet minimum width at the street are allowed while maintaining minimum lot sizes, subject to ARC review)
Min. Lot Depths	80'
<b>MINIMUM SETBACKS</b> <i>Refer to Exhibit 4.3.2 for Setback Diagram.</i> All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	14' to single story Living, Porch or Attached Side Entry Garage elements (May be reduced to 10' at single-story living or porch for 30% of building on a maximum of 25% of product, subject to ARC approval). 10' to Attached Trellis at Driveway 20' to second story elements 20' to face of Front Entry Garage Door (measured from back of sidewalk or back of <u>curb</u> where no sidewalk is provided).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	8' to ground level Porch 10' to Living
<ul style="list-style-type: none"> <li>Rear</li> </ul>	<b>Rear Yard with No Alley</b> 15' to single story 20' to second story (May be reduced by 5' for 50% of building width for a maximum of 25% of product, subject to ARC approval). 15' minimum backyards are strongly encouraged, however, integration of side yard to function as outdoor living space may be acceptable with ARC approval  <b>Rear Yard with Alley</b> 5' to Second Story Living over Garage (cantilevered) 5' to Porch, Portico, Courtyard Wall or similar element 5' to Single Story Living 5' to Second Story Living 5' or 20'+ to face of Garage Door
<b>Detached Accessory Structure</b> (Single-Story only; including Casita* & Detached Side-Entry Garages)	
<ul style="list-style-type: none"> <li>Front</li> </ul>	14' (May be reduced to 10' for 30% of building on a maximum of 25% of product, subject to ARC approval).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit. (subject to 70% total lot coverage maximum)
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>	

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STANDARD	R – 1 STANDARDS (Wide/Shallow Product)
Housing Types	Single Family Detached: Front-loaded and/or Alley-loaded
<i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> <li>Side</li> <li>Corner Side</li> </ul>	10' to post or edge of patio cover 8' to roof overhang 15' to post or edge of sundeck or balcony (may be reduced to 10' at perimeter edge with average 15' typ.) 13' to roof overhang (may be reduced to 8' at perimeter edge with average 13' typ.)  5' to post or edge of patio cover, sundeck or balcony  15' to post or edge of patio cover, sundeck or balcony 13' to roof overhang (second-story) 8' to roof overhang (single story)
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Front</li> <li>Side</li> <li>Corner Side</li> </ul>	5' Setback 5' Setback 5' Setback
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not inc. utility esmt's) is subtracted.</i>	70% or less (includes detached structures)
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> <ul style="list-style-type: none"> <li>3 Stories max. (Front/rear wall planes must be offset, box on box not allowed)</li> <li>35' max. height</li> </ul> <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage
<b>Landscape Buffers and Turf Limitations</b>	
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	<ul style="list-style-type: none"> <li>Adjacent to Right-of-Way: 6' or building setback, whichever is less</li> </ul>
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' -6" (3' Solid wall + 18" iron). Pilasters one course above wall
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> <li>Max. Perimeter Wall Height</li> <li>Max. CMU Retaining Wall Height</li> <li>Rockery Walls</li> <li>Max. Pilaster Height</li> <li>Contrasting Material</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.12) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B) 7' CMU screen and / or view fence (see Exhibit 5.8) 6' exterior – 10' interior. 12' at lots adjacent to open space (see Exhibit 5.12) Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.10) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way. One course above adjacent wall (see Exhibits 5.2.1) 20%
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> <li>Max. Secondary Wall Height</li> <li>Min. spacing between wall sections – Inside Dimensions</li> <li>Max. Pilaster Height</li> </ul>	6' - 12' Exterior / 10'-16' Interior 4' Exterior – 6' Interior 4' One course above wall

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### 4.3.3 R-CL Medium-Low Density Residential District

STANDARD	R - CL STANDARDS
Housing Types	Single Family Detached, Duplex (Conventional, Cluster or Court Street *** configurations), and on a parcel with a MLA (Medium-Low Attached) land use designation.
SKYE SUMMIT	
Minimum Lot Size s.f.	Conventional: 2,000 Cluster or Court St: 2,000
Units per Gross Acre	6-12
Min. Lot Width	NA
<b>MINIMUM SETBACKS</b> <i>Refer to Exhibit 4.3.3 for Setback Diagram</i> All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	<b>From Interior Street, Paseo or Common Open Space</b> 5' to Porch 10' to Single Story Living / 5' from Court Street *** 14' to Second Story Living / 5' from Court Street *** 20' to face of Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).  <b>R-CL on a parcel with a MLA (Medium-Low Attached) land use designation</b> 5' to Second Story Living over Garage 5' to Porch 5' to Single Story Living 5' or 20' to face of Garage Door
<ul style="list-style-type: none"> <li>Side</li> </ul>	0' at common wall 5' at building end wall
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10' to Right of Way or back of sidewalk (where occurs)
<ul style="list-style-type: none"> <li>Rear</li> </ul>	<b>Rear Yard</b> 15' for 50% of building width, 10' for remaining 50%  <b>Rear Yard with Court Street ***</b> 5' to Second Story Living over Garage (cantilevered) 5' to Single Story Living or Porch 5' to Second Story Living 20' to face of Garage Door
<b>Detached Accessory Structures</b>	
<ul style="list-style-type: none"> <li>Front</li> </ul>	Same as Main Building
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5'
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to post or edge of sundeck or balcony
<ul style="list-style-type: none"> <li>Side</li> </ul>	5' to post or edge of sundeck or balcony
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	5' to post or edge of sundeck or balcony

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STANDARD	R - CL STANDARDS
Housing Types	Single Family Detached, Duplex (Conventional, Cluster or Court Street *** configurations), and on a parcel with a MLA (Medium-Low Attached) land use designation.
<b>Courtyard Walls</b>	
From Interior Street	5'
• From Court St., Drive Aisle or Alley	2'
• From Paseo or Common Open Space	0'
• Corner Side	2'
• <b>Min. Distance Between Buildings</b>	10'
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	NA
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> 3 Stories max.; 38' max. (Front/rear wall planes must be offset, box on box not allowed).  <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	In neighborhoods where 5' driveways are proposed, additional off-street parking must be provided, subject to ARC review and approval.
<b>Landscape Buffers and Turf Limitations</b>	
Minimum Zone Depths	Adjacent to Right-of-Way: 6' or building setback whichever is less
• <b>WALLS AND FENCES</b>	• Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
Maximum height	4' -6" (3' Solid wall + 18" iron) Pilasters one course above adjacent wall/fence
• <b>Perimeter and Retaining Walls</b>	
Max. Overall Height	12' Exterior – 16' Interior (See Exhibit 5.12) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
• Max. Perimeter Wall Height	7' CMU screen and / or view fence (see Exhibits 5.8)
• Max. CMU Retaining Wall Height	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.12)
• Rockery Walls	Max. 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.10). Exterior Rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
• Max. Pilaster Height	One course above adjacent wall (see Exhibits 5.2.1)
• Contrasting Material	20%
<b>Perimeter and Retaining Walls Standard</b>	(See Exhibit 5.2.4)
• <b>Stepback</b>	
Max. Primary Wall Height	6' - 12' Exterior / 10'-16' Interior
• Max. Secondary Wall Height	4' Exterior – 6' Interior
• Min. spacing between wall sections –	4'
• Inside Dimensions	
Max. Pilaster Height	One course above wall
• Min. spacing between wall sections –	5'-4"
• Outside Dimensions	
<b>Private Outdoor Space</b>	<b>125 s.f.</b> with 8' minimum dimension and 75% open to the sky (May be located on the front, side or rear of unit)

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STANDARD	R - CL STANDARDS
Housing Types	Single Family Detached, Duplex (Conventional, Cluster or Court Street *** configurations), and on a parcel with a MLA (Medium-Low Attached) land use designation.
	On perimeter or corner lots, Private Open Space shall be located adjacent to the exposed property line to provide articulation to the building mass on these visible edges. Privacy wall or fence may enclose Private Open Space in such cases.
Common Open Space	<p>Minimum Common Open Space element is 10,000 s.f., <i>plus</i> 50 sq. ft. for each unit in excess of 100 within the project.</p> <p>The minimum 10,000 s.f common open space requirement may be consolidated into a single amenity area, visible from the main entry of the project to the extent feasible. The balance of any cumulative common open space requirement exceeding 10,000 s.f. may be distributed throughout the project as the builder desires, so long as such common open space element has a minimum dimension of 15'.</p>

\* Accessory Dwelling Unit may include full kitchen facilities.

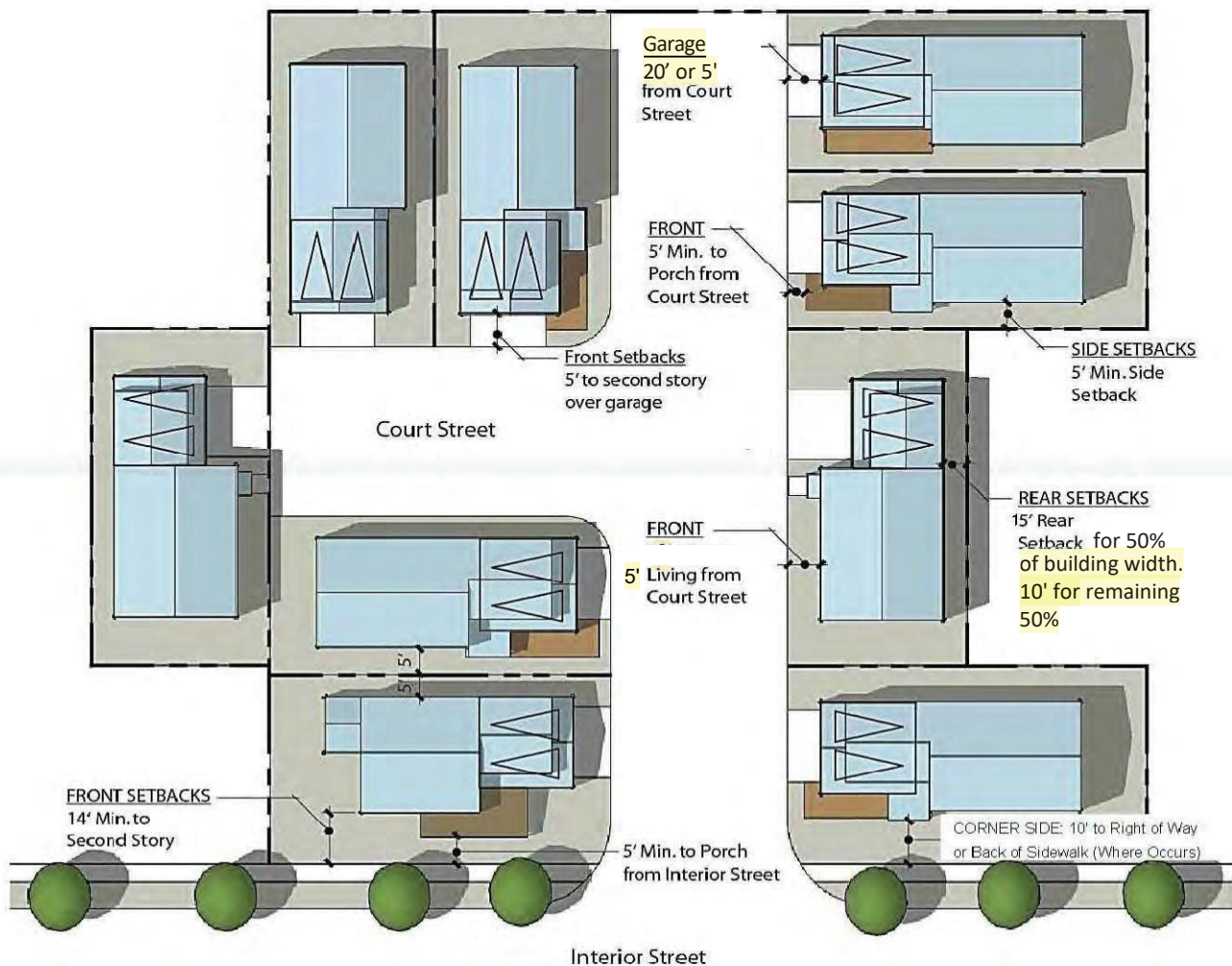
\*\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to Perimeter wall faces oriented to the inside boundaries of the subdivision.

\*\*\* Court Street refers to a Private Drive or Private Street where the unit is addressed from.

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**Exhibit 4.3.3: R-CL Conventional, Cluster or C**

Zero Lot line conditions may occur.

**Zero Lot Line Conditions:**

If draining from one lot to another, a drainage easement will be required to accommodate the necessary drainage facilities.

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### 4.3.4 AA-1 Single Family Residential District

STANDARD	AA – 1 STANDARDS
Housing Types	Active Adult Single Family Detached
SKYE SUMMIT	
Minimum Lot Size s.f.	3,500
Dwelling Units per Lot	1
Min. Lot Width	40' (cul-de-sac or knuckle lots which do not meet minimum width at the street are allowed while maintaining minimum lot sizes, subject to ARC review)
<b>MINIMUM SETBACKS</b> All setbacks measured from the property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	10' to single story Living, Porch or Attached Side Entry Garage 14' to second story 20' to third story 5' (cluster product only) or 20' to face of Front Entry Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	8' to ground level Porch 10' to first and second story living 15' to third story
<ul style="list-style-type: none"> <li>Rear</li> </ul>	10' to single story 15' to second story (May be reduced by 5' for 50% of building width for a maximum of 25% of product, subject to ARC approval). 20' minimum backyards are strongly encouraged. 20' to third story
<b>Detached Accessory Structure</b> (Single-Story only; including Casita* & Detached Side-Entry Garages)	
<ul style="list-style-type: none"> <li>Front</li> </ul>	Match principle structure requirement
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit (subject to 70% total lot coverage maximum)
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> </ul>	10' to post or edge of patio cover 8' to roof overhang 15' to post or edge of sundeck or balcony (may be reduced to 10' at perimeter edge with average 15' typ.) 13' to roof overhang (may be reduced to 8' at perimeter edge with average 13' typ.)

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STANDARD	AA – 1 STANDARDS
Housing Types	Active Adult Single Family Detached
<ul style="list-style-type: none"> <li>Side</li> </ul>	5' to post or edge of patio cover, sundeck or balcony
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	8' to post or edge of patio cover, sundeck or balcony 6' to roof overhang
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Front</li> </ul>	5' Setback
<ul style="list-style-type: none"> <li>Side</li> </ul>	0' Setback
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	5' Setback
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	70% or less (Includes detached structures)
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> <ul style="list-style-type: none"> <li>3 Stories max. (Front/rear wall planes must be offset, box on box not allowed)</li> <li>35' max. height</li> </ul> <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage
<b>Landscape Buffers and Turf Limitations</b>	
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	<ul style="list-style-type: none"> <li>Adjacent to Right-of-Way: 5' or building setback, whichever is less</li> </ul>
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.  Privacy walls separating single family detached homes may be eliminated subject to prior Developer review and approval. -Air conditioner condenser unit screening is always required.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' – 6" (3' Solid wall + 18" iron). Pilasters one course above wall
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.12) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Max. Perimeter Wall Height</li> </ul>	7' CMU screen and / or view fence (see Exhibit 5.8)
<ul style="list-style-type: none"> <li>Max. CMU Retaining Wall Height</li> </ul>	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.12)
<ul style="list-style-type: none"> <li>Rockery Walls</li> </ul>	Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.10) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above adjacent wall (see Exhibit 5.2.1)
<ul style="list-style-type: none"> <li>Contrasting Material</li> </ul>	20%
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> </ul>	6' - 12' Exterior / 10'-16' Interior
<ul style="list-style-type: none"> <li>Max. Secondary Wall Height</li> </ul>	4' Exterior – 6' Interior
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Inside Dimensions</li> </ul>	4'
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above wall
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	5'-4"

\* Accessory Dwelling Unit may include full kitchen facilities.

\*\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to perimeter wall faces oriented to the inside boundaries of the subdivision.

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### 4.3.5 Single Family Attached District

STANDARD	R – TH STANDARDS
Housing Types	Single Family Attached Residences
SKYE SUMMIT	
Min. Lot Size s.f.	1,280
DU's per Lot	1
Min. Lot Width (ft)	24'
<b>MINIMUM SETBACKS</b> <b>Refer to Exhibit 4.4 for Setback Diagram.</b> All setbacks measured from property line unless specified otherwise. Corner side setbacks are subject to City of Las Vegas site visibility requirements. All setbacks are subject to the Residential Adjacency Standards described in the City of Las Vegas Unified Development Code, Section 19.06.040, Sub-section I. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. Encroachments on the second floor shall not be closer than 2' when 5' front setback occurs. ... Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Buildings</b>	
<ul style="list-style-type: none"> <li>Front (Garage-side)</li> </ul>	3' to Courtyard Wall 3' to Porch 5' to Single Story Living 2' to Second Story Living 5' or 20' to face of Front Entry Garage Door
<ul style="list-style-type: none"> <li>Side</li> </ul>	0' at common wall 5' at building end wall 10' between buildings while still complying with building codes.
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10' to back of curb or sidewalk.
<ul style="list-style-type: none"> <li>Rear (Opposite of Garage-side)</li> </ul>	0' to Courtyard Wall 3' to Porch 3' to Patio 5' to First and Second Story Living
<b>Detached Accessory Structures</b>	
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit
<ul style="list-style-type: none"> <li>Side</li> </ul>	3'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	0' from Alley / Private Street 3' when no Alley / Private Street
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	

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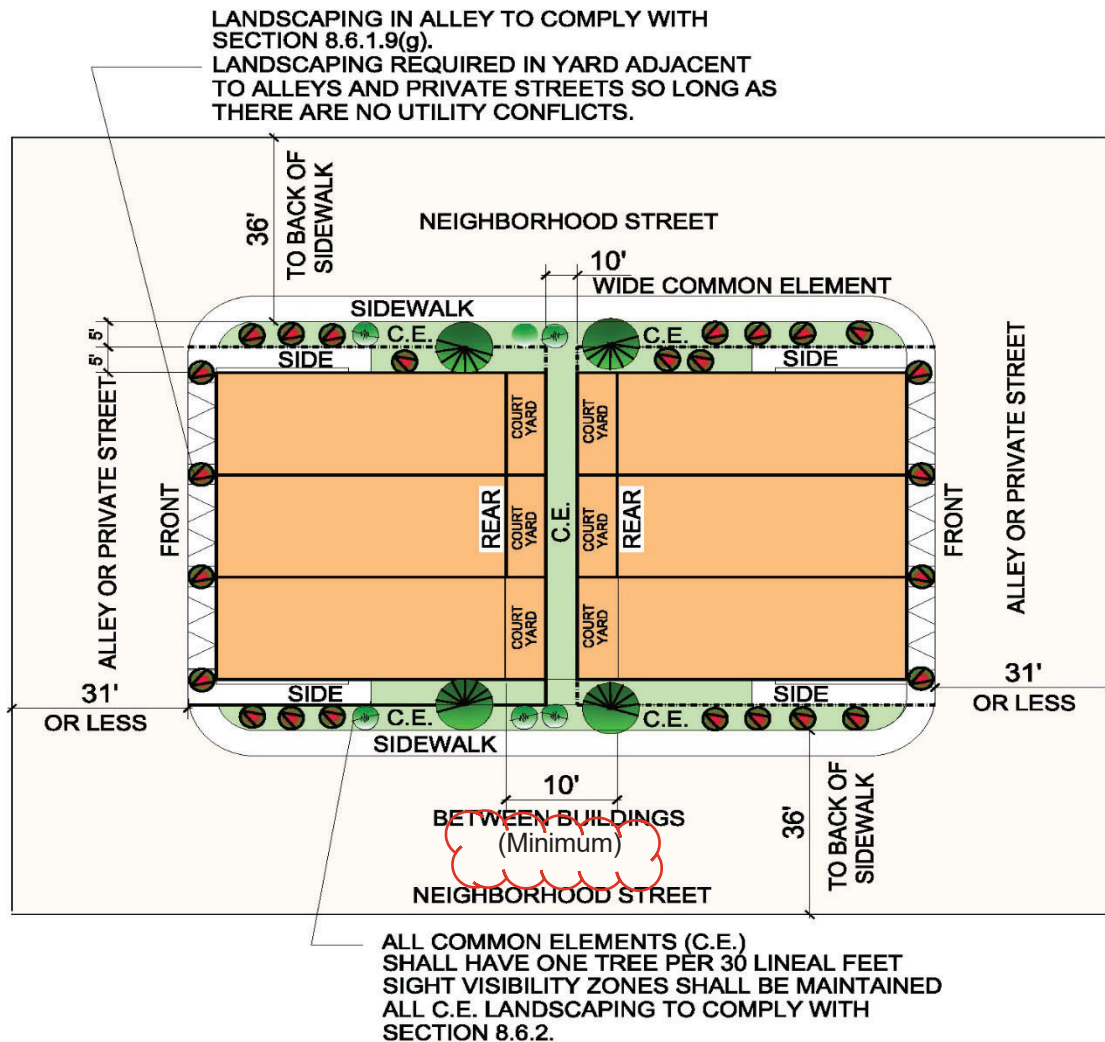
STANDARD	R – TH STANDARDS
<ul style="list-style-type: none"> <li>Rear</li> <li>Side</li> <li>Corner Side</li> </ul>	<p>3' to post or edge of sundeck or balcony</p> <p>4' to post or edge of sundeck or balcony</p> <p>5' to post or edge of sundeck or balcony</p>
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>From Interior Street</li> </ul>	2'
<ul style="list-style-type: none"> <li>From Court St., Drive Aisle or Parking</li> </ul>	2'
<ul style="list-style-type: none"> <li>From Paseo or Common Open Space</li> </ul>	0'
<ul style="list-style-type: none"> <li>From Parcel Boundary Adjacent to Perimeter Street</li> </ul>	10'
<ul style="list-style-type: none"> <li>From Adjacent Parcel PL</li> </ul>	10'
<b>Min. Distance Between Buildings</b> <i>(Primary Walls are those walls which contain the primary glazing and/or private outdoor space per unit. All other elevations are considered Secondary Walls.)</i>	10'
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	95%
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> 3 stories max.; 45 feet max. (Front/rear wall planes must be offset, a minimum of 24").  <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	1 unimpeded space per dwelling unit, plus 1 guest parking space per 6 units. In neighborhoods where 5' driveways are proposed, additional off-street parking must be provided, subject to ARC review and approval.
<b>Landscape Buffers and Turf Limitations</b>	Landscaping required in alley between garages.
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	Adjacent to Right-of-Way: 6' or building setback, whichever is less
<ul style="list-style-type: none"> <li>Parking Lot Screening</li> </ul>	Screening from adjacent roadways shall be provided
<ul style="list-style-type: none"> <li>Turf Coverage</li> </ul>	0%
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' -6" (3' Solid wall + 18" iron) Pilasters one course above adjacent wall/fence
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.12) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Max. Perimeter Wall Height</li> </ul>	7' CMU screen and / or view fence (see Exhibit 5.8)
<ul style="list-style-type: none"> <li>Max. CMU Retaining Wall Height</li> </ul>	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.12)
<ul style="list-style-type: none"> <li>Rockery Walls</li> </ul>	Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.10) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above adjacent wall (see Exhibit 5.2.1)
<ul style="list-style-type: none"> <li>Contrasting Material</li> </ul>	20%

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STANDARD	R-TH STANDARDS
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> </ul>	6' - 12' Exterior / 10'-16' Interior
<ul style="list-style-type: none"> <li>Max. Secondary Wall Height</li> </ul>	4' Exterior – 6' Interior
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Inside Dimensions</li> </ul>	4'
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above wall
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	5'-4"
<ul style="list-style-type: none"> <li></li> </ul>	
<b>Open Space</b>	
<b>Private Outdoor Space</b>	<p>125 s.f. with 8' minimum dimension and 75% open to the sky (May be located on the front, side or rear of unit)</p> <p>On perimeter or corner lots, Private Open Space shall be located adjacent to the exposed property line to provide articulation to the building mass on these visible edges. Privacy wall or fence may enclose Private Open Space in such cases.</p>
<b>Common Open Space</b>	<p>100 sq. ft. per unit for the first 100 units, <i>plus</i> 50 sq. ft. for each additional unit.</p> <p>The first 10,000 s.f. of required common open space shall be consolidated into a single amenity area, visible from the main entry of the project to the extent feasible. The balance of any cumulative common open space requirement exceeding 10,000 s.f. may be distributed throughout the project as the builder desires, so long as such common open space element has a minimum dimension of 20'.</p>

\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to Perimeter wall faces oriented to the inside boundaries of the subdivision.

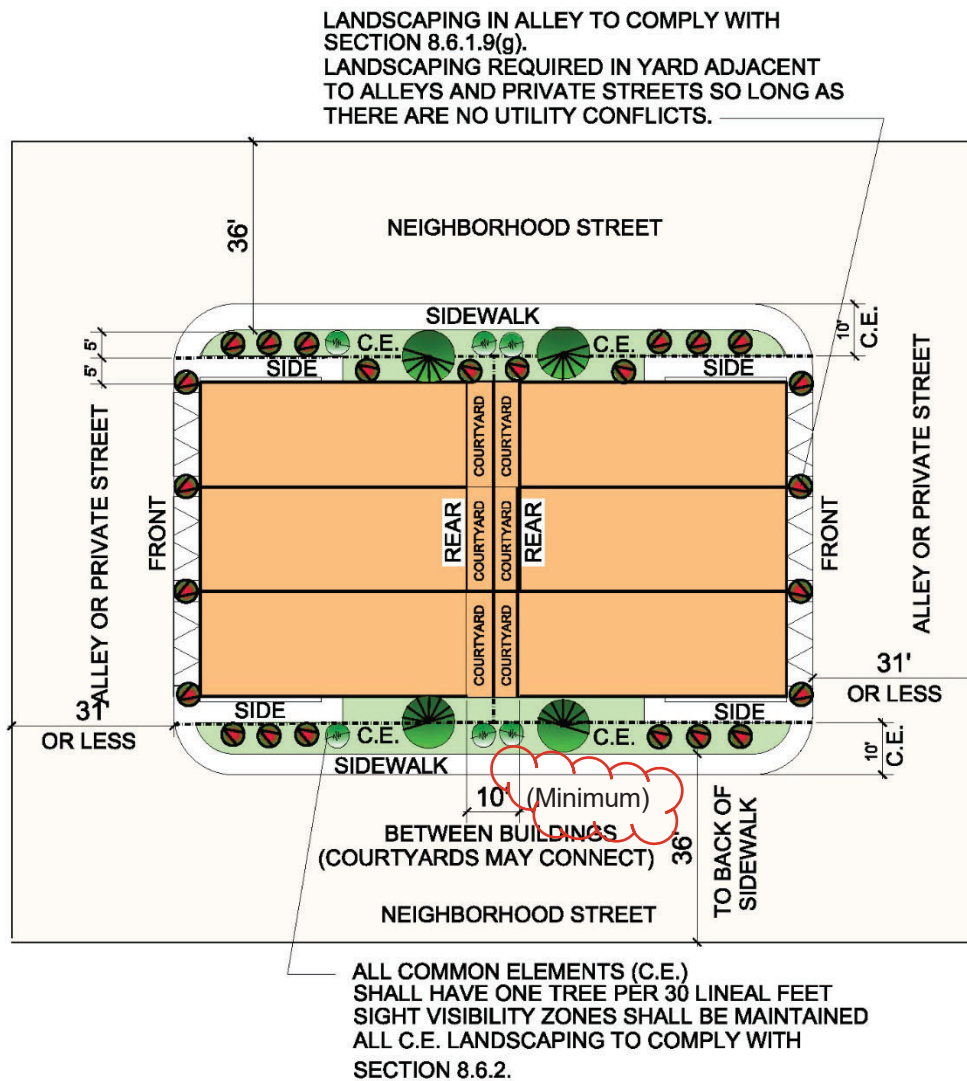
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**Exhibit 4.3.4a: R-TH**

Allow lot to lot drainage so interior lots can drain to the street or to common elements. Drainage pathways must be concrete lined per LVCMC 20.10.030 or a variance must be approved by City Council per LVCMC 20.08.

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**Exhibit 4.3.4b: R-TH**

Allow lot to lot drainage so interior lots can drain to the street or to common elements. Drainage pathways must be concrete lined per LVCMC 20.10.030 or a variance must be approved by City Council per LVCMC 20.08.

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## 5.2 BUILDER PARCEL WALLS

### 5.2.1 Perimeter Walls

Subdivision perimeter walls abutting streets or common areas shall be 1-side split face block with 2" precision cap. Color shall be per Master Declarant.

Subdivision perimeter walls facing private lots shall be smooth precision block (interior of lot) with two inch 2" cap unless visible to the street.

In all conditions, walls visible to the street shall be double split face, **non-interlocking** block, including all retaining walls.

Any wall abutting an interior street or common area shall be split face block with 2" precision cap. Color shall be per Declarant.

Top header shall be a two inch (2") cap. Any sub-division perimeter walls that are abutting common areas of visible to the street on both sides, shall be double sided split face block. Color shall be per Declarant.

Refer to the graphic pictorials in **Exhibit 5.2.1** Refer to **Exhibit 5.2.1 and 5.6** for stepped wall conditions.

On corner lots, both the building and wall must be designed so as not to interfere with the site visibility at the adjacent intersection.

### 5.2.2 WALLS BETWEEN HOMES and INTERIOR PARCEL WALLS

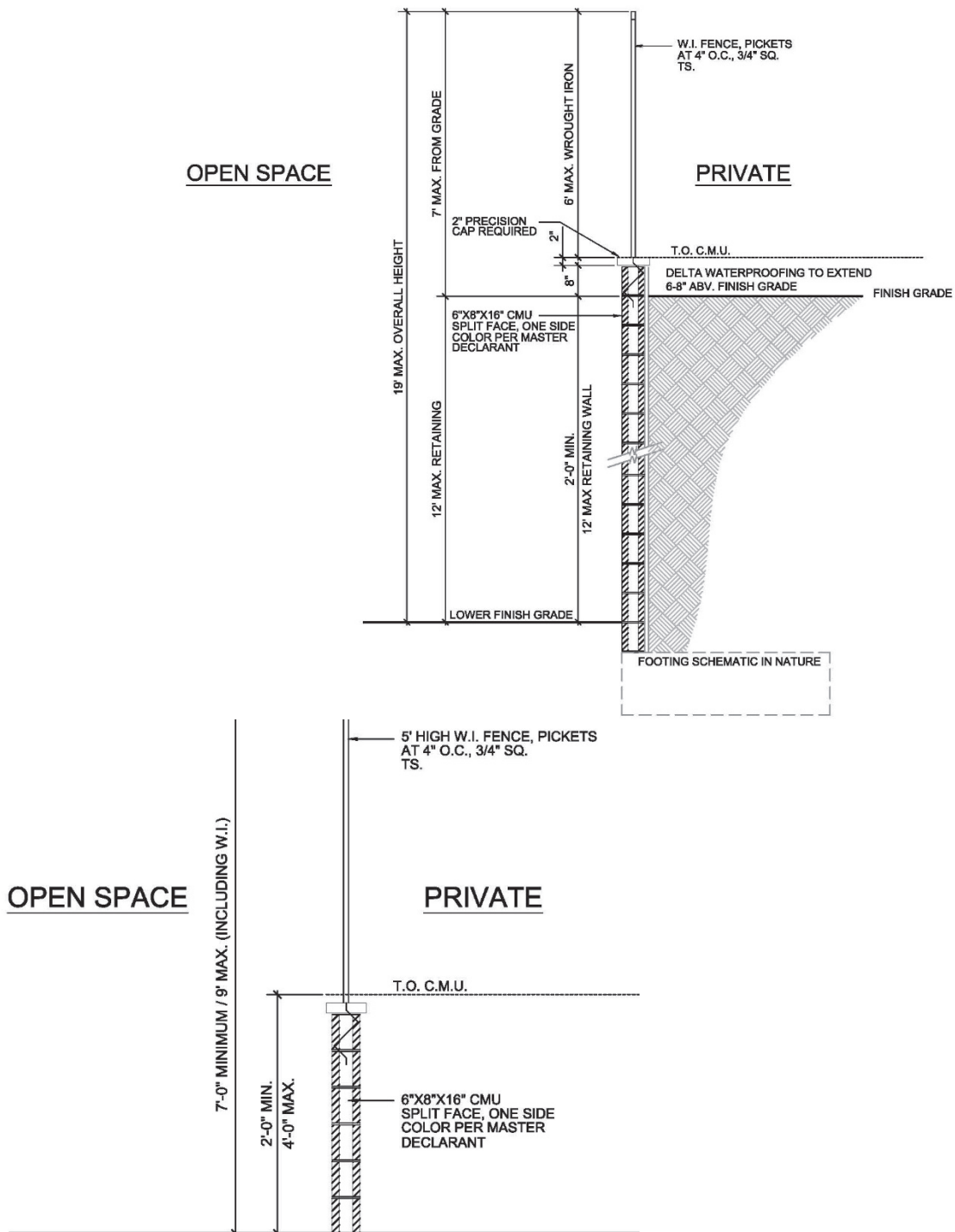
Walls separating lots shall be 6' high, split face block. Wall color shall match color of common area walls. Waterproof material shall be applied to wall as applicable. These walls shall not extend above the height of any Subdivision Perimeter Wall. Refer to the graphic pictorial in **Exhibits 5.1.1 and 5.1.2**. Refer to **Exhibits 5.4 and 5.2.5** for stepped wall conditions at parcel interiors.

- Prohibited: Vinyl Fencing

### 5.2.3 SHEEP MOUNTAIN PARKWAY PERIMETER WALLS

Walls adjacent to Sheep Mountain Parkway within any zoning district are permitted to have retaining wall heights up to 10' and screen walls up to 8', for an overall height of 18'. Said walls are similar in nature to any perimeter wall within the Community and as such, the property owner is responsible for the maintenance of the portion of the wall on their side, and the side facing Sheep Mountain Parkway will be the responsibility of SKYE SUMMIT Community Association.

### EXHIBIT 5.8 VIEW FENCE AT OPEN SPACE



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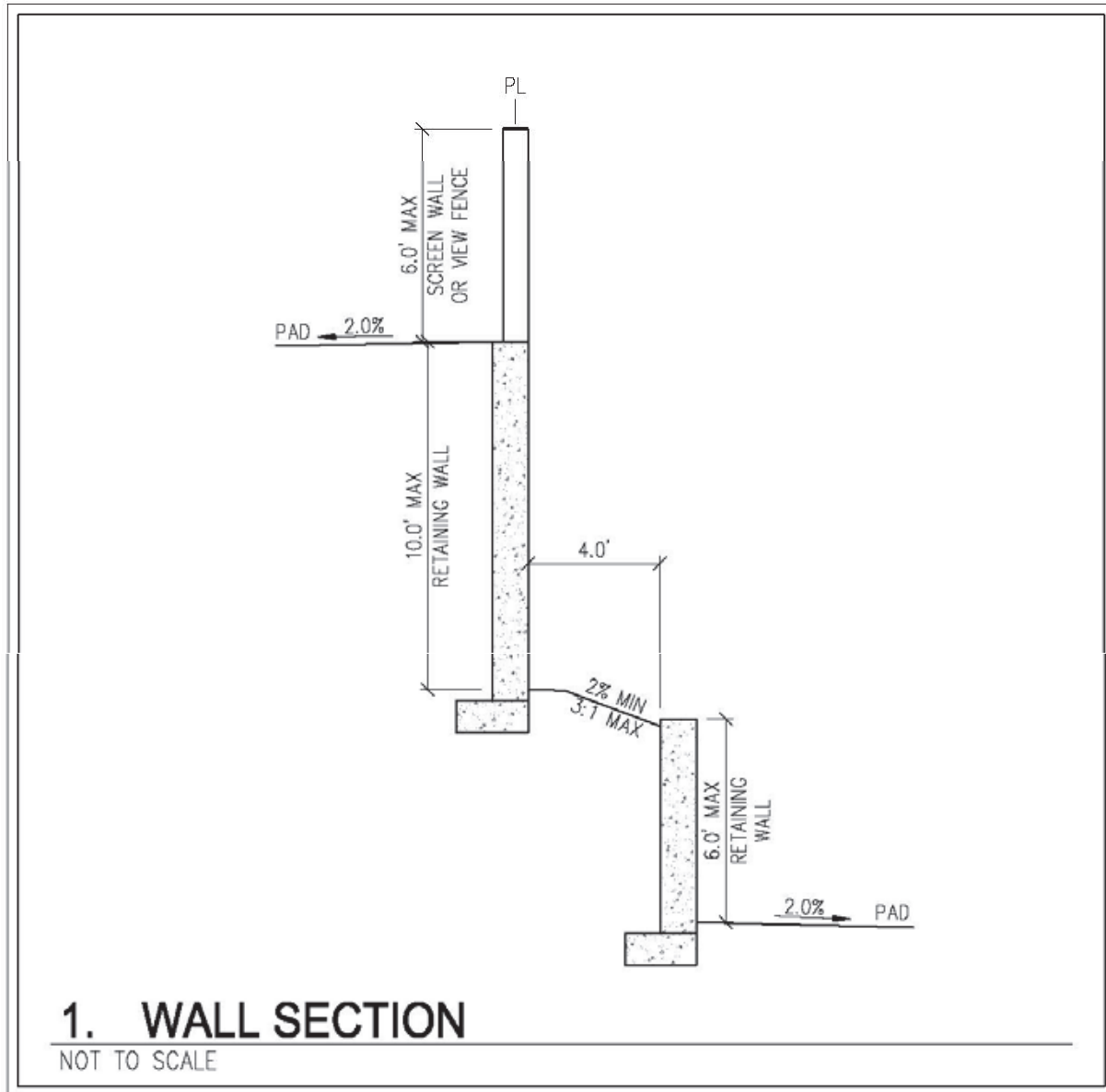
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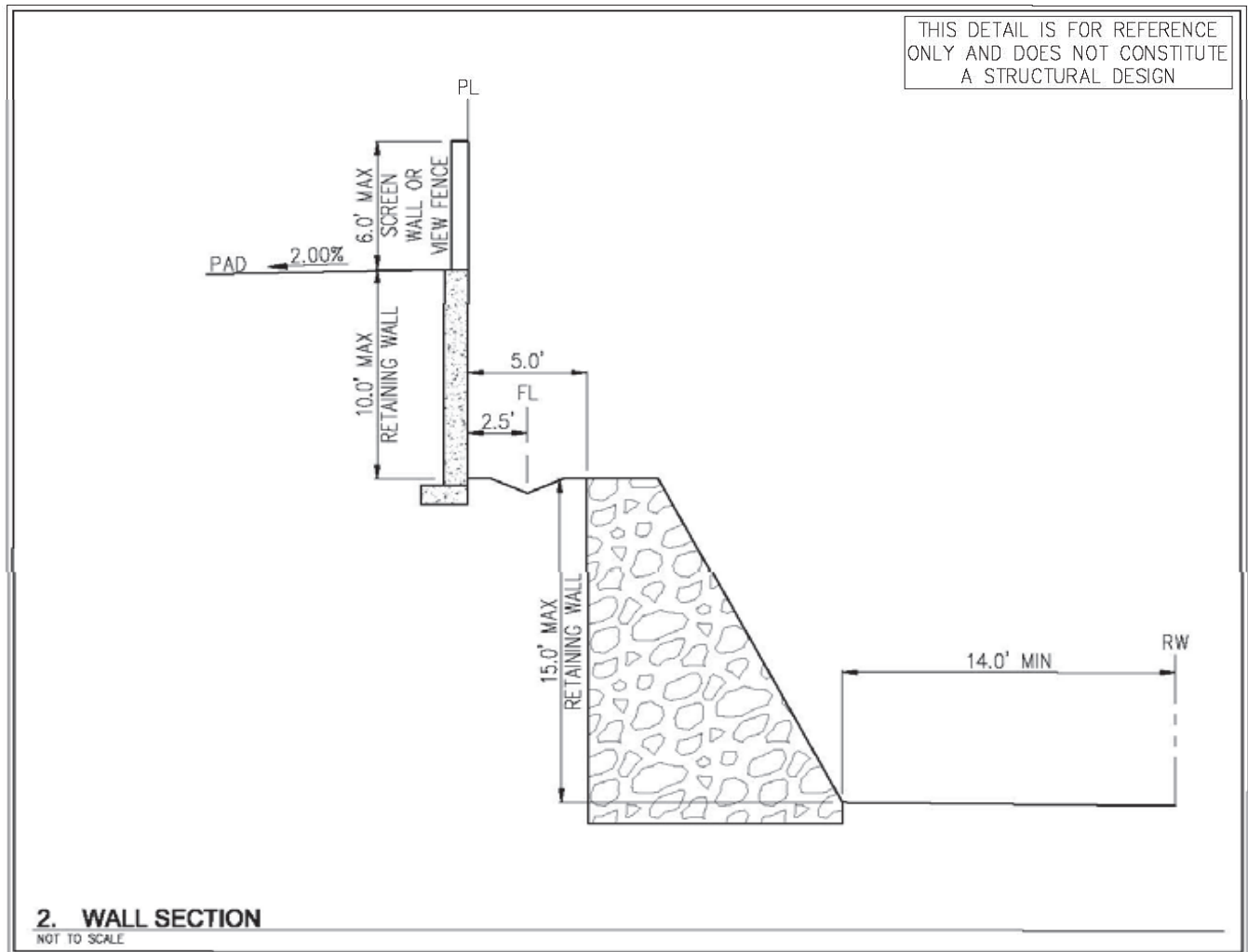
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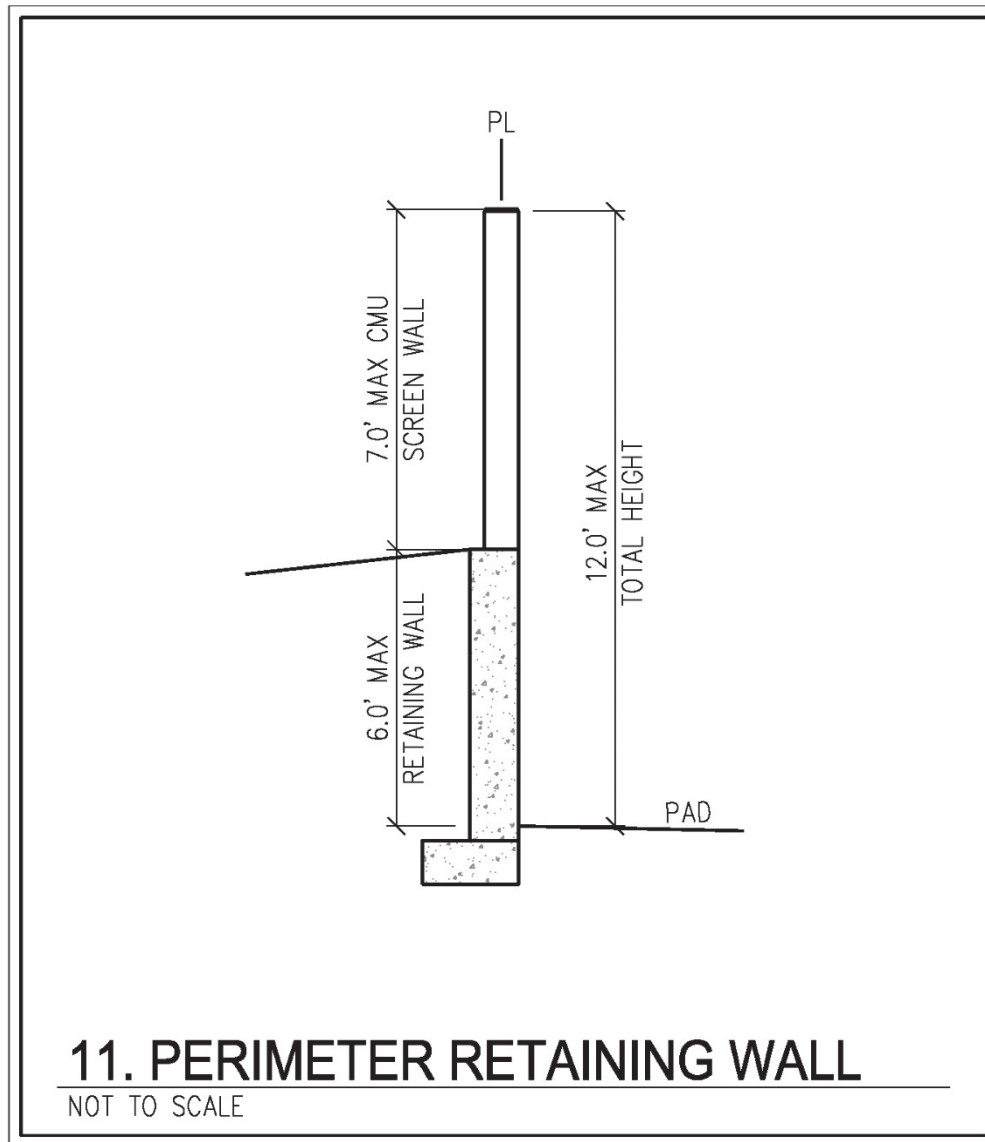
5-11

**EXHIBIT 5.9: SUBDIVISION STEPPED WALL  
AT PARCEL INTERIORS AND EXTERIORS**

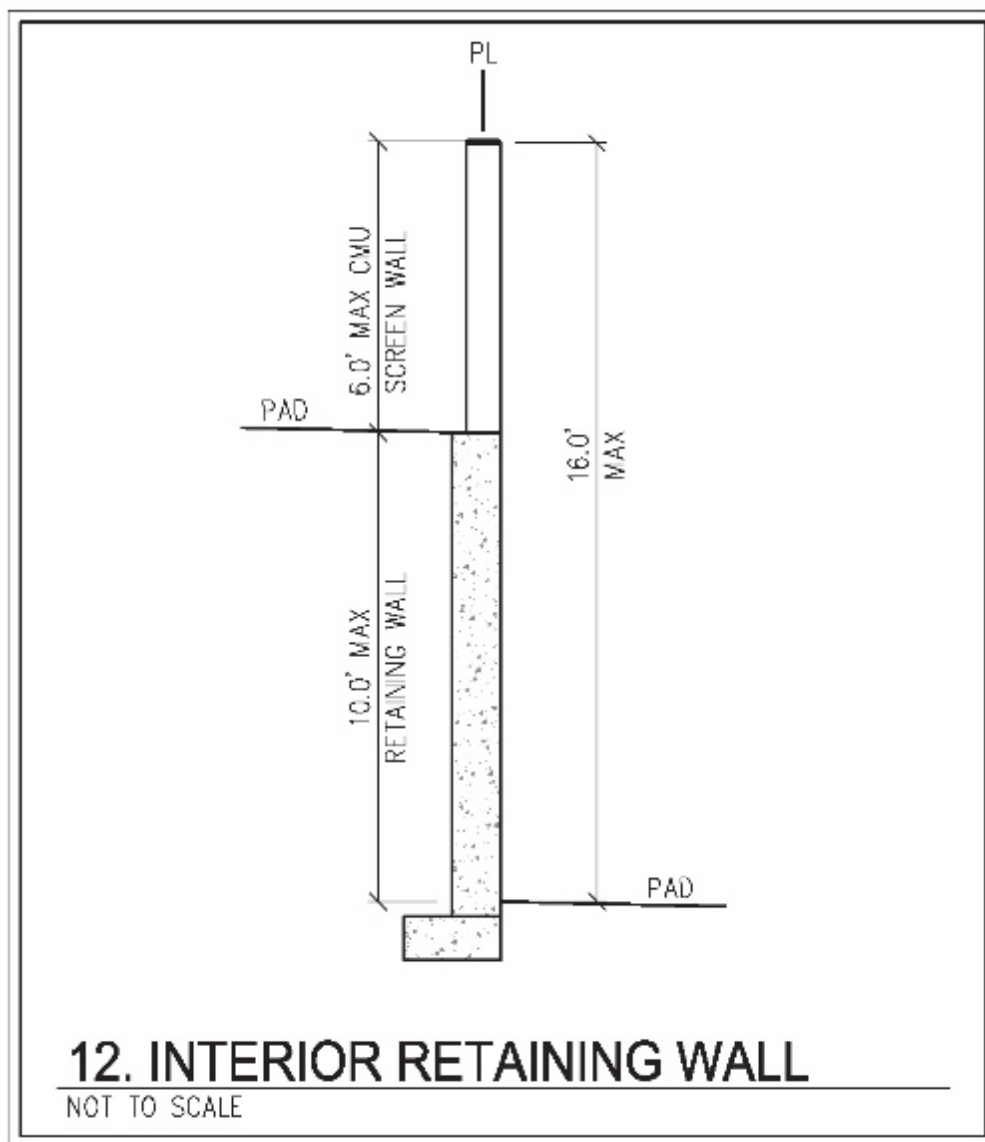
### EXHIBIT 5.10: SUBDIVISION ROCKERY AND STEPPED WALL AT PARCEL INTERIORS AND EXTERIORS

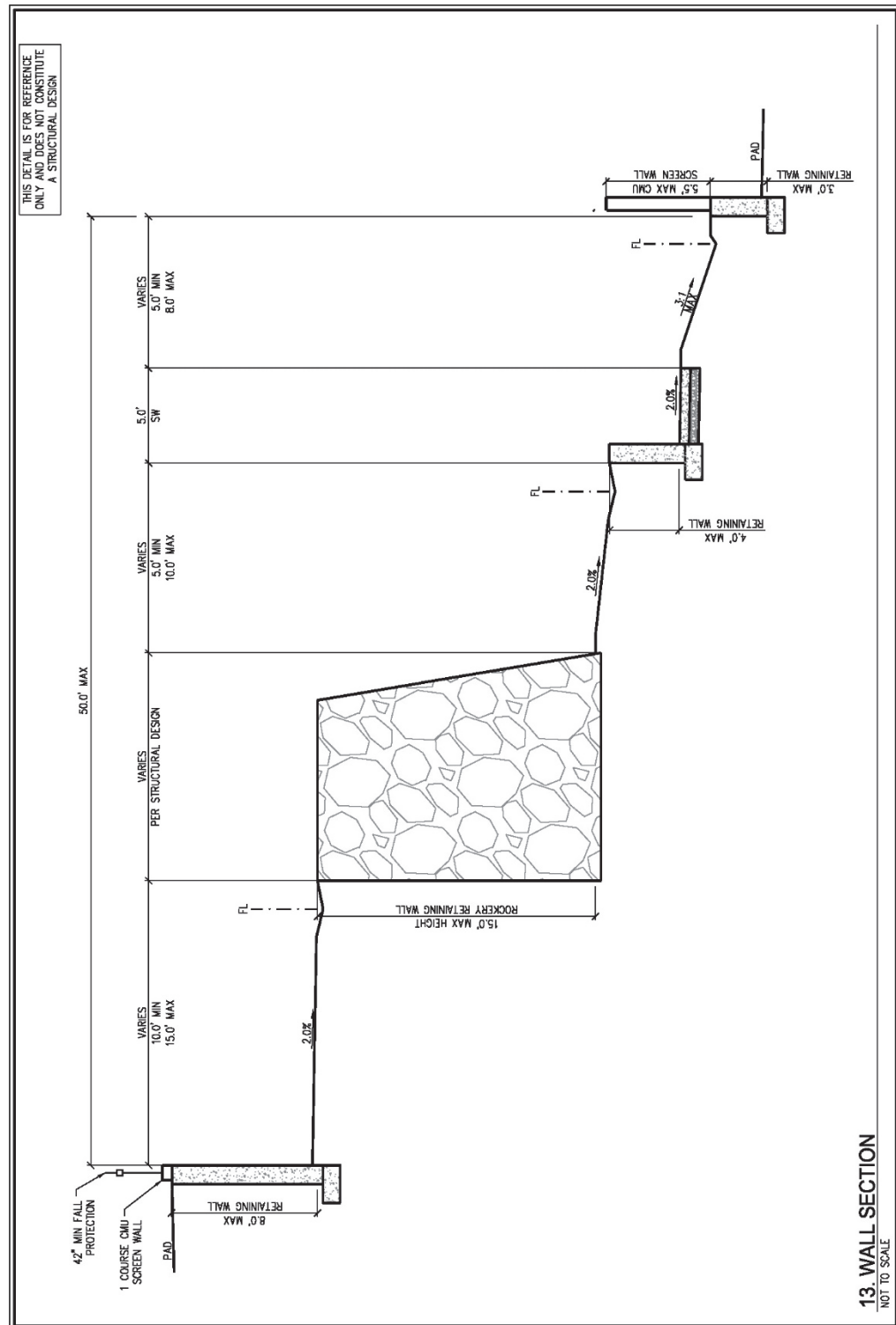


EXTERIOR ROCKERY WALLS OF 12' OR TALLER  
SHALL BE SET BACK A MINIMUM OF 14' FROM  
THE EDGE OF ANY PUBLIC RIGHT-OF-WAY

**EXHIBIT 5.11: PERIMETER RETAINING WALL**



**EXHIBIT 5.12: INTERIOR RETAINING WALL**

**EXHIBIT 5.13: WALL SECTION****SKYE SUMMIT**

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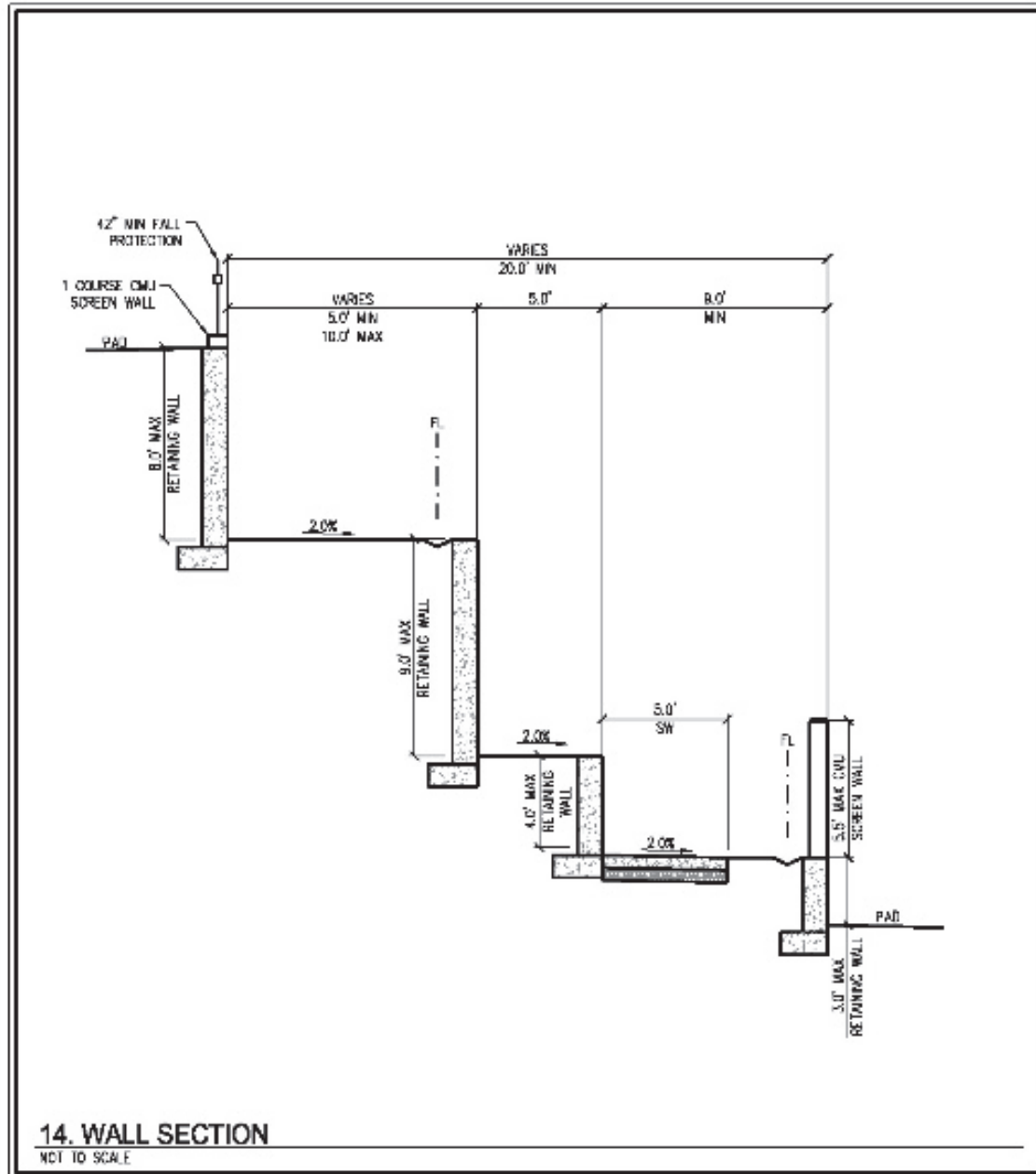
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**EXHIBIT 5.14: WALL SECTION**

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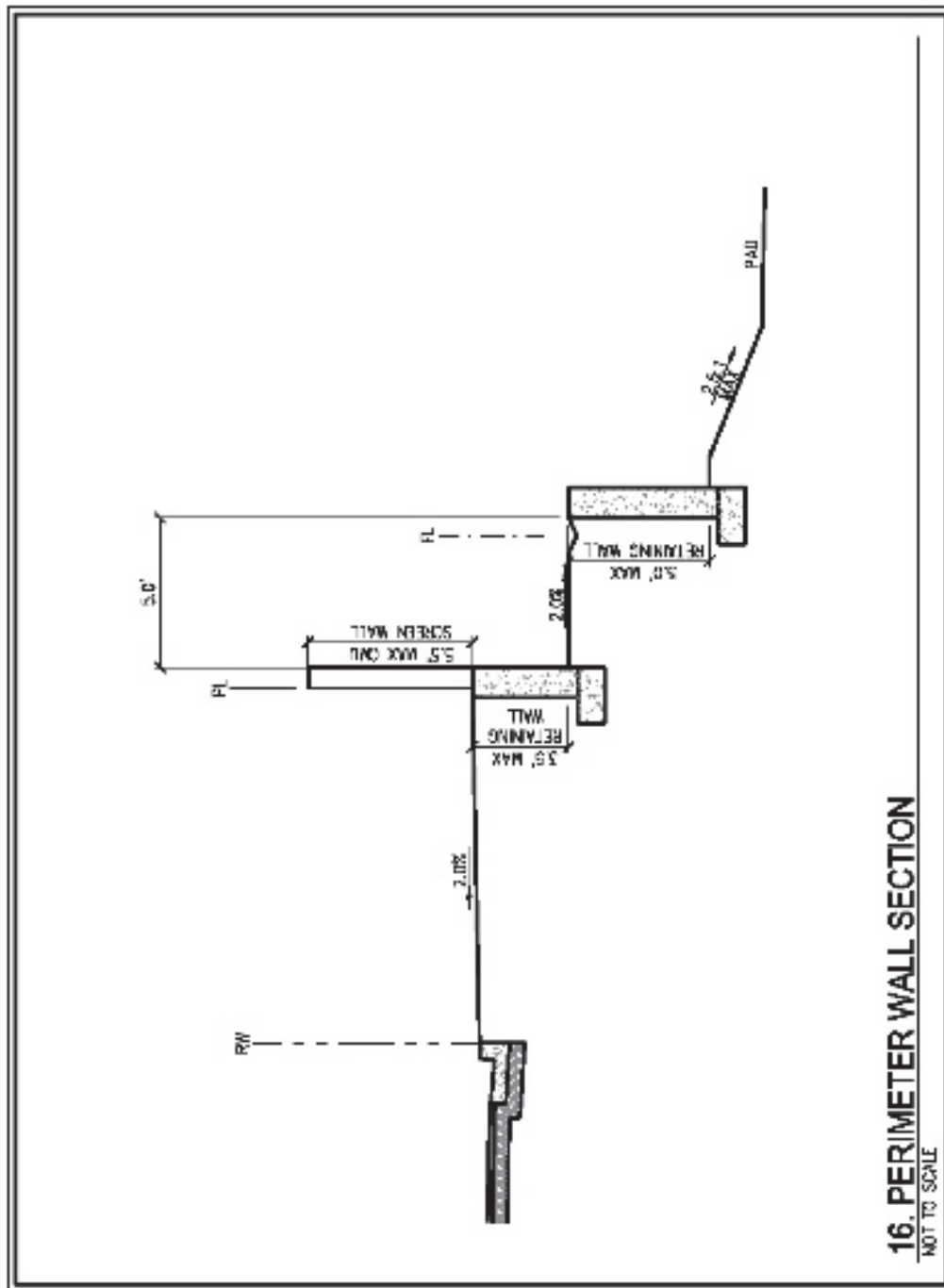
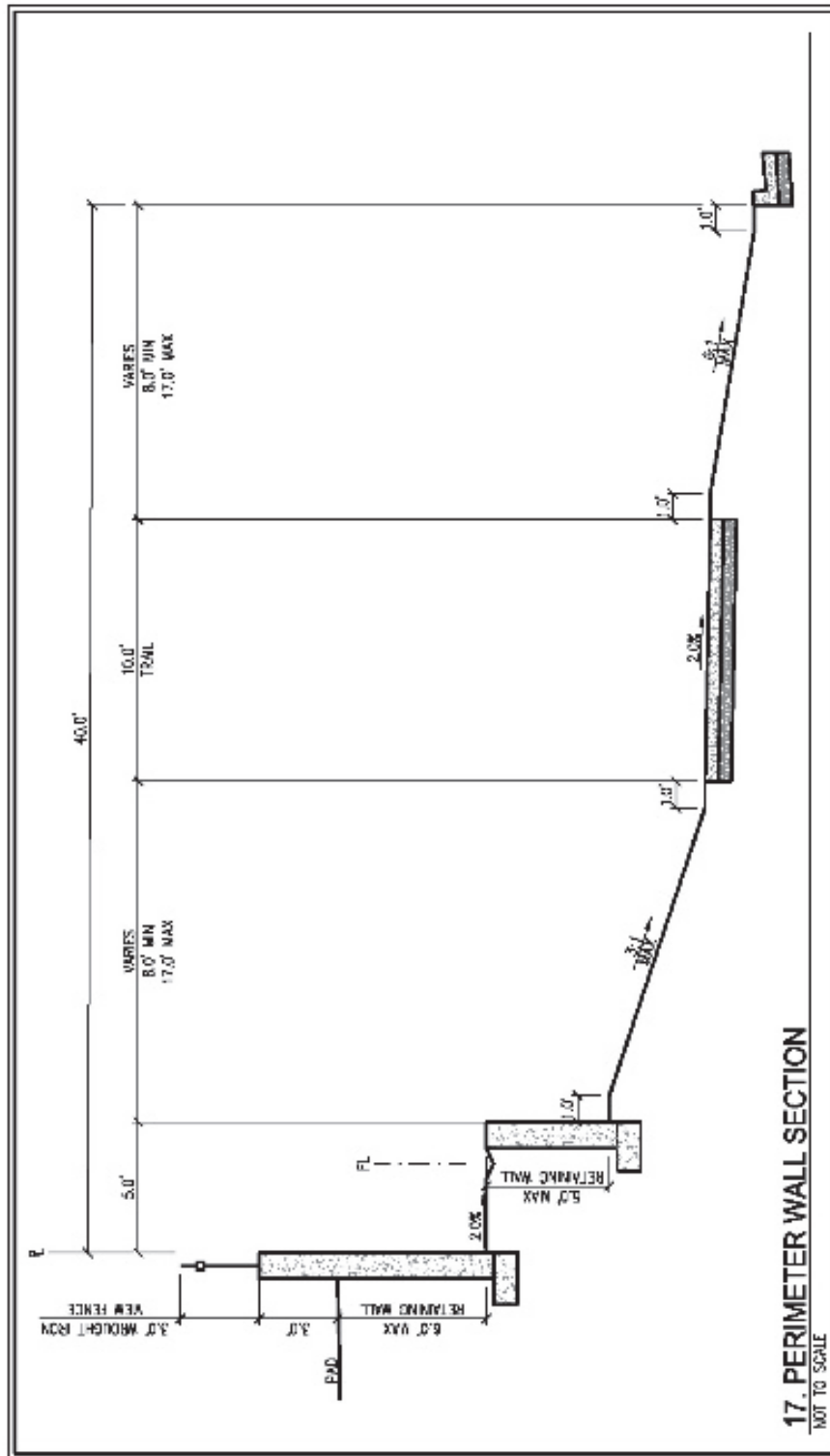
**EXHIBIT 5.16: WALL SECTION**

EXHIBIT 5.17: WALL SECTION



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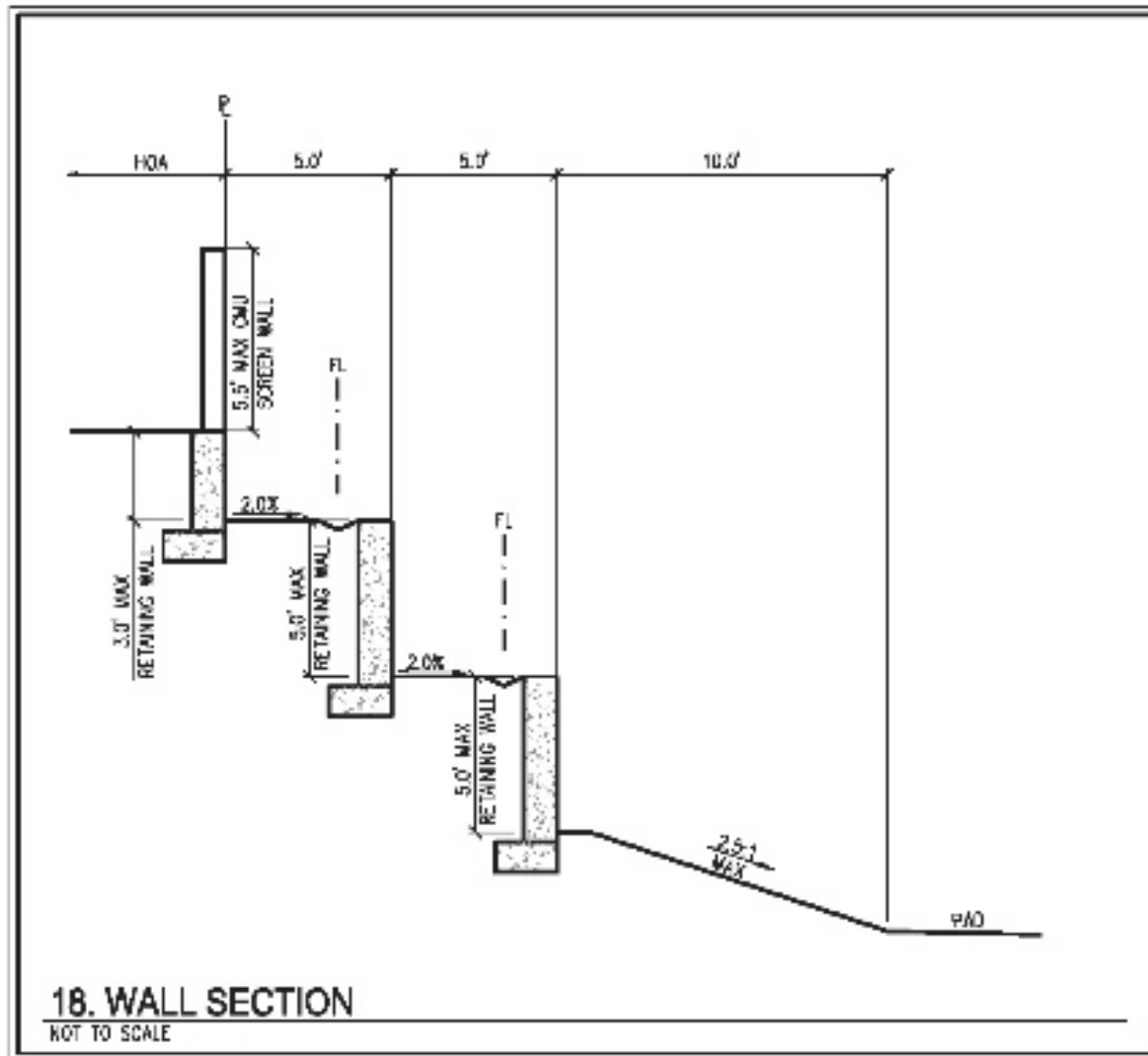
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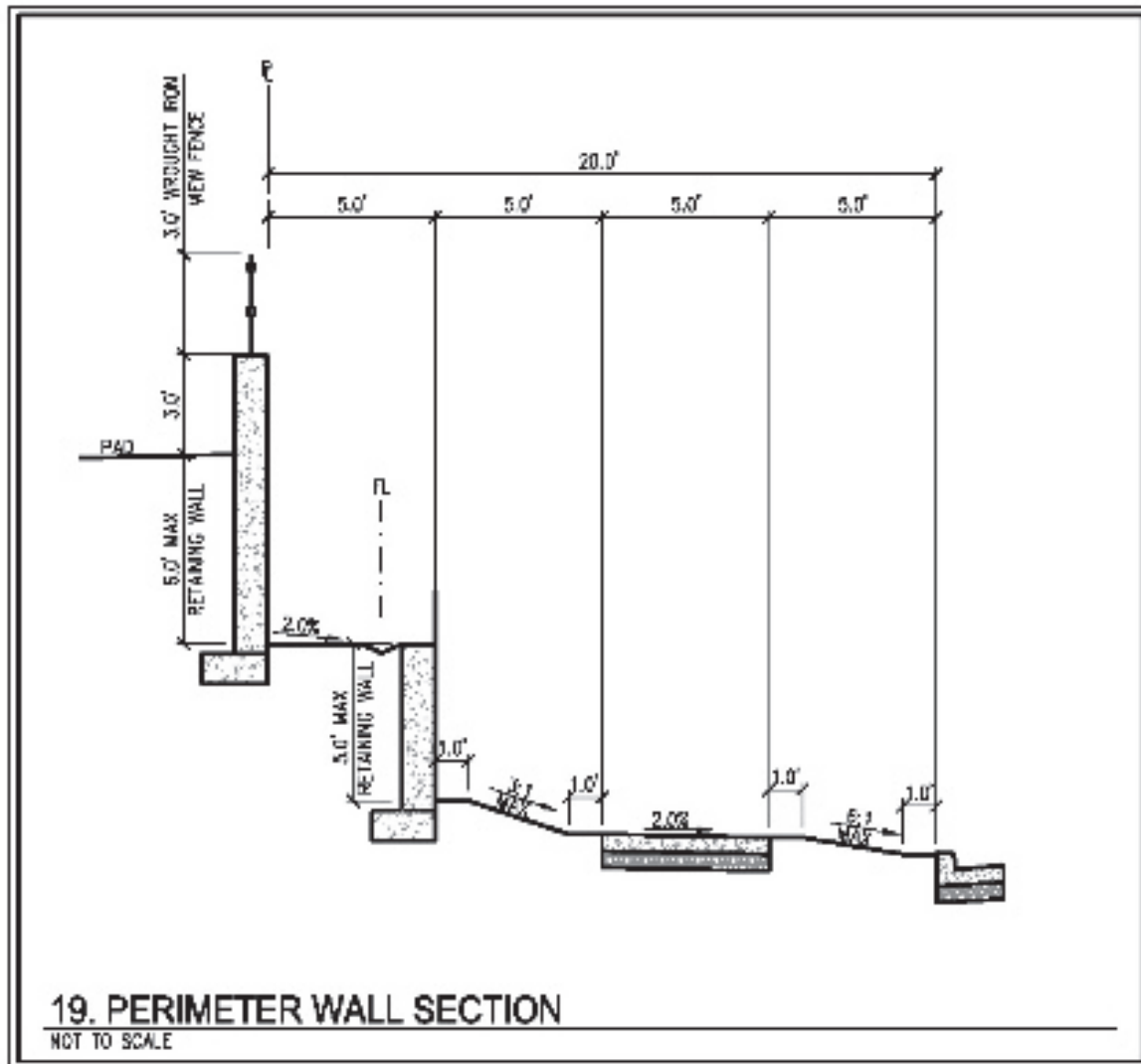
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**EXHIBIT 5.18: WALL SECTION**

**EXHIBIT 5.19: WALL SECTION***SKYE SUMMIT*

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## 8 LANDSCAPE DESIGN GUIDELINES

The guidelines for landscape architecture in SKYE SUMMIT provide a framework for how the landscape will look, feel, and function. The vision of SKYE SUMMIT is to utilize the landscape to create a unique character, logical spaces, and emphasize residential and recreational areas. When designing the landscape, consider factors such as color, variety, patterning, long-term maintenance, and proximity to the natural edge of the Red Rock National Conservation Area.

### 8.1 PUBLIC REALM GRADING AND DRAINAGE

- A. Planting areas shall be graded at a maximum of 3:1 to facilitate drainage away from buildings and hardscape.
- B. Hardscape areas shall be graded at a minimum of one (1) percent to facilitate drainage away from buildings, but in accordance with ADA guidelines for access/egress and path-of-travel.
- C. Subsurface drains shall be provided where minimum grades, as described herein, cannot be accommodated or where required by field conditions to prevent ponding or over saturation of surface or subsurface soils.
- D. Drainage facilities that are privately maintained may be rip-rap or concrete as allowed by approved drainage study and City Council - approved variance. Drainage facilities must be concrete lined per LVCMC 20.10.030 or a variance must be approved by City Council per LVCMC 20.08.

### 8.2 PUBLIC REALM IRRIGATION STANDARDS

- A. A permanent underground, automatic irrigation system shall be installed in all landscape areas throughout the public realm areas. Design shall incorporate water saving techniques and equipment and shall meet the requirements of SNWA.
- B. Irrigation design should maximize water efficiency by incorporating hydro-zoning techniques and the use of Remote Irrigation Control Systems (RICS) principles.
- C. Irrigation systems shall be valved separately depending on plant ecosystems and their orientation and exposure to sun, shade, and wind. Systems shall be sensitive to the water requirements of the plant material selected and similar water using plants grouped together.
- D. Systems should be efficiently designed to reduce overspray onto hardscape areas.
- E. Water efficient irrigation systems include pressure-controlled, matched precipitation rate nozzles, separation of irrigation zones by plant water requirements, and use of the newest technology to control the systems. Other considerations include the use of drip emitters, low volume bubblers, pop-up spiders, stream bubblers, and subsurface drip/agricultural micro-irrigation solutions.
- F. In some areas, erosion control measures may need to be implemented to reduce the loss of soil due to the action of water and / or wind in addition to prevent water pollution. Water shall be delivered in sufficient quantities and application/ precipitation rates adjusted to compensate for seasonal conditions and plant growth requirements.
- G. Irrigation equipment shall be located and installed to minimize visual impact, but easily reachable by maintenance personnel.

### 8.3 PUBLIC REALM MAINTENANCE STRATEGY

Maintenance is the care and nurturing of the landscape composition over time. It is regular and continual attention to the aesthetic and tasteful appearance of the prescribed character.

Maintenance involves developing and implementing programs and practices that become the foundation for sustaining the status quo over time. Standards for horticultural practices provide the framework for building a quality, timeless landscape expected at SKYE SUMMIT.

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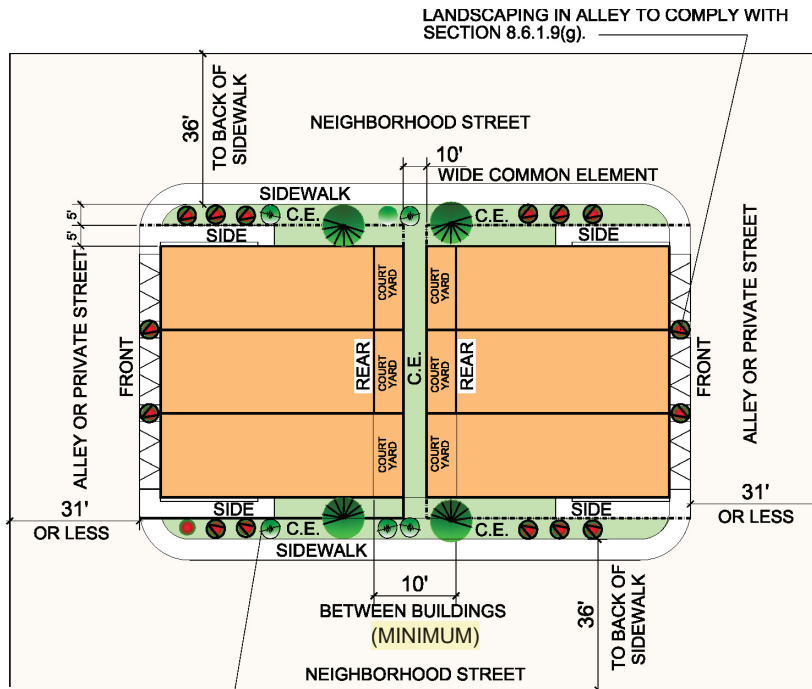
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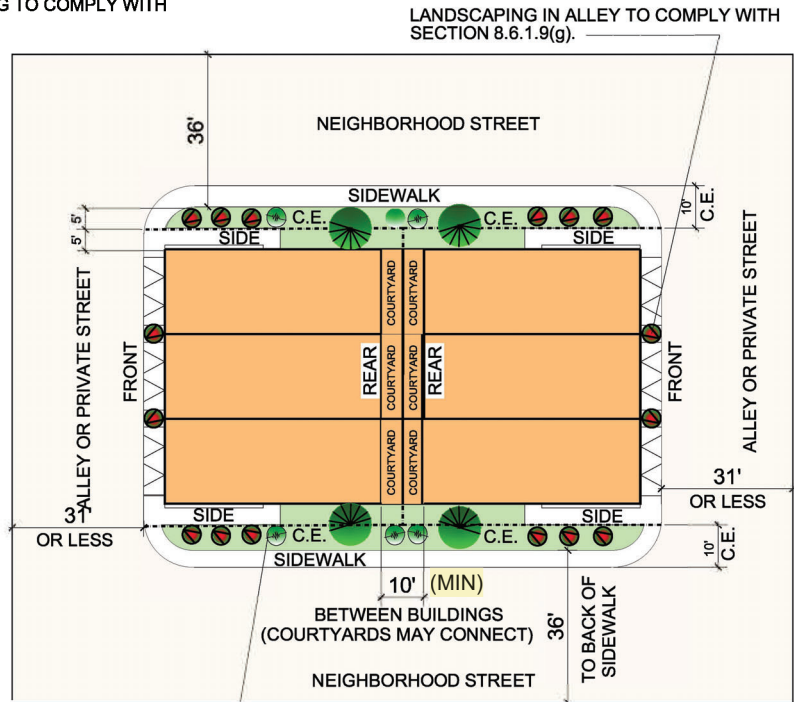
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ALL COMMON ELEMENTS (C.E.) SHALL HAVE ONE TREE PER 30 LINEAL FEET SIGHT VISIBILITY ZONES SHALL BE MAINTAINED ALL C.E. LANDSCAPING TO COMPLY WITH SECTION 8.6.2.

Allow lot to lot drainage so interior lots can drain to the street or to common elements. Drainage pathways must be concrete lined per LVCMC 20.10.030 or a variance must be approved by City Council per LVCMC 20.08.



ALL COMMON ELEMENTS (C.E.) SHALL HAVE ONE TREE PER 30 LINEAL FEET SIGHT VISIBILITY ZONES SHALL BE MAINTAINED ALL C.E. LANDSCAPING TO COMPLY WITH SECTION 8.6.2.

## EXHIBIT 8.6.5

### TYPICAL ATTACHED SINGLE FAMILY LANDSCAPING

(TREES SHALL NOT OCCUR IN SITE VISIBILITY ZONE)

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