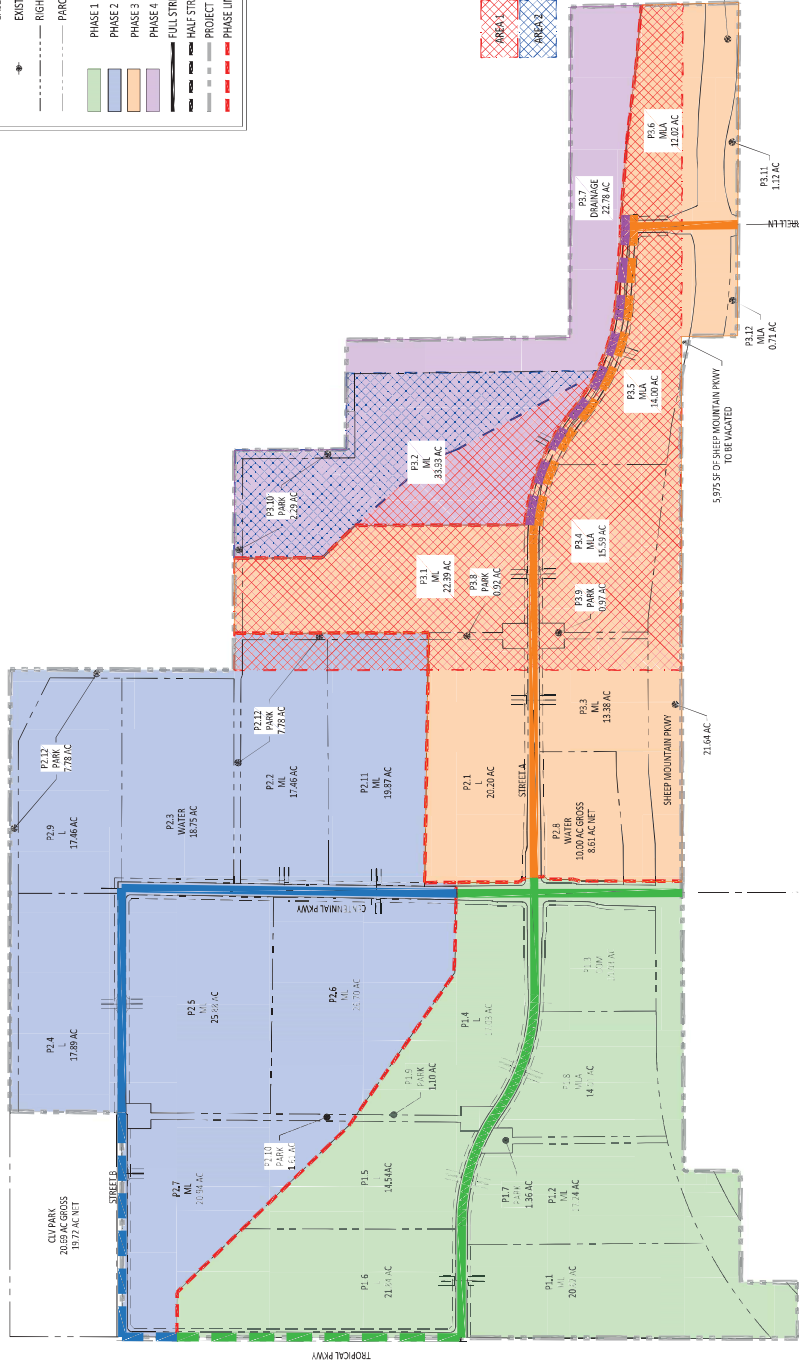
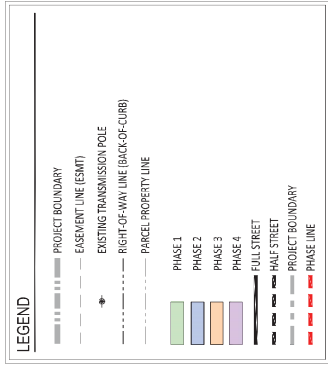


# Exhibit “A”

## Phasing Map

24-0432  
09/24/2024

# SKYE SUMMIT LAS VEGAS, NV



This area is designated for potential future development as part of the Skye Summit Master Planned Community. Development within this area can only be incorporated into the Skye Summit Master Plan after City of Las Vegas Department of Public Works approval of an expansion of the existing BLM drainage grant. The Detention Basin expansion is required for the 2023 CORDD Master Plan Update and Vacation of the portion of the existing BLM drainage grant surrounding the Detention Basin that would not be required for the expansion (Area #1). The remaining area (Area #2) can be incorporated into the expansion of the existing BLM drainage grant. A Technical Drainage Study for the Kyle Canyon Detention Basin and Vacation of that portion of the existing BLM drainage grant surrounding the Detention Basin that is no longer needed due to Detention Basin reconfiguration.

24-04-32  
09/24/2024



DATE: August 13, 2024  
SCALE: 1"=300'  
PROJECT # 017500-000



## DEVELOPMENT PHASING EXHIBIT

Westwood  
1000 10th Street, Suite 100  
Las Vegas, NV 89118  
(702) 734-2000  
(800) 837-5100  
westwoodpro.com  
Westwood Professional Services, Inc.



Exhibit “B”  
Master Drainage and  
Traffic Studies (on disk)

24-0432  
09/24/2024

<b>CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM</b>		<b>DATE:</b> July 30, 2024
<b>TO:</b> Land Development Services Department of Building & Safety		<b>FROM:</b> Tyler Key Flood Control Engineering Associate Department of Public Works
<b>SUBJECT:</b>	Drainage Study for:	<b>COPIES TO:</b>
<b>Master Drainage Study for BLM 505</b>		95 Management, LLC
<b>Cross Streets:</b>	Sheep Mountain Pkwy & Centennial Pkwy	Westwood Professional Services
<b>File Number:</b>	F:\Depot\DSMemos\DS5728D.ZNA.doc	CCRFC
<b>Parcel Number:</b>	Portions of APN 126-23-401-001 & 126-26-101-001	
<b>Zoning Action:</b>		
<b>FEMA Flood Zone</b>	YES <b>X</b> NO	
<b>Proposed Storm Drain</b>	YES <b>X</b> NO	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 <sup>st</sup> Submittal	12/25/2023	01/23/2024	Not Approved	\$400	5565523: \$400
2 <sup>nd</sup> Submittal	2/28/2024	3/13/2024	Not Approved	\$400	5649583: \$400
3 <sup>rd</sup> Submittal	6/20/2024	7/9/2024	Not Approved	\$400	5814804: \$400
4 <sup>th</sup> Submittal	7/22/2024	7/30/2024	See Comments Below	\$400	5856024: \$400
<b>TOTAL FEES (LDDRS):</b>				<b>\$1,600</b>	<b>----</b>

**REMARKS:** This functions as the Master Drainage Study for BLM 505. Future submittals need to have the title revised to reflect this is the Master Drainage Study for BLM 505.

**A portion of this site is within a FEMA Special Flood Hazard Area, Zone A.**

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
<b>X</b>	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

- For the area located within the BLM grant, currently labeled as "future development area," use the following comment on all of the exhibits and reports of future studies. This comment will be repeated until completed:

This area is designated for potential future development as part of the Skye Summit Master Planned Community. Development within this area can only be incorporated into the Skye Summit Master Planned Community after the City of Las Vegas Department of Public Works approval of a Technical Drainage Study for the Kyle Canyon Detention Basin Expansion as identified in the 2024 CCRFC Master Plan Update and vacation of the existing BLM Drainage Grant surrounding the basin. All proposed infrastructure and land use currently depicted in this area is conceptual and not approved to be a part of the Skye Summit Master Planned Community until such time as the Technical Drainage Study is approved.

24-0432  
09/24/2024

2. Provide a call out to specify which area that the note from Comment 1 applies to. Provide corresponding legend on all of the exhibits.
3. Please note that vacation or relinquishment of the BLM Drainage Grant will need to be submitted to the City of North Las Vegas upon approval of the Comment 1 from CLV and CCRFCD.
4. The BLM 505 Master Drainage Study is proposing to revise the hydrology and facility sizes identified in the Clark County Regional Flood Control District's (CCRFCD) 2023 Las Vegas Valley Flood Control Master Plan Update. A Master Plan Amendment (MPA) or Master Plan Change (MPC) must be submitted to the City of Las Vegas for approval and City of Las Vegas will coordinate the submittal to CCRFCD for approval.
5. The site is adjacent to or crosses an existing or proposed Clark County Regional Flood Control District (CCRFCD) master planned facility. Therefore, CCRFCD concurrence is required prior to final approval of the Master Drainage Study.
6. Please note that the site layout (pods, land use, density, infrastructures, etc.) must be approved by City Council prior to final approval of the Master Drainage Study. If the site layout does not match the Master Drainage Study, an update to the Master Drainage Study must be submitted to address the changes
7. Please note that the traffic study must be approved prior to final approval of the Master Drainage Study. If the street layout does not match the Master Drainage study, an update to the Master Drainage Study must be submitted to address the changes.
8. Please note that any future technical drainage study submittals that differ from the Master Drainage Study (ie. Changes in pods, infrastructure, flows etc.) will require an update to the Master Drainage Study and this update must be approved by the City of Las Vegas Flood Control Section prior to final approval of technical drainage study.
9. Technical drainage studies are required for each of the POD's. The technical drainage studies for the POD's may not be submitted until the conditional approval of the pertinent infrastructure drainage study is obtained. Final approval for the infrastructure drainage study must be obtained prior to conditional approval of the impacted POD drainage studies.
10. Building permits for the homes within the individual POD's will not be issued until construction of the street and flood control infrastructure around the POD is substantially complete.
11. Please note that the proposed 100-year flood protection facilities identified on Exhibit F3 & F4 must be constructed by the Master Developer as a part of the master planned infrastructure. Technical drainage studies are required for each phase of the master planned infrastructure improvements. The technical drainage studies for the infrastructure improvements may be submitted with conditional approval of this Master Drainage Study. However, final approval for the Master Drainage Study must be obtained prior to conditional approval of the infrastructure drainage studies.
12. Please note that all proposed interim drainage facilities must be bonded and maintained by the Master Developer.
13. Please note that all proposed drainage facilities must meet the City of Las Vegas Municipal Code.

**\*\*\* The City of Las Vegas Flood Control is standardizing the file naming of drainage studies and plans during the digitizing process. When saving the project files in the CD or thumb drive, please follow the system below:**

24-0432  
09/24/2024

**If drainage study only contains one combined file, use the following naming convention in Document Title:**

**1<sup>st</sup> Submittal DS and Plans (for first and original submittal);**

**2<sup>nd</sup> Submittal DS and Plans (for second submittal (addendum #1)) etc.**

**If drainage study contains multiple files, use the following naming convention in Document Title:**

**1<sup>st</sup> Submittal DS (for the report of the drainage study)**

**1<sup>st</sup> Submittal Plan 1 (could be the drainage condition maps)**

**1<sup>st</sup> Submittal Plan 2 (could be the improvement plans) etc.**

**NOTE:** Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

**NOTE:** Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, final approval of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

**END OF REMARKS**  
HDR/CLV

T/R/S: T19S/R590E/S1  
AREA F-01

**24-0432**  
09/24/2024





**LAS VEGAS  
CITY COUNCIL**

**CAROLYN G. GOODMAN**  
Mayor

**BRIAN KNUDSEN**  
Mayor Pro Tem

**CEDRIC CREAR**  
**VICTORIA SEAMAN**

**OLIVIA DIAZ**  
**FRANCIS ALLEN-PALENSKE**  
**NANCY E. BRUNE**

**MIKE JANSSEN**  
City Manager

**PUBLIC WORKS**  
**JOEY PASKEY, P.E., PTOE**  
DIRECTOR

**CITY HALL**  
495 S. MAIN ST.  
LAS VEGAS, NV 89101  
702.229.6011 | VOICE  
711 | TTY



May 21, 2024

Randy W. Carroll, P.E.  
Westwood Professional Services  
5725 Badura Avenue  
Las Vegas, NV 89118

**RE:BLM 505 Master Traffic Impact Study, TIA76182**

Dear Mr. Carroll:

The Transportation Engineering Division of the City of Las Vegas has reviewed the study for the BLM 505 Master Planned Community. The development is located on the northwest corner of the Tropical Parkway alignment and the proposed Sheep Mountain Parkway. The development is planned to include 2,388 single-family detached dwelling units, 858 single-family attached dwelling units, 10 acres of retail development and 17 acres of park and trails. Before the study can be accepted, the following issues must be addressed:

1. The project trip generation assumes 3,246 dwelling units within the development; however the development agreement will permit 3,500 dwelling units. Also, the commercial parcel is assumed to develop at a floor area ratio (FAR) of 0.15. While not unreasonable, this is at the low end of commercial development locally, with an FAR of 0.25 being more common. The study may proceed with these assumptions; however any increase in intensity above the study assumptions may require an update at the discretion of the City Traffic Engineer.
2. The commercial parcel is estimated to generate 20% of peak hour trips internally (within BLM 505) with Phase 1 (2030) and 60% at project buildout (2036). Please provide a more detailed justification of these internal trip estimates.
3. Adequate sight visibility must be provided for trail crossings. Therefore, in general, it is recommended that the project trails intersect Village Streets at locations that are far enough from curves in the streets so that adequate sight visibility will be provided.
4. The site plan shows trails off of Street A between parcels P1.1 and P1.2, also between parcels P3.3 and P3.4. Both trails terminate at what appear to be private parks. This is acceptable; however it is desirable for these trails to extend to the east end of the development to connect to the future Sheep Mountain Parkway trail.
5. The site plan shows trails off of Street A between parcels P1.1 and P1.2, also between parcels P1.4 and P1.5. The connections to Street A are fairly close together; also the trail between parcels P1.4 and P1.5 intersects Street A at a curve. It is recommended that the trails are revised so as to intersect Street A in a manner that will permit a single pedestrian crossing to accommodate both trails.

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09/24/2024

6. Required changes to the Proposed Roadway Section; note that additional lane/median widths must come from the widening of the curb-to-curb widths unless otherwise noted:
- A) (Street A) Minimum median width of 14'; minimum travel lane width of 10.5'; bike lanes must be protected (minimum 5' lane with 3' buffer).
  - B) (Street B) Minimum one travel lane each direction with minimum width of 10.5'; center turn lane minimum width 12', on-street parking lane on each side; 5' bike lanes.
  - C) (Centennial Parkway east of Street A) Acceptable, except that bike lane must be protected (minimum buffer of 3'). Buffer may come out of the breakdown lane.
  - D) (Centennial Parkway west of Street A) Bike lanes must protected with a buffer of at least 3'.
  - E) (Dorrell Lane) Bike lanes must protected with a buffer of at least 3'.
  - F) (Tropical Parkway) Full street section will have a minimum of one travel lane each direction with minimum width of 10.5'; center turn lane minimum width 12', on-street parking lane on each side; 5' bike lanes. The developer must install standard overpaving on the south side of the centerline if legally able.
  - G) and H) (Sheep Mountain Parkway) will be determined through separate discussions.
  - I) and J) (Parcel Entry and Private Streets) Acceptable.

Please contact me at 229-2452 if you have any questions.

Sincerely,



Rick Schroder, P.E.  
Transportation Planning

RES

cc: Joseph Norby, P.E.  
Sean Robinson, P.E.  
Keith Letus, P.E.  
Bart Anderson, P.E.  
Lucien Paet, P.E.  
file

24-0432  
09/24/2024





**LAS VEGAS  
CITY COUNCIL**

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*DIRECTOR*

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702.229.6011 | VOICE  
711 | TTY



July 31, 2024

Randy W. Carroll, P.E.  
Westwood Professional Services  
5725 Badura Avenue  
Las Vegas, NV 89118

**RE: Conceptual Approval, BLM 505 Master Traffic Impact Study and Addenda, TIA76229**

Dear Mr. Carroll:

The Transportation Engineering Division of the City of Las Vegas has reviewed the amended master traffic study for the BLM 505 Master Planned Community. The development is to be located on the west side of Sheep Mountain Parkway from the Tropical Parkway alignment to the drainage basin in the vicinity of the Farm Road alignment. The development is planned to include 2,388 single-family detached dwelling units, 858 single-family attached dwelling units, and 66,000 square feet of retail use, as well as a 20 acre park and several trails. This letter constitutes a conceptual approval of this development, with the following conditions:

1. Additional rights-of-way in accordance with Clark County Area Standard Drawing #201.1 are required at the intersection of Centennial Parkway and Street A to provide exclusive right turn lanes and dual left turn lanes on all approaches. All right turn lanes will have a minimum of 150' of storage except for the northbound right turn lane, which will have a minimum of 300' of storage. All left turn lanes will have a minimum of 300' of storage per lane except for westbound, which will have a minimum of 400' of storage per lane.
2. All internal public streets are required to be constructed by the master developer. These streets are Dorrell Lane (76' ROW), Centennial Parkway (90' ROW east of Street A, 78' west of Street A), Tropical Parkway (31.5' ROW, north side only), Street A (76' ROW between the entrances to Parcels 1.3 and 2.8, transitioning to a 70' ROW south of the Parcel 1.3 entrance and north of the Parcel 2.8 entrance) and Street B (67' ROW adjacent to the park, transitioning to a 47' ROW north of the park). The typical lane and median configurations will be defined in the Design Guidelines. Note that standard overpaving is required on Tropical Parkway if legally able.
3. Phase 1 consists of Parcels 1.1 through 1.9. To support Phase 1, the developer must construct Centennial Parkway from Street A to Sheep Mountain Parkway and Street A from Centennial Parkway to Tropical Parkway.

**24-0432**  
09/24/2024

4. Phase 2 consists of Parcels 2.1 through 2.11 as well as the park on the northwest corner of Tropical Parkway and Street B. To support Phase 2, the developer must construct Centennial Parkway from Street A to Street B, Street A from Centennial Parkway to the entrance to Parcel 2.1, Street B from Tropical Parkway to Centennial Parkway and Tropical Parkway from Street A to Street B.
5. Phase 3 consists of Parcels 3.1 through 3.9. To support Phase 3, the developer must construct Dorrell Lane from Street A to Sheep Mountain Parkway and Street A from Dorrell Lane to the entrance to Parcel 2.1.
6. At the intersection of Centennial Boulevard and Street A, the developer shall install infrastructure for a future traffic signal with the construction of the adjacent roadway, including conduit, preformed detection loops, pull boxes, poles bases, poles, luminaires and controller cabinets. This infrastructure shall be connected with underground communications infrastructure acceptable to RTC-FAST and to the City Traffic Engineer. Please note that this includes both RTC and CLV communications facilities. Note that placing this infrastructure in the medians is unacceptable.
7. At the following locations, the developer shall install infrastructure for a future pedestrian beacon with the construction of the adjacent roadway, including conduit, pull boxes, poles bases, poles and luminaires:
  - a) Street A, between P1.7 and P1.9
  - b) Street A, between P3.8 and P3.9
  - c) Street B, between P2.10 and the CLV park.

24-0432  
09/24/2024



Prior to the technical acceptance of the study, the following issue must be addressed:

1. Provide revised trip assignments, level-of-service calculations and storage requirements using the revised internal percentages from Addendum #1.

This conceptual approval does not supersede or eliminate conditions of approval imposed by the Planning Commission and/or the City Council. An addendum to this traffic study may be required if the development of the site occurs in a manner not in keeping with the land use assumptions contained in the study. Technical acceptance of this study is required prior to submittal of the civil plans to the Land Development section of Building & Safety. Please contact me at 229-2452 if you have any questions.

Sincerely,



Rick Schroder, P.E.  
Transportation Planning

RES

cc: Joseph Norby, P.E.  
Sean Robinson, P.E.  
Keith Letus, P.E.  
Bart Anderson, P.E.  
Lucien Paet, P.E.  
Joshua Edelman, EIT  
file

24-0432  
09/24/2024



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DIRECTOR

**CITY HALL**  
495 S. MAIN ST.  
LAS VEGAS, NV 89101  
702.229.6011 | VOICE  
711 | TTY



August 5, 2024

Travis Poechmann  
Westwood  
5725 W. Badura Avenue, Suite 100  
Las Vegas, NV 89118

**RE: BLM 505 Wastewater Master Plan 2<sup>nd</sup> Submittal Dated July 2024**

Dear Mr. Poechmann:

The City of Las Vegas Department of Public Works, Sanitary Sewer Engineering (City) completed its review of the BLM 505 Wastewater Master Plan 2<sup>nd</sup> Submittal – Dated July 2024 (Study).

The City finds the Study conceptually acceptable for purposes of determining maximum development within each parcel and minimum capacity requirements for future sewers within BLM 505. See comments below and markups provided. Return a revised copy of the Study with the comments addressed or clarified.

Figures 4 and 5 shall be revised to show the overall development phasing to match the Conceptual Master Drainage Study. Additionally, refer to the markups on Figure 4. The hatched area should be added to both Figures 4 and 5 with the following note: This area is designated for potential future development as part of the Skye Summit Master Planned Community. Development within this area can only be incorporated into the Skye Summit Master Planned Community after the City of Las Vegas Department of Public Works approval of a Technical Drainage Study for the Kyle Canyon Detention Basin Expansion as identified in the 2024 CCRFCD Master Plan Update and vacation of the existing BLM Drainage Grant surrounding the basin. All proposed infrastructure and land use currently depicted in this area is conceptual, and not approved to be a part of the Skye Summit Master Planned Community until such time as the Technical Drainage Study is approved.

Civil plan designs must comply with all City standards including the Design and Construction Standards for Wastewater Collection Systems (DCSWCS), Southern Nevada, Latest Edition and City addenda requirements.

If you have any questions, please feel free to email [dpanaligan@LasVegasNevada.gov](mailto:dpanaligan@LasVegasNevada.gov) or call 702-229-2176.

Regards,

Dominic Panaligan, P.E.  
Acting Engineering Project Manager  
Sanitary Sewer Engineering

cc: Tim Parks, P.E., Program Manager, CLV Public Works  
Morgan Meyer, P.E., Project Engineer, CLV Public Works  
Joe Pena, Senior Engineering Associate, CLV Public Works  
Raul Cruz-Santiago, P.E., Engineering Associate, CLV Public Works

**24-0432**  
09/24/2024

Exhibit “C”  
Residential Land Use Table and Master  
Land Use Plan

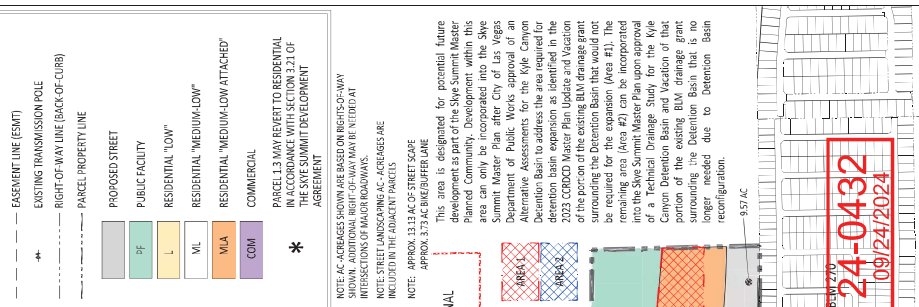
24-0432  
09/24/2024

**SKYE SUMMIT**  
LAS VEGAS, NV

**LEGEND**

	PROJECT BOUNDARY
	EASEMENT LINE (E&MT)
	EXISTING TRANSMISSION POLE
	RIGHT-OF-WAY LINE (BACK-OF-CURB)
	PARCEL PROPERTY LINE
	PROPOSED STREET
	PUBLIC FACILITY
	RESIDENTIAL "LOW"
	RESIDENTIAL "MEDIUM-LOW"

Category	Residential	Medium/Low Attached
Value	100	100



Westwood

# Exhibit “D”

## Master Sanitary Sewer Study

24-0432  
09/24/2024





**LAS VEGAS  
CITY COUNCIL**

CAROLYN G. GOODMAN  
Mayor

BRIAN KNUDSEN  
Mayor Pro Tem

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VICTORIA SEAMAN  
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DIRECTOR

**CITY HALL**  
495 S. MAIN ST.  
LAS VEGAS, NV 89101  
702.229.6011 | VOICE  
711 | TTY



August 5, 2024

Travis Poechmann  
Westwood  
5725 W. Badura Avenue, Suite 100  
Las Vegas, NV 89118

**RE: BLM 505 Wastewater Master Plan 2<sup>nd</sup> Submittal Dated July 2024**

Dear Mr. Poechmann:

The City of Las Vegas Department of Public Works, Sanitary Sewer Engineering (City) completed its review of the BLM 505 Wastewater Master Plan 2<sup>nd</sup> Submittal – Dated July 2024 (Study).

The City finds the Study conceptually acceptable for purposes of determining maximum development within each parcel and minimum capacity requirements for future sewers within BLM 505. See comments below and markups provided. Return a revised copy of the Study with the comments addressed or clarified.

Figures 4 and 5 shall be revised to show the overall development phasing to match the Conceptual Master Drainage Study. Additionally, refer to the markups on Figure 4. The hatched area should be added to both Figures 4 and 5 with the following note: This area is designated for potential future development as part of the Skye Summit Master Planned Community. Development within this area can only be incorporated into the Skye Summit Master Planned Community after the City of Las Vegas Department of Public Works approval of a Technical Drainage Study for the Kyle Canyon Detention Basin Expansion as identified in the 2024 CCRFCD Master Plan Update and vacation of the existing BLM Drainage Grant surrounding the basin. All proposed infrastructure and land use currently depicted in this area is conceptual, and not approved to be a part of the Skye Summit Master Planned Community until such time as the Technical Drainage Study is approved.

Civil plan designs must comply with all City standards including the Design and Construction Standards for Wastewater Collection Systems (DCSWCS), Southern Nevada, Latest Edition and City addenda requirements.

If you have any questions, please feel free to email [dpanaligan@LasVegasNevada.gov](mailto:dpanaligan@LasVegasNevada.gov) or call 702-229-2176.

Regards,

Dominic Panaligan, P.E.  
Acting Engineering Project Manager  
Sanitary Sewer Engineering

cc: Tim Parks, P.E., Program Manager, CLV Public Works  
Morgan Meyer, P.E., Project Engineer, CLV Public Works  
Joe Pena, Senior Engineering Associate, CLV Public Works  
Raul Cruz-Santiago, P.E., Engineering Associate, CLV Public Works

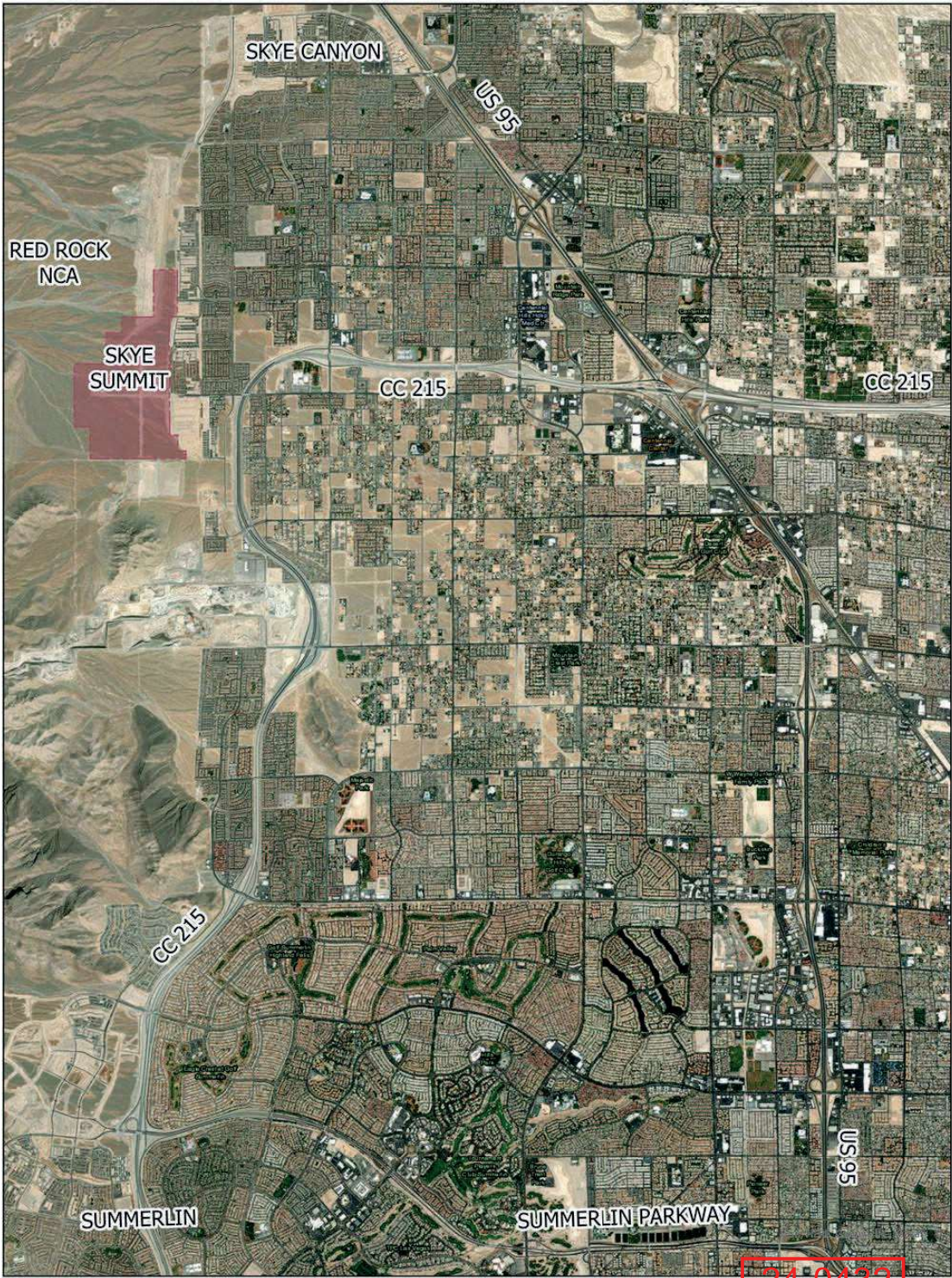
**24-0432**  
09/24/2024

Exhibit “E”  
Property Description / Project and  
Vicinity Map

24-0432  
09/24/2024



## VICINITY MAP



24-0432  
09/24/2024



A scale bar with markings at 0, 0.5, 1, and 2 miles.



## PROPERTY DESCRIPTION

APN: 126-26-101-003 and a portion of the existing right-of-way 126-23-699-002

### Legal Description

BEING THE WEST HALF (W<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE EAST HALF (E<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTH HALF (S<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) IF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) TOGETHER WITH THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) TOGETHER WITH THE SOUTH HALF (S<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

ALSO BEING THE WEST HALF (W<sub>1/2</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE NORTH HALF (N<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) TOGETHER WITH THE EAST HALF (E<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) TOGETHER WITH THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF SECTION 26, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

CONTAINING 514.86 ACRES, MORE OR LESS.

AND A PORTION OF SHEEP MOUNTAIN PARKWY DEDICATED PER BOOK 162, PAGE 55 OF PLATS, LYING WITHIN THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

CONTAINING 5,975 SQUARE FEET, MORE OR LESS. (SEE ATTACHED EXHIBIT "A-1")

24-0432

09/24/2024

WALLACE MORRIS KLINE SURVEYING, LLC  
Land Survey Consulting

APN: 126-23-699-002

24-0432  
09/24/2024

**EXHIBIT "A-1"**

**EXPLANATION:** THIS DESCRIPTION REPRESENTS A PARCEL OF LAND FOR A DEVELOPMENT AGREEMENT IN SUPPORT OF THE "BLM 500" PROJECT.

**DESCRIPTION**

THAT PORTION OF SHEEP MOUNTAIN PARKWAY DEDICATED PER BOOK 162, PAGE 55 OF PLATS, LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE NORTHWEST CORNER OF PARCEL "C2" AS SHOWN ON SAID PLAT;

THENCE ALONG THE NORTHERLY LINE OF SAID SHEEP MOUNTAIN PARKWAY LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SAID SECTION 23, SOUTH 89°35'43" WEST, 205.71 FEET TO THE **POINT OF BEGINNING**;

THENCE DEPARTING SAID NORTHERLY LINE, FROM A POINT TO WHICH A RADIAL LINE BEARS SOUTH 79°28'19" EAST, CURVING TO THE RIGHT ALONG AN ARC HAVING A RADIUS OF 2,900.00 FEET, CONCAVE WESTERLY, THROUGH A CENTRAL ANGLE OF 01°26'55", AN ARC LENGTH OF 73.32 FEET;

THENCE SOUTH 11°58'36" WEST, 175.19 FEET TO A POINT ON THE WESTERLY LINE OF SAID SHEEP MOUNTAIN PARKWAY LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SAID SECTION 23;

THENCE ALONG SAID WESTERLY LINE, NORTH 00°31'31" EAST, 242.95 FEET TO THE NORTHWEST CORNER OF SAID SHEEP MOUNTAIN PARKWAY LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SAID SECTION 23;

THENCE ALONG AFOREMENTIONED NORTHERLY LINE, NORTH 89°35'43" EAST, 48.43 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 5,975 SQUARE FEET, MORE OR LESS.

**BASIS OF BEARINGS**

GRID NORTH AS DEFINED BY THE CENTRAL MERIDIAN OF THE NEVADA COORDINATE REFERENCE SYSTEM (NCRS), LAS VEGAS AND LAS VEGAS HIGH ELEVATION ZONES NORTH AMERICAN DATUM OF 1983; SAID MERIDIAN BEING COINCIDENT WITH 114°58' WEST OF THE GREENWICH MERIDIAN.

ZONE: LAS VEGAS ZONE

DATUM (REFERENCE FRAME): NAD 1983(2011) EPOCH 2010.00

SYSTEM: NEVADA COORDINATE REFERENCE SYSTEM (NCRS)

PROJECTION: TRAVERSE MERCATOR

STANDARD PARALLEL (AND LATITUDE OF GRID ORIGIN): 36°15'00"N

LONGITUDE OF CENTRAL MERIDIAN: 114°58'00"W

NORTHING AT GRID ORIGIN: 200,000.00 M (656,166.6667 FEET US)

EASTING AT CENTRAL MERIDIAN: 100,000.00 M (328,083.3333 FEET US)

SCALE FACTOR ON CENTRAL MERIDIAN: 1.0001 (EXACT)

**NOTES:**

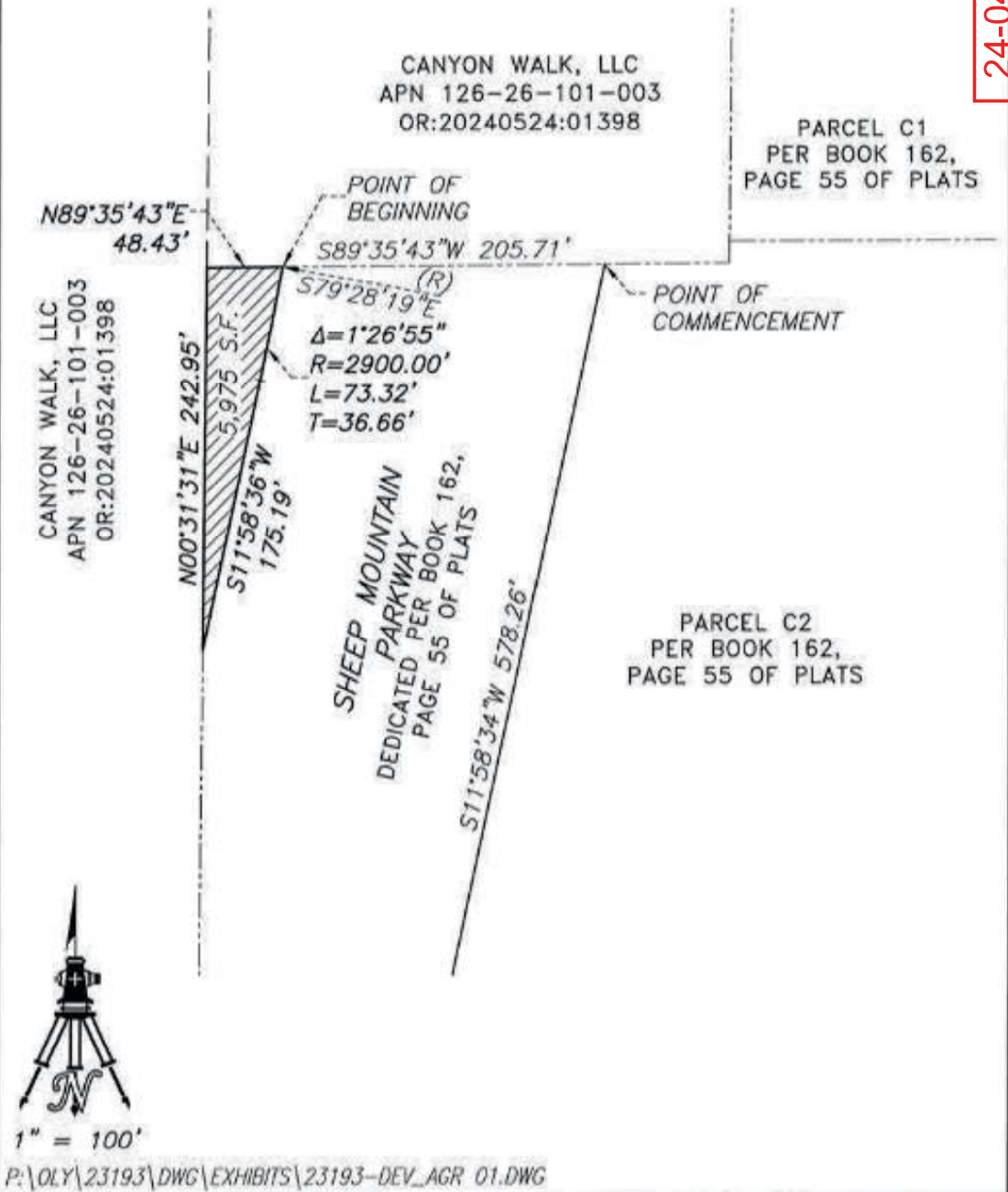
- 1) ALL DISTANCES AND BEARINGS SHOWN HEREON ARE PROJECTED (GRID) VALUES BASED ON THE PRECEDING PROJECTION DEFINITION.
- 2) GRID BEARINGS SHOWN HEREON (OR IMPLIED BY GRID COORDINATES) DO NOT EQUAL GEODETIC BEARING DUE TO MERIDIAN CONVERGENCE.

CRAIG K. MATSUEDA, PLS  
NEVADA LICENSE NO. 17022



APN:126-23-699-002

24-0432  
09/24/2024



WALLACE MORRIS KLINE SURVEYING, LLC. LAND SURVEY CONSULTING	EXHIBIT "A-2" LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SECTION 23, T. 19 S., R. 59 S., M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.
6525 W. WARM SPRINGS RD. #100, LAS VEGAS, NV 89118	PAGE 1 OF 1

Exhibit “F”

Skye Summit Development  
Standards and Architectural  
Design Guidelines





**DEVELOPMENT  
STANDARDS  
&  
DESIGN GUIDELINES**

Submittal Date:  
August 29, 2024

City Council Approval Date:

PREPARED FOR:

**CANYON WALK, L.L.C.**

PREPARED BY:

**OLYMPIA COMPANIES, L.L.C.**

11411 Southern Highlands Parkway, Suite 300  
Las Vegas, NV 89141

**24-0432**  
09/24/2024

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ARC Submittal Form and Design Review Checklist

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## COMMUNITY THEME

### 1.1 PURPOSE AND INTENT

Situated adjacent to the proposed Sheep Mountain Parkway in the northwest Las Vegas valley, SKYE SUMMIT is designed to provide a graceful transition from the undeveloped land (U) to the south, while respecting the densities and design of the Skye Hills community to the east. SKYE SUMMIT is situated immediately adjacent to Red Rock National Conservation Area. SKYE SUMMIT is one of the gateways to this regional amenity. The community incorporates lighting elements to soften the illumination in the transition to our unique resource. The purpose of the Development Standards and Design Guidelines is to establish the procedures and evaluation standards for proposed builder neighborhoods within SKYE SUMMIT, the standards and guidelines described herein establish general concepts and provide the direction for the expression of the built environment within SKYE SUMMIT. They are intended to provide an overall framework for future development, in order to achieve a sense of community identity, character, scale and sensitivity in the development of SKYE SUMMIT.

Equally important, an extraordinary amount of time, resources, and capital shall be expended for the development of infrastructure, landscaping and other site improvements, which are integral to the creation of a strong sense of identity for SKYE SUMMIT. The Development Standards and Guidelines are intended to provide a vehicle to protect and maintain the long term quality and value of the community. Accordingly, the Development Standards and Design Guidelines apply to all construction within SKYE SUMMIT, including new construction, remodels and additions, landscape, signage, and neighborhood amenities. The Development Standards shall be adhered to with all aspects of the proposed projects.

The sketches and graphic representations contained herein are for reference to help clarify the requirements of the Development Standards and Design Guidelines. They are not meant to depict any actual lot or building design. In an effort to encourage creativity and innovation, the Architectural Design Guidelines and Landscape Design Guidelines allow certain flexibility in fulfilling the intended design goals and objectives. The authority for determining whether a proposed design or feature of a design shall be acceptable rests with the Master Declarant (“Declarant”) and/or the various review committees it designates.

## 1.2 SUPPORTING DOCUMENTS

The Development Standards and Design Guidelines are supplemental to the documents listed below, and must also be consulted during the design and development of individual parcels within SKYE SUMMIT:

- City of Las Vegas Building Codes
- Development Agreement for SKYE SUMMIT
- Master Declaration of Covenants, Conditions & Restrictions for SKYE SUMMIT (Master CC&R's)
- The Master CC&Rs or any Neighborhood Association, which governs the Lot or Property in question.

Where conflicts arise between documents, City of Las Vegas Building codes always take precedence. Further, issues not addressed herein shall be governed by Title 19.

The SKYE SUMMIT Development Standards and Design Guidelines are subject to interpretation by the Master Declarant. The Master Declarant may amend or augment the Design Guidelines to meet specific site or functional requirements of property within the community, for consistency with the Development Agreement as the basic objective of the Master Declarant.

## 1.3 RESPONSIBILITY OF REVIEW

Neither the Master Declarant nor Architectural Review Committee (ARC) assume responsibility for plan review of local codes or ordinances. The Master Declarant's purpose in plan review is to ensure that each project meets the objectives of the Development Standards and Design Guidelines and Declarations. All projects within SKYE SUMMIT require review and approval by the Master Declarant prior to submittal to the City of Las Vegas or other applicable public agencies.

## 1.4 PROJECT LOCATION

SKYE SUMMIT is a Master Planned Community consisting of 515 acres in the northwest region of Las Vegas. It is on the west side of the Sheep Mountain Parkway alignment with Farm Road as the northern boundary and Tropical Parkway as the southern boundary. The boundary to the west is Red Rock National Conservation Area. The community, planned for up to 3,500 dwelling units (maximum) features a variety of residential land uses and infrastructure improvements that enhance and protect the quality of life for residents and visitors alike. Please refer to **Exhibit 1.4: Vicinity Map**.

## 1.5 SKYE SUMMIT LAND USE CATEGORIES

- *Residential Low (maximum 15 du/ac; average 6.5 du/ac)*  
The purpose of the Residential Low category is to provide for the development of single-family detached dwellings and duplex units with maximum density not to exceed 15 du/ac. Accessory structures, including Accessory Dwelling Units, are allowed.
- *Residential Medium Low (maximum 15 du/ac; average 8 du/ac)*  
The purpose of the Residential Medium Low category is to provide for the development of single-family detached dwellings, duplex units, townhomes and other customary residential uses with an average density across all Residential Medium Low parcels not to exceed 8 du/ac, maximum density not to exceed 15 du/ac. Accessory structures, including Accessory Dwelling Units, are allowed.
- *Residential Medium Low Attached (maximum 25 du/ac; average 16 du/ac)* The purpose of the Residential Medium Low Attached category is to provide for the development of single-family detached dwellings, duplex units, townhomes, and other customary residential uses on a smaller lot size with an average density not to exceed 16 du/ac across all Residential Medium Low Attached parcels.
- *Public Facility (PF)*  
The permitted uses and development standards for the Public Facility parcels are as prescribed by the Civic (C-V) zoning district within the City of Las Vegas Unified Development Code. Refer to Title 10.10.020. In addition to the public and quasi-public uses permitted by the C-V zoning district, for profit schools are also a permitted use on Public Facility parcels within SKYE SUMMIT.

Infrastructure within all SKYE SUMMIT land use categories, including public facilities, detention basins, electrical sub-stations, utility easements, public facilities, etc., shall be in accordance with the Civic (C-V) zoning district of the City of Las Vegas Unified Development Code.

Except for uses that require a Special Use Permit in accordance with the Development Code, the following uses are permitted in the C-V zoning districts: utility company facilities, including electrical power substation facilities, telecommunications facilities, and facilities of the Las Vegas Valley Water District,

Parks and Open Space shall be a part of the PF land use category and shall provide for active and passive recreational amenities, including natural open space, serving residents of SKYE SUMMIT and the surrounding areas.

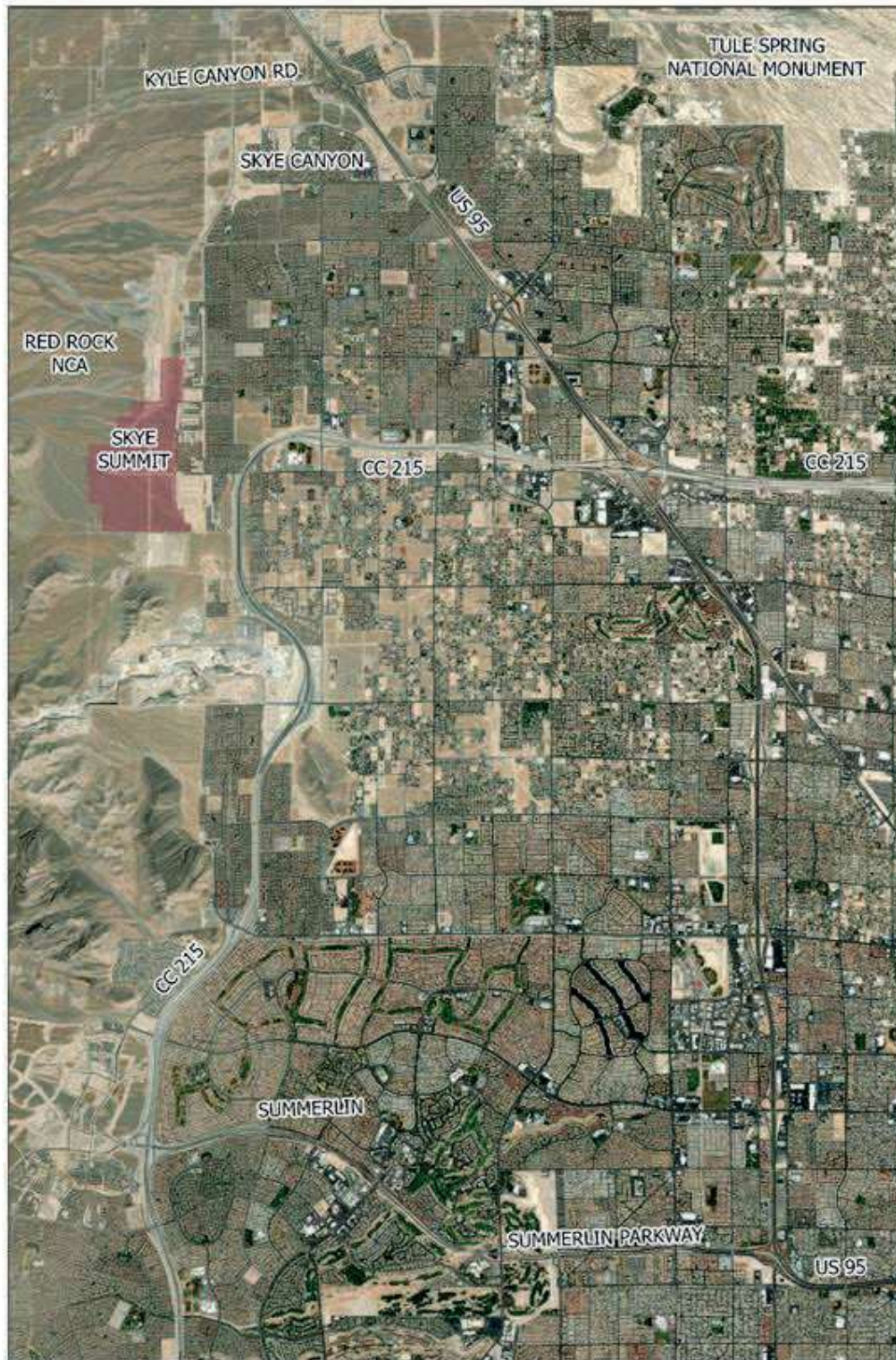
- *Commercial (C)*  
The purpose of the Commercial Zoning District is to provide for the development of commercial uses necessary to support Skye Summit. Refer to Section 3.02(g) of the Development Agreement. Unless otherwise prescribed, permitted land uses are subject to Title 19.12, C-1 (Limited Commercial) allowed uses, Title 19.08.120, C-1 (Limited Commercial) sign standards, and Title 19.08.0, C-1 Development Standards.
- *Cell Towers*  
Cell Towers shall be permitted in a Commercial Zoning District with no distance separation requirements. Cell towers shall be of stealth design and may not exceed 70' in height. Refer to Section 3.14 of the Development Agreement.

## 1.6 SKYE SUMMIT LAND USE / ZONING DISTRICTS

The SKYE SUMMIT Development Standards contained herein provide the Zoning criteria for the implementation of the residential, Public Facility, and commercial land uses within the SKYE SUMMIT Master Plan. Where the Modified Standards are silent on a specific issue, the provisions of the City of Las Vegas Unified Development Code, Title 19, in effect at the time of adoption of the SKYE SUMMIT Development Standards shall apply. The following chart identifies the SKYE SUMMIT Land Use categories and the corresponding SKYE SUMMIT Permitted Zoning Districts that apply:

Land Use Category		Permitted Zoning Districts
L	Residential Low (maximum 15 du/ac; average 6.5 du/ac)	R-1, R-CL, AA-1
ML	Residential Medium Low (maximum 15 du/ac; average 8 du/ac)	R-1, R-CL, AA-1
MLA	Residential Medium Low Attached (maximum 25 du/ac; average 16 du/ac)	R-1, R-CL, AA-1, R-TH
PF	Public Facility	C-V
C	Commercial	C-1



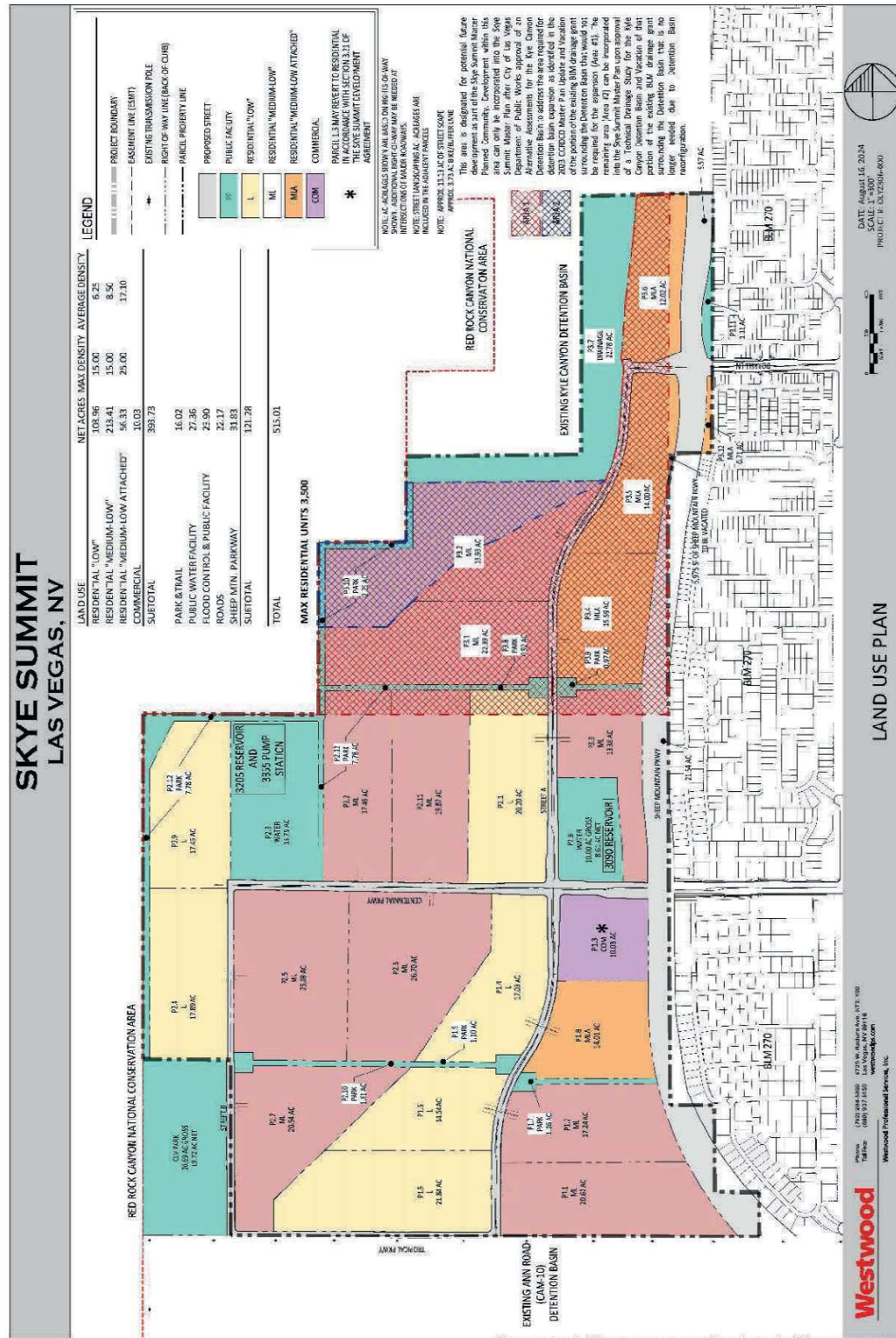
**Exhibit 1.4**  
**VICINITY MAP*****SKYE SUMMIT***

Development Standards and Design Guidelines  
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**SKYE SUMMIT**  
**LAS VEGAS, NV**



## 2.1 DEVELOPMENT STANDARDS: PARKS, TRAILS, AND STREETS

Parks serve as focal points, fostering connections with nature and the community. A carefully organized hierarchy of parks and open space ensures diverse recreational opportunities. **Exhibit 2.3.3: Trail & Park** outlines conceptual park locations other than Pocket Parks. Pocket Parks are not shown as their location will be determined at the time of site plan or preliminary plat. Pocket Parks will provide amenities designed to meet the needs of adjacent residents on a local scale.

Primary Parks will serve the larger neighborhoods, linking communities to one another as anchors for trails and paths. The Site includes a larger scale City Park at the southwestern corner that will serve the community as a whole. This park shall be a portion by the City and a portion by the Master Developer, refer to the Development Agreement for more information.

As development of parcels moves forward, the specific size, locations, and amenities of parks will be provided in more detail. Considering factors like location and scale, the design and programming of parks shall be thoughtfully tailored to their specific context and proximity to other parks. Final specifications for parks, including park location, size, type, and quantity, are decided at the time of the tentative plat. Landscape areas within parks shall follow the guidelines in **Chapter 8: Landscape Design Guidelines**.

### 2.1.1 Conformance with City of Las Vegas Park General Requirements

The City of Las Vegas 2050 Master Plan set a target goal of seven (7) acres of park space per one thousand (1,000) residents to be located within a quarter (1/4) mile walking distance. SKYE SUMMIT aspires to satisfy this goal by integrating a hierarchy of parks that include primary parks and the larger City Park and the diverse array of parks, combined with the network of trails, pathways, and open spaces that provide a variety of recreational opportunities for residents within walkable access to Red Rock National Conservation Area.

### 2.1.2 General Park Standards

The following guidelines outline the general standards for park development within our community. These standards are designed to ensure a consistent level of quality and functionality across all parks, enhancing the recreational experience while maintaining aesthetic and structural integrity. Each park, irrespective of size or type, is expected to adhere to these foundational principles to foster a cohesive and inviting outdoor environment.

- A. Fencing around a tot lot or play area shall provide unobstructed visibility to the play area.
- B. Landscape planting within parks shall follow the requirements of **Section 8: Landscape Architectural Guidelines**.
- C. Turf is permitted as part of open play/ active recreation per the requirements of **Section 8.5: General Landscape Standards**.

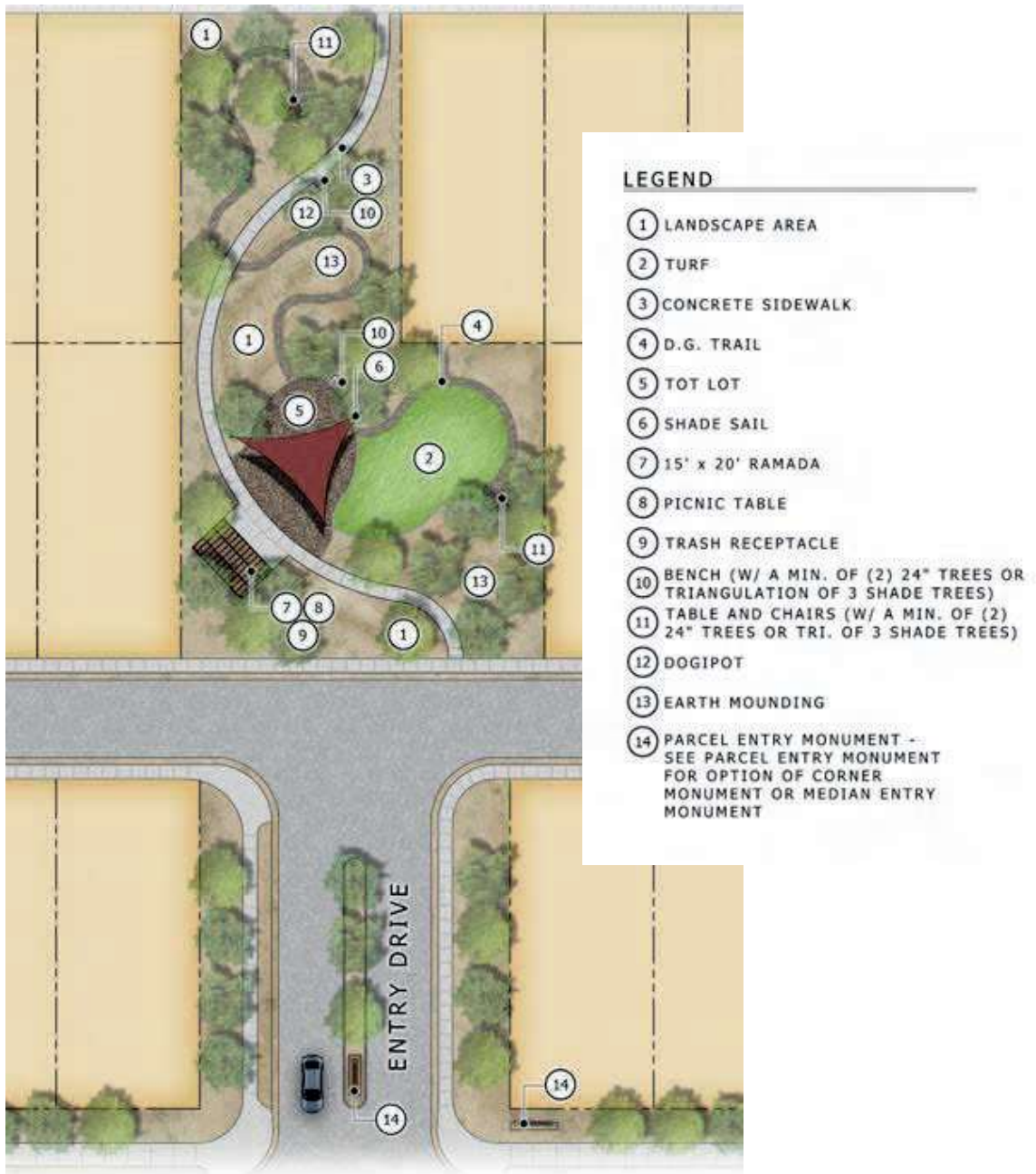
### 2.1.3 Pocket Park Standards

Pocket Parks are park spaces that serve as the first level of recreation spaces for residents, serving a local neighborhood.

- A. Pocket Parks include amenities that are compatible with the character and needs of the adjacent residential areas they serve.
- B. A minimum dimension of thirty (30) feet in all directions.
  - 1. Exceptions to this rule may be considered by the ARC based on unique site conditions such as topography or irregular lot shapes.
  - 2. Functional natural turf is encouraged and shall comply with SNWA requirements. Refer to **Section 8.5.4.5: Turf**.
  - 3. Trees and planting shall be provided in accordance with **Section 8.7**.
- C. Pocket Parks shall have a minimum of two (2) connection points into the community.
- D. A Pocket Park must include at least four (4) amenities from **Table 2.2.1: Park Amenities**.
- E. Each parcel is required to include at least one Pocket Park.
  - 1. Pocket Parks shall be located at one (1) of three location options within a parcel;
    - a. Entry Focal Point - Located at the entrance or terminus of the main access road to the parcel. Refer to **Exhibit 2.1.1: Pocket Park – Entry Focal Point**.
      - i. Where Pocket Parks are located at the terminus of an entry road, planting is required to mitigate direct access to the road and headlight glare. Play structures and amenities may not be located within this area. Refer to **Exhibit 2.1.1: Pocket Park – Entry Focal Point**.
    - b. Boundary Connector – situated along the parcel’s border, these pocket parks act as connective spaces promoting interaction and unity between different neighborhoods. Refer to **Exhibit 2.1.2: Pocket Park – Boundary Connector**.
    - c. Central Parcel Amenity – placed centrally within a parcel, a Pocket Park becomes a communal gathering point and walkable amenity. Refer to **Exhibit 2.1.3: Pocket Park – Central Parcel Amenity**.

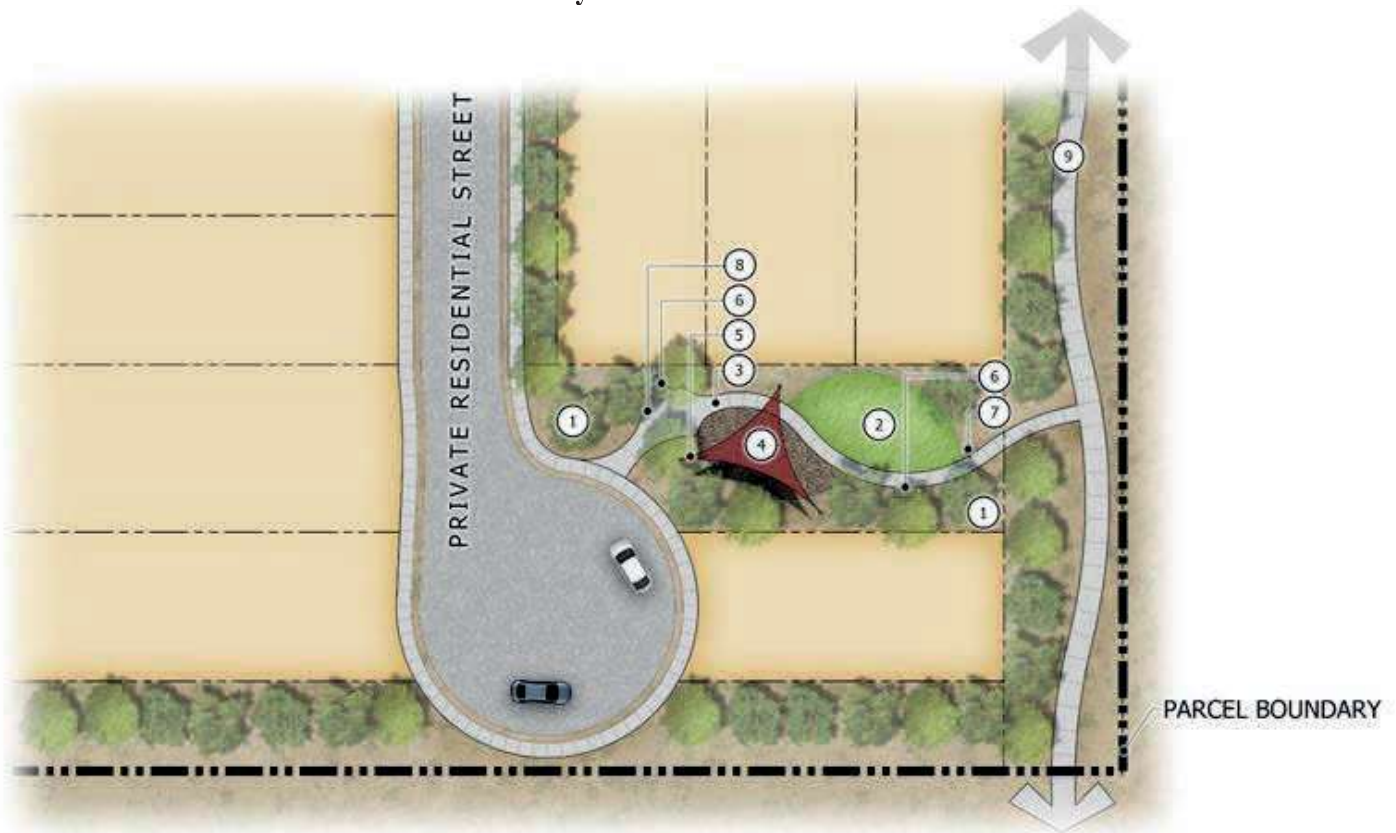


## Exhibit 2.1.1: Pocket Park – Entry Focal Point





## Exhibit 2.1.2: Pocket Park – Boundary Connector



## LEGEND

- ① LANDSCAPE AREA
- ② TURF
- ③ CONCRETE SIDEWALK
- ④ TOT LOT
- ⑤ SHADE SAIL
- ⑥ BENCH (W/ A MIN. OF (2) 24" TREES OR TRIANGULATION OF 3 SHADE TREES)
- ⑦ DOGIPOT
- ⑧ TRASH RECEPTACLE
- ⑨ 8'-0" WIDE TRAIL

**Exhibit 2.1.3: Pocket Park – Central Parcel Amenity****2.1.4 Primary Parks**

Primary Parks are park spaces that serve as the second level recreation space for residents.

- A. Primary Parks include amenities that are compatible with the character and needs of the local residential areas they serve.
- B. A Primary Park must include at least six (6) amenities from **Table 2.2.1: Park Amenities**.
- C. Refer to **Exhibit 2.3.3: Trail & Park** for conceptual locations of Primary Parks.

**2.1.5 City Park**

The twenty (20) acre City Park is larger in scale than the Primary Parks and offer more expansive program areas. This park serves as a gathering point and a point of pride within the community. City Park to comply with Parks Agreement.

- A. The location of the City Park has been identified on **Exhibit 2.3.3: Trail & Park**.

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## 2.2 PARK AMENITIES

**Table 2.2.1: Park Amenities** presents a baseline selection of amenities for each park type. This list is not exhaustive but serves to set a standard for the intensity, quality, and programming expected for different park types. Additional program elements not listed in the table can be incorporated provided they align with the established standards of quality and intensity and meet ARC approval. City Park does not require ARC approval and will comply with the Parks Agreement.

<b>Table 2.2.1: Park Amenities</b>		
<b>Description</b>	<b>Pocket Park</b>	<b>Primary Park</b>
<b>Number of Additional Park Amenities Required From Any of The Below List <sup>1</sup></b>	<b>4</b>	<b>6</b>
Amphitheater		
Bag Toss Courts	X	X
Barbeque Grill	X	X
Baseball/Softball Fields		
Basketball Court		X
Basketball Half-Court	X	X
Benches	X	X
Bicycle Parking		
Bocce Ball Courts		X
Community Garden		X
Community Pools		
Covered Large Play Structure (Ages 5-12)		
Covered Small Play Structure (Ages 5-12) <sup>3</sup>	X	X
Covered Tot Lot (Ages 2-5) <sup>4</sup>	X	X
Dog Park		
Drinking Fountain		
Fire Pit	X	X
Football Field		
Great Lawn		
Internal Trails and Paths	X	X
Little League Fields		
Multi-Use Sports Field		
Nature Trail System/Decomposed Granite		
Open Space	X	X
Outdoor Fitness/Stretch Equipment <sup>5</sup>		X
Park Internal Interpretive Level Signage		
Parking Facilities		
Parking Facilities With Trailer Parking & Equestrian Staging Area		

Passive Turf Areas		
Pet Waste Station	X	X
Pickleball Court		X
Picnic Table		X
Plaza		
Pond		
Restroom Facilities		
Sculpture/Art		
Seating Nodes		
Shade Structure		X
Shade Trees	X	X
Skate Parks		
Small Turf Area	X	X
Soccer Field		
Splash Pad		
Tennis Court		X
Trash Receptacle	X	X
Volleyball Court		X
Yoga Lawn		

1. Additional amenities not listed may be substituted
2. X = Suggested amenity compatible by park type. Allowed amenities are not limited to only those which are marked.
3. Covered small play structures require a minimum of 600 SF of area.
4. Covered tot lot require a minimum of 400 SF of area.
5. Minimum requirements for outdoor fitness/ stretch equipment to be consistent with Landscape Structures, Fitcore, and HealthBeat
6. Shade Trees: 1-24" box tree per 20 linear feet of frontage / perimeter distance of park, and in all planter areas.

### 2.2.1 General Standards for Park Amenities

- A. Play structures for age ranges of two (2) to five (5) years old and five (5) to twelve (12) years old shall be required to meet the following minimum specifications required by the Master Developer.
  1. Vendors approved for play structures include Kompan, Landscape Structures, and Playworld Systems. Additional vendors that meet the minimum established standards of quality and intensity may be used, subject to ARC approval.
  2. Each structure to have play stations and useable area as specified on **Table 2.2.1: Park Amenities**.
- B. Shade covering for play structures shall be triangle or square canvas shading that covers a minimum of fifty (50) percent of the required amenity.
- C. Turf/lawn areas shall meet the requirements in **Section 2.2.1: General Park Standards** and **Section 8.4.5: Turf**.



## 2.3 PEDESTRIAN CIRCULATION AND TRAILS MASTER PLAN

SKYE SUMMIT creates a varied pedestrian experience by incorporating diverse roadway types and integrated landscapes. A hierarchy of trails and paths connects roadways, neighborhoods, open space, and parks. This provides residents with a diverse array of active and passive recreational opportunities. Refer to **Exhibit 2.3.3: Trail & Park** for information and conceptual locations of trails.

The design intent is to seamlessly interconnect the community and facilitate recreation and access for pedestrians, joggers, hikers, and cyclists. Cross sections of the different trail types have been included in **Exhibit 2.3.4: Street & Trail Sections**. For information on Paths, refer to **Exhibit 2.3.6: Street Sections**. For information on planting requirements see **Chapter 8: Landscape Design Guidelines**. Trail Node locations are graphically shown on **Exhibit 2.3.3: Trail & Park** and more details can be found in **Section 2.3.2: Trail Nodes**.

### 2.3.1 Paseos

Paseos are landscaped pedestrian pathways that connect sidewalks, trails, neighboring parcels, and parks. Paseos provide an alternative to paths along roadways for pedestrian access and connect neighborhoods to one another. Refer to the following requirements when designing paseos:

- A. Paseos may occur within a Parcel, in between Parcels, or in any other areas where pedestrian connection is needed.
- B. Parcels adjacent to trails shall have wrought iron fencing per **Exhibits 5.3 & 5.8: Fencing Adjacent to Open Areas**.
- C. The minimum width of a paseo within a Parcel is fifteen (15) feet.
  1. When between lots, a paseo is measured from the structure/ wall to structure/wall which exceeds thirty (30) inches in height.
- D. Larger paseos have been identified on **Exhibit 2.3.3: Trail & Park** and show the locations of Parcel Paseos.
  1. The minimum width of a Parcel Paseo is forty (40) feet.
  2. Refer to **Exhibit 2.3.5 Trail Sections** for more information.

### 2.3.2 Trail Nodes

Trail nodes are strategically positioned at approximate locations graphically shown on **Exhibit 2.3.3: Trail & Park** along the West Trail Corridor and in two (2) locations along Parcel Paseos. Nodes are designed to include, at minimum, two (2) amenities from the list of trail node amenity options from **Table 2.3.1: Trail Node Amenities** but this is not an exhaustive list. Additional amenity selections may be presented to ARC for review and approval. Parcels adjacent to trails shall have wrought iron fencing per **Exhibit 5.8 Fencing Adjacent to Open Areas**.

Table 2.3.1 Trail Node Amenities		
	Trail Type	
Amenity	West Trail Nodes	All Other Trail Nodes
Bench	X	X
Trash Receptacle	X	X
Pet Refuse Bag Disposal	X	X
Bike Repair	X	X
Tree Shaded Seating	X	X
Ramada		X
Interpretive Signage	X	X
Fitness Elements	X	X

### 2.3.3 West Trail Corridor

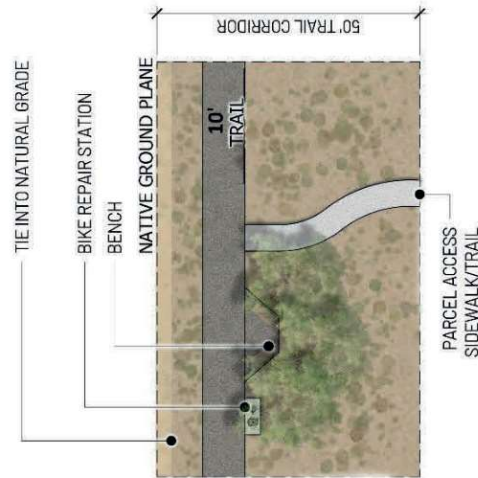
The West Trail Corridor follows the western and northwestern edge of SKYE SUMMIT where it winds along the inside of the border with the Red Rock Canyon National Conservation Area.

- A. Design of the trail and nodes along the West Trail Corridor take into consideration the proximity and potential impacts to the natural Mojave Desert within the Red Rock Canyon National Conservation Area. Refer to examples in **Exhibit 2.3.1: West Trail Node Examples**.
  1. Restrictions on plant material in this area can be found in **Section 8.2: Planting Zones**.
  2. Plant material along the West Trail Corridor may be non-irrigated revegetation.
- B. Include trail nodes approximately location graphically shown on **Exhibit 2.3.3: Trail & Park** and refer to **Section 2.3.2 Trail Node Examples** for more information.
- C. Parcels adjacent to trails shall have wrought iron fencing per **Exhibit 5.8: Fencing Adjacent to Open Areas**. **Fence shall be 7' high at the West Trail Corridor.**
- D. Refer to **Exhibits 2.3.3, 2.3.4, 2.3.5, 2.3.6: Street & Trail Sections** for all dimensions.
  1. The West Trail Corridor is comprised of a thirty (30) foot wide (minimum) trail and grading corridor.
  2. Includes a ten (10) foot wide trail.
- E. Grading for the trail shall tie back into the natural grade of the native ground plane.

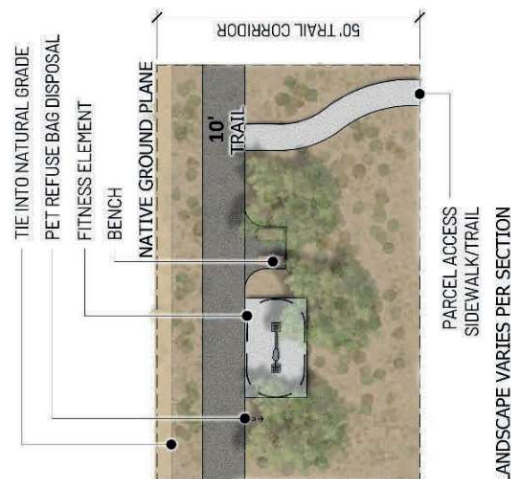
## Exhibit 2.3.2: West Trail Node Examples



LANDSCAPE VARIES PER SECTION  
EXAMPLE 3



LANDSCAPE VARIES PER SECTION  
EXAMPLE 2



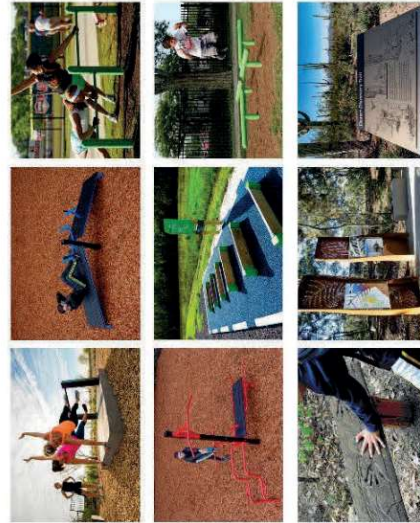
LANDSCAPE VARIES PER SECTION  
EXAMPLE 1

### WEST TRAIL NODES

TRAIL NODES TO OCCUR WHERE APPROXIMATE LOCATION IS GRAPHICALLY SHOWN ON **TRAILS MASTER PLAN**.

LIST OF POTENTIAL TRAIL PROGRAMMING SELECT AT LEAST TWO (2) AMENITIES TO INCLUDE:

- BENCH
- TRASH RECEPTACLE
- PET REFUSE BAG DISPOSAL
- TREE SHADED SEATING
- BIKE REPAIR
- INTERPRETIVE SIGNAGE
- FITNESS ELEMENTS





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# SKYE SUMMIT

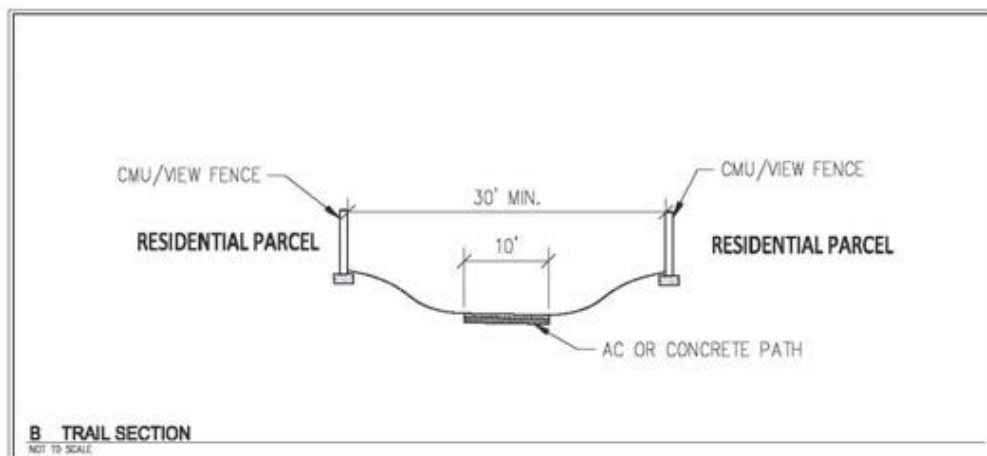
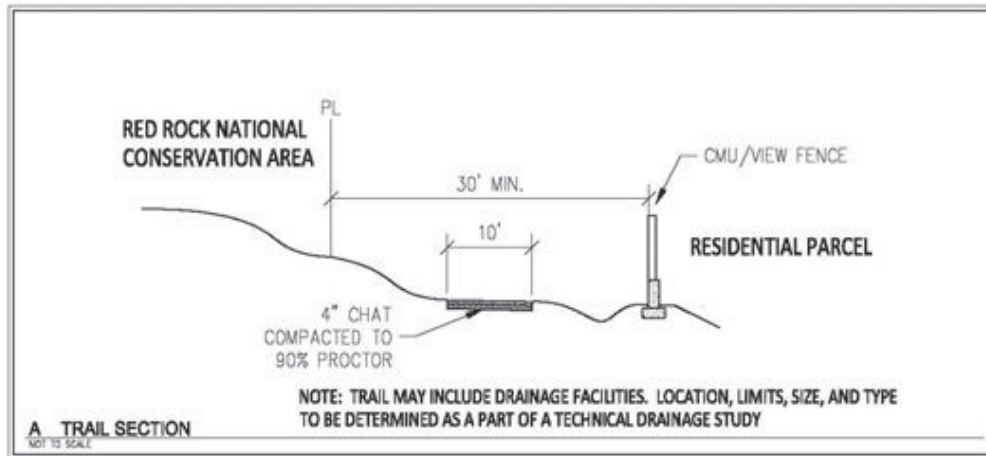
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**Exhibit 2.3.5: Trail Sections**

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**NOTES:**

1. ABOVE/BELOW GROUND UTILITIES ALLOWED IN LANDSCAPE AREA
2. SIDEWALK CAN MEANDER; DETACHED WHEREVER POSSIBLE

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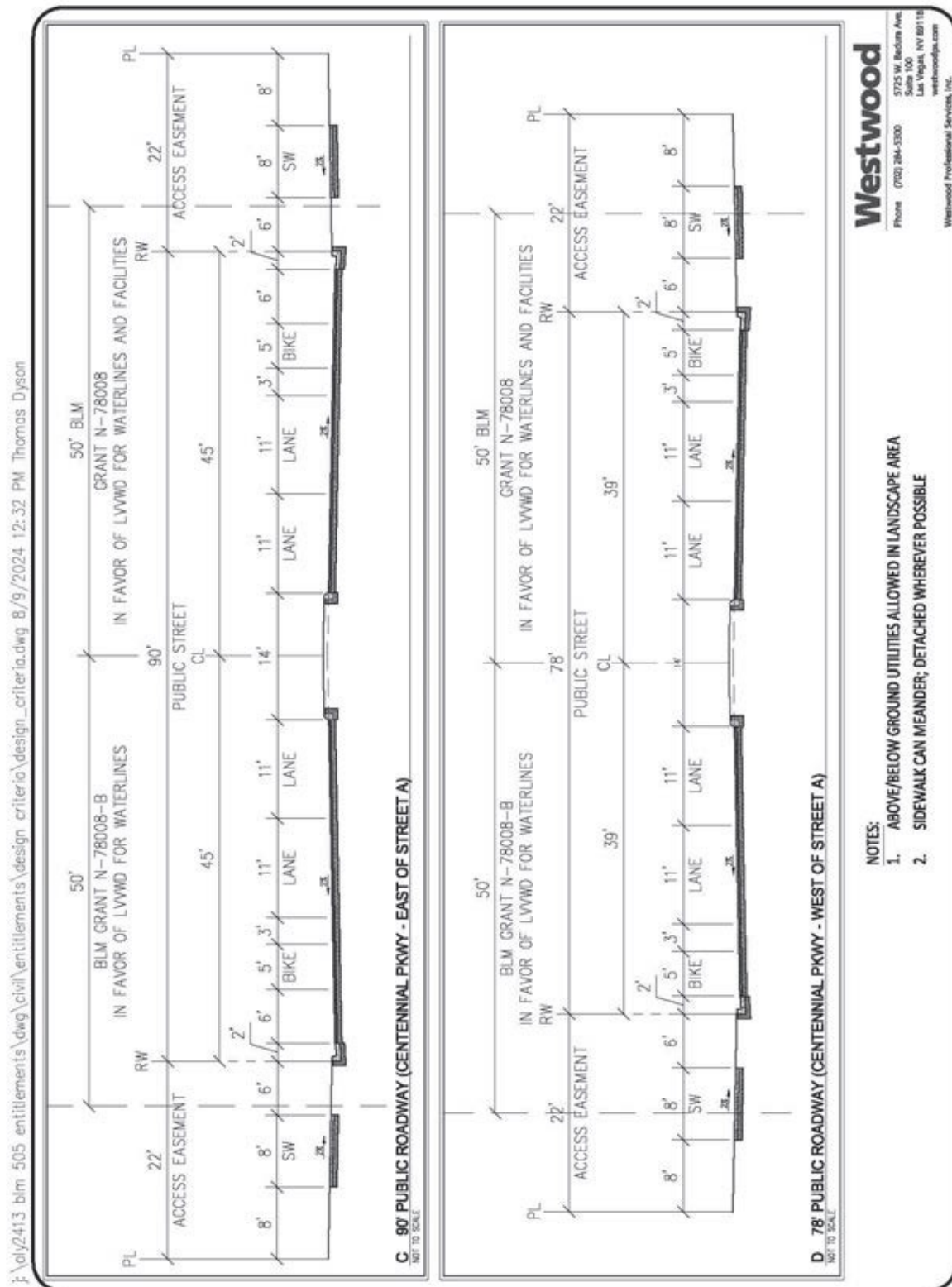
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**Exhibit 2.3.6: Street Sections**

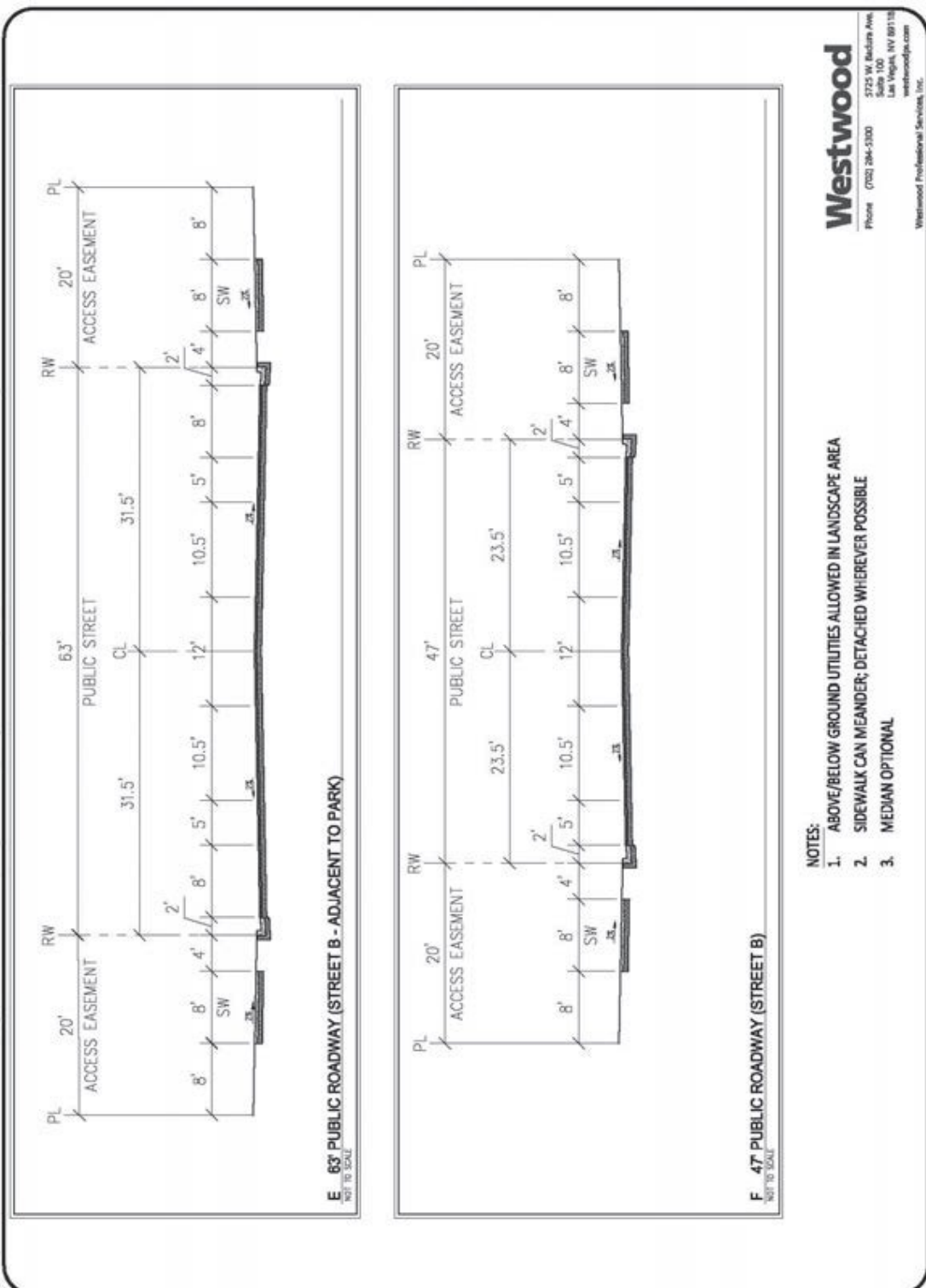
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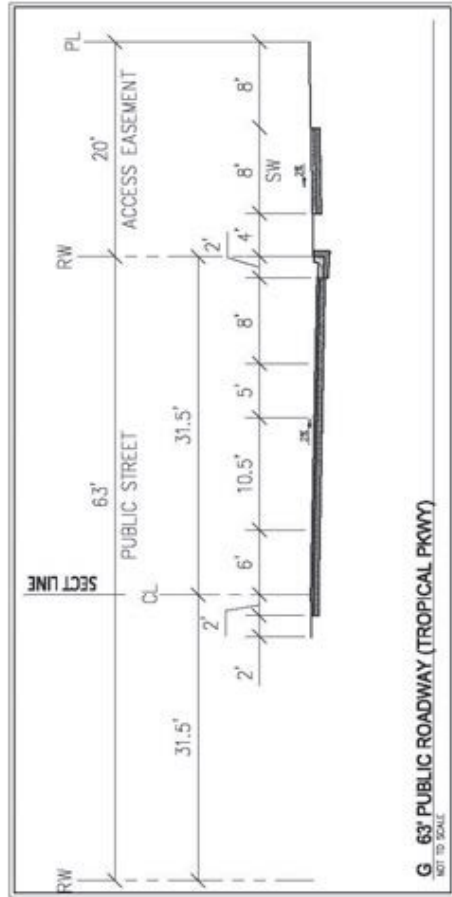
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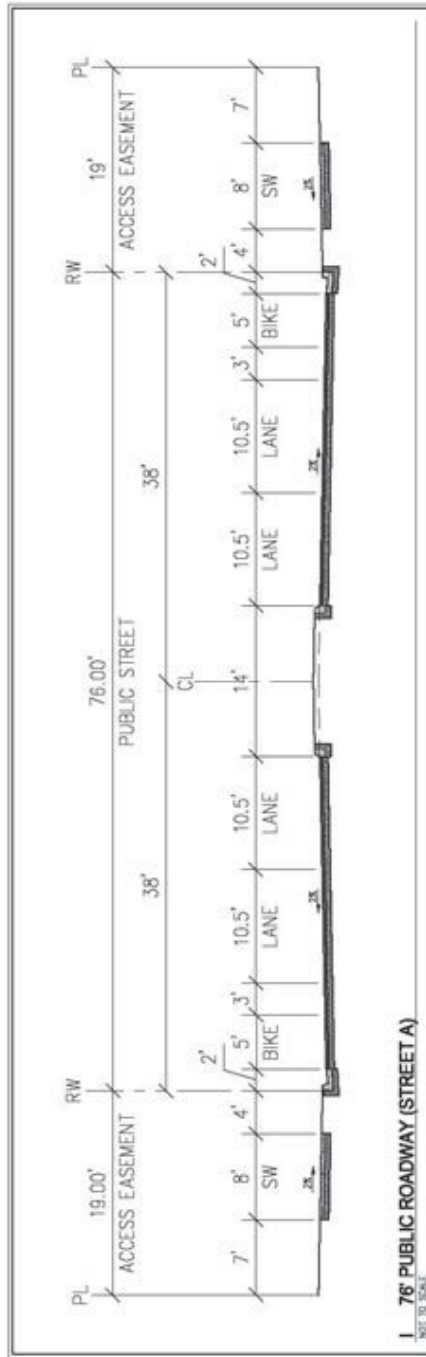
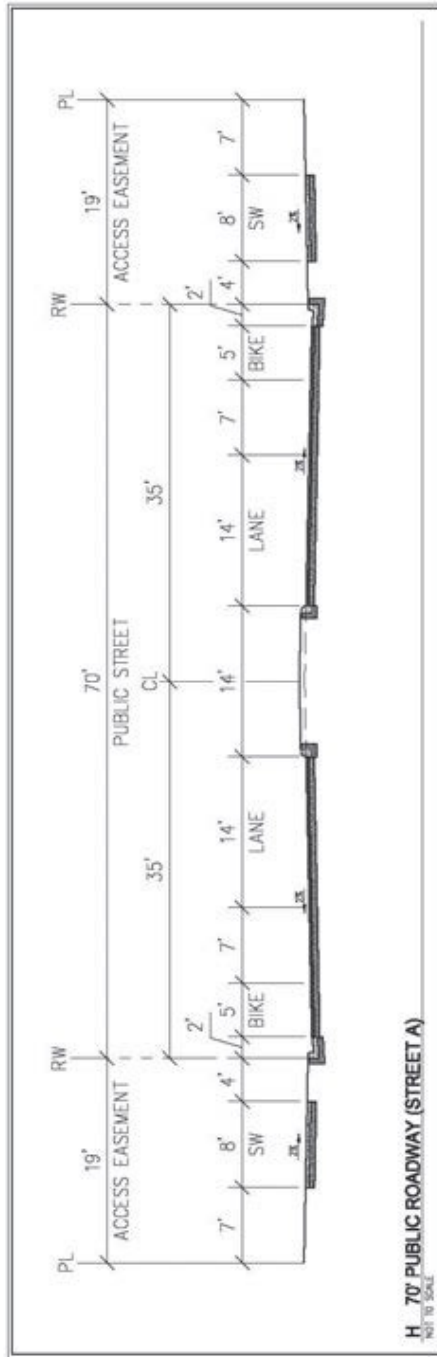
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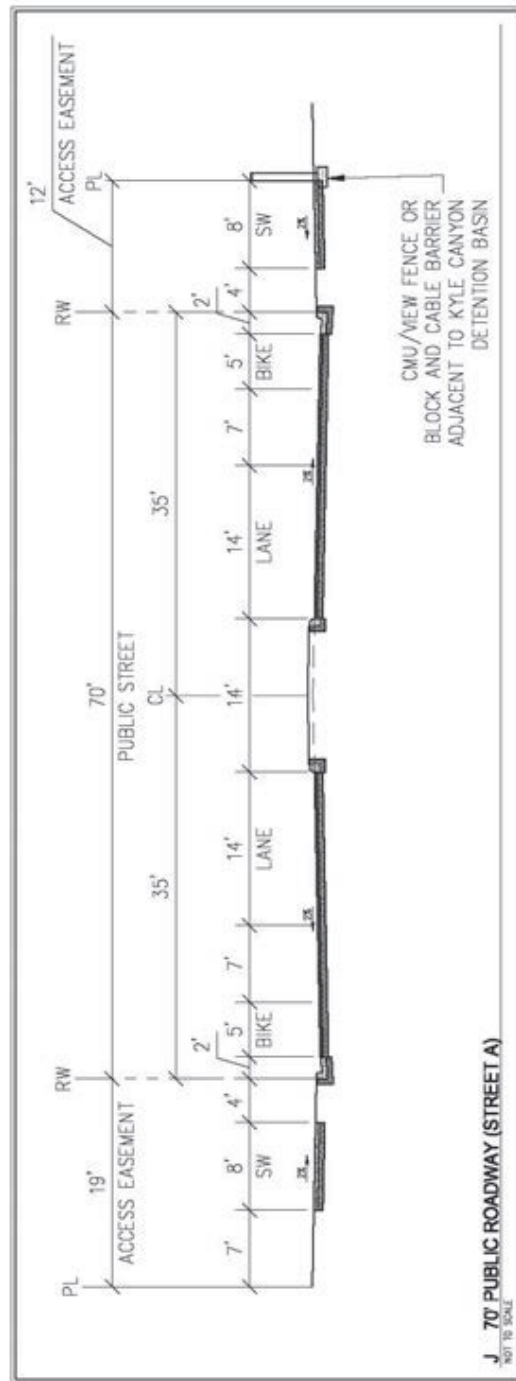
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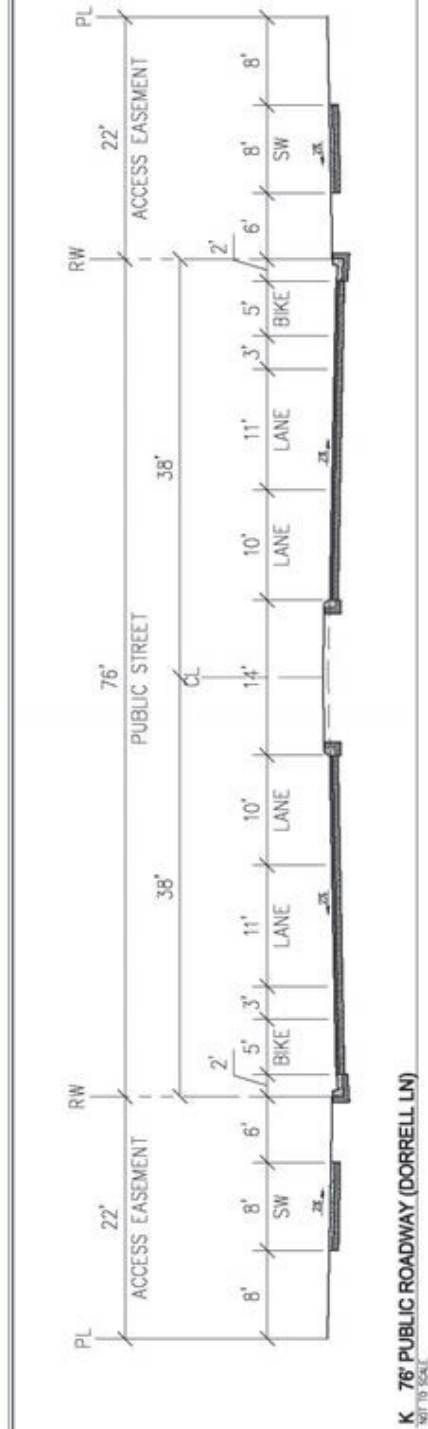
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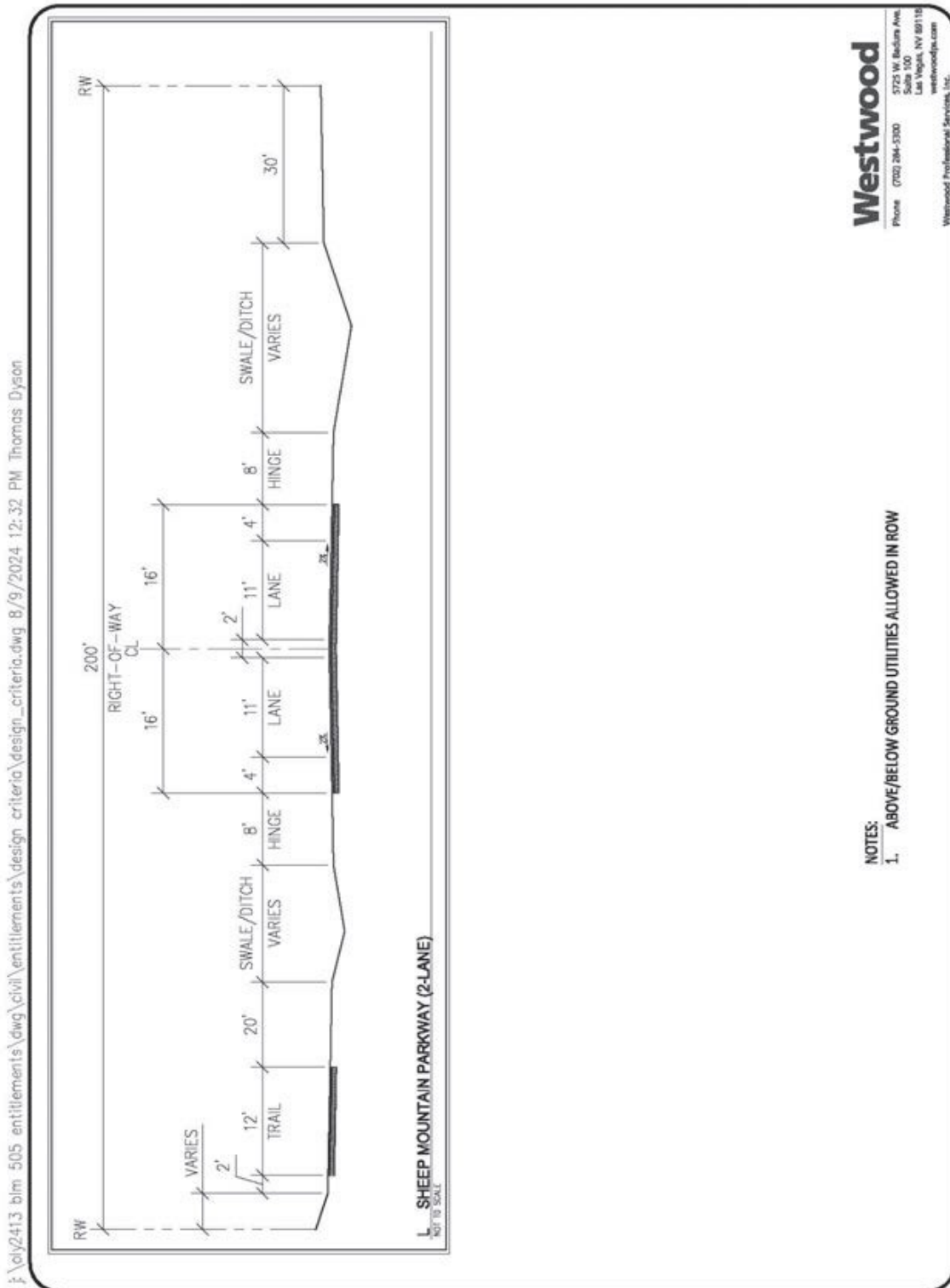
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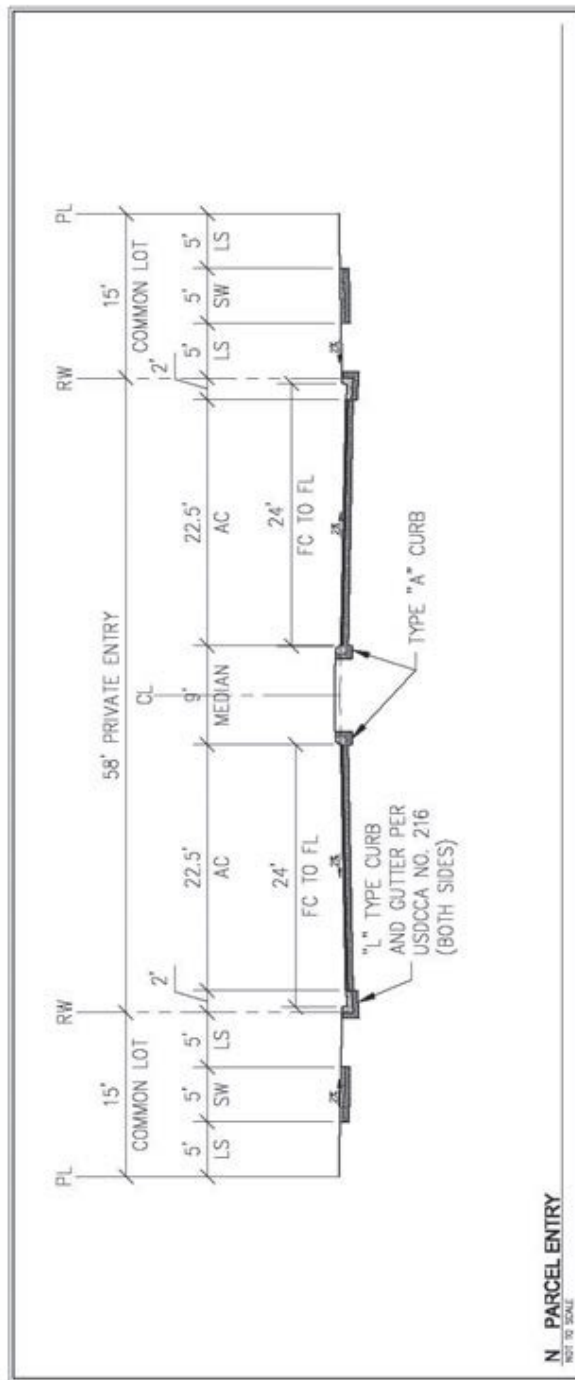
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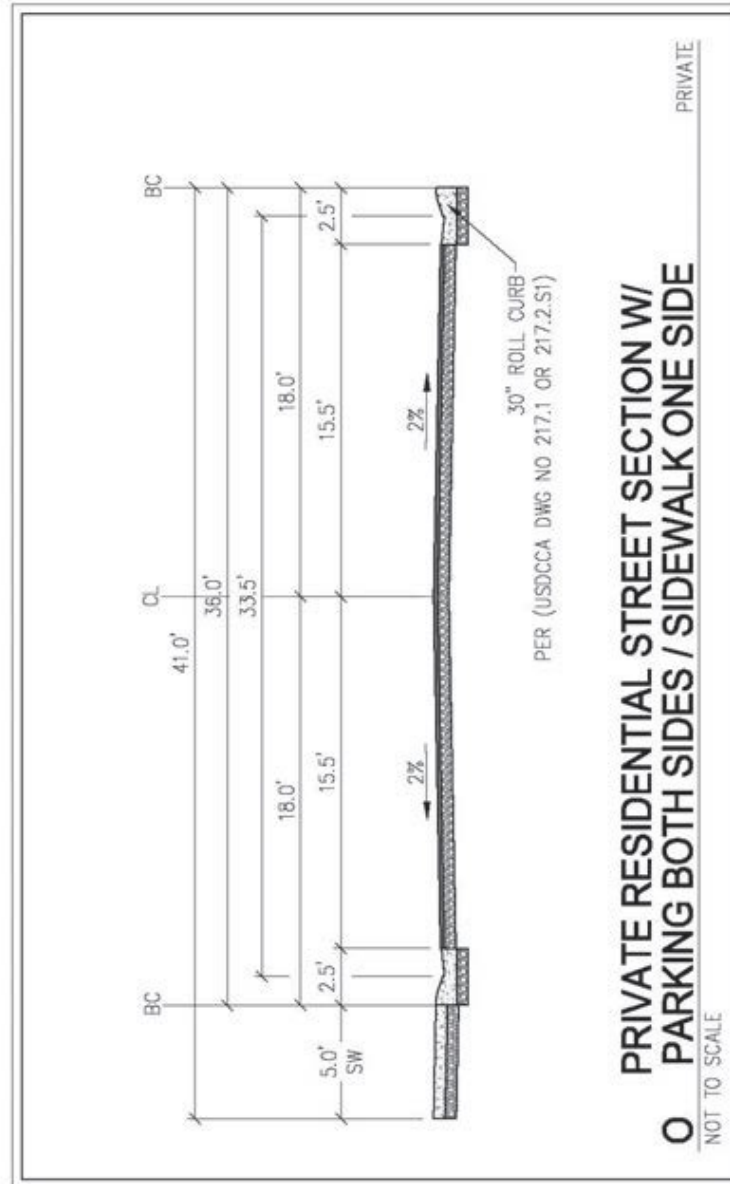
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## PRIVATE GATED STREET SECTIONS

NTS

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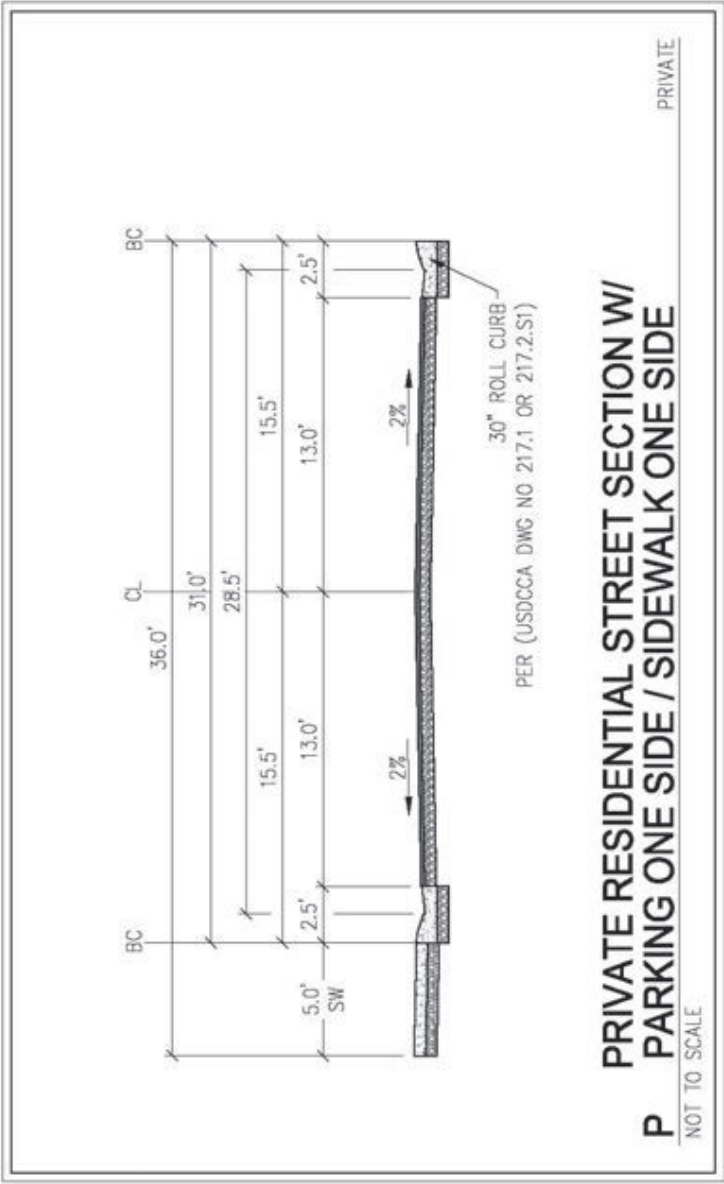
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PRIVATE RESIDENTIAL STREET SECTION W/  
PARKING ONE SIDE / SIDEWALK ONE SIDE

NOT TO SCALE

PRIVATE

# PRIVATE GATED STREET SECTIONS

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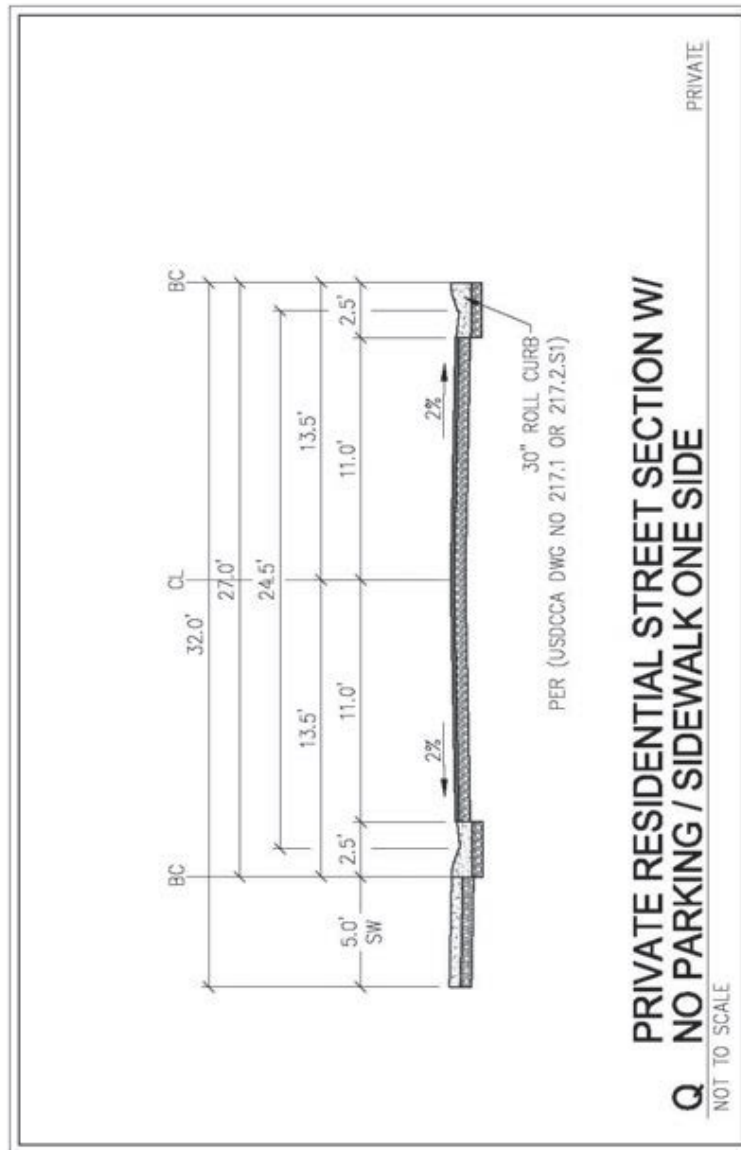
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Westwood Professional Services, Inc.

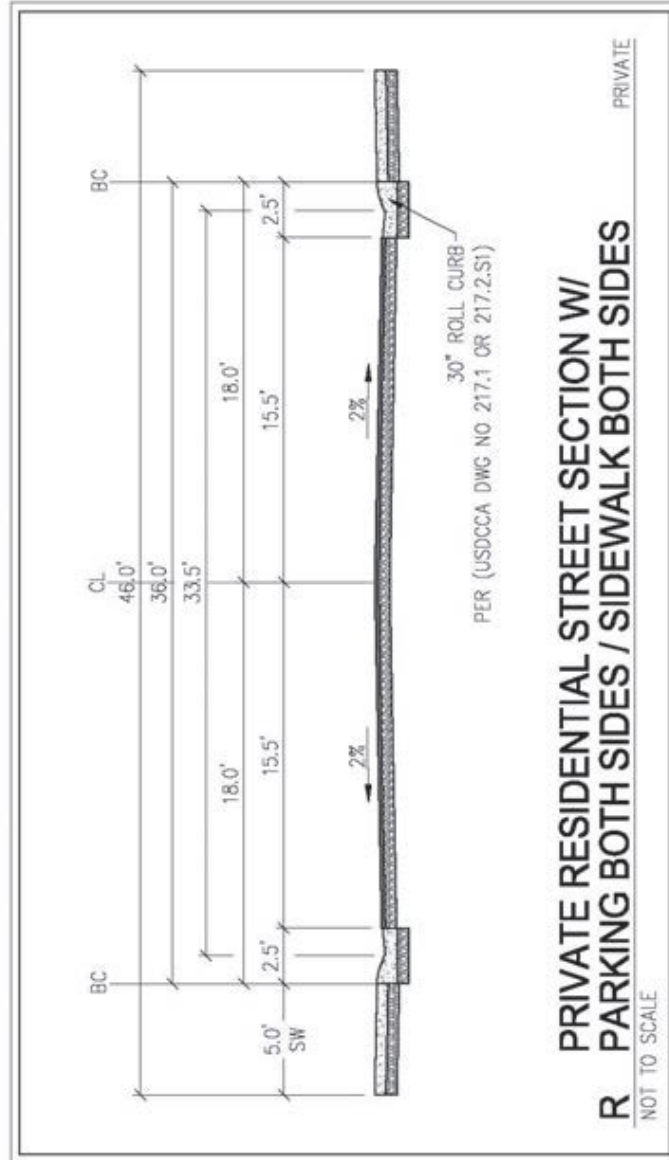
**SKYE SUMMIT**

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\*Subject to Public Works design approvals, typical all conditions

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# PRIVATE GATED STREET SECTIONS

NTS

**Westwood**

5725 W. Radburn Ave.  
Suite 100  
Las Vegas, NV 89118  
westwoodpa.com  
Westwood Professional Services, Inc.

**SKYE SUMMIT**

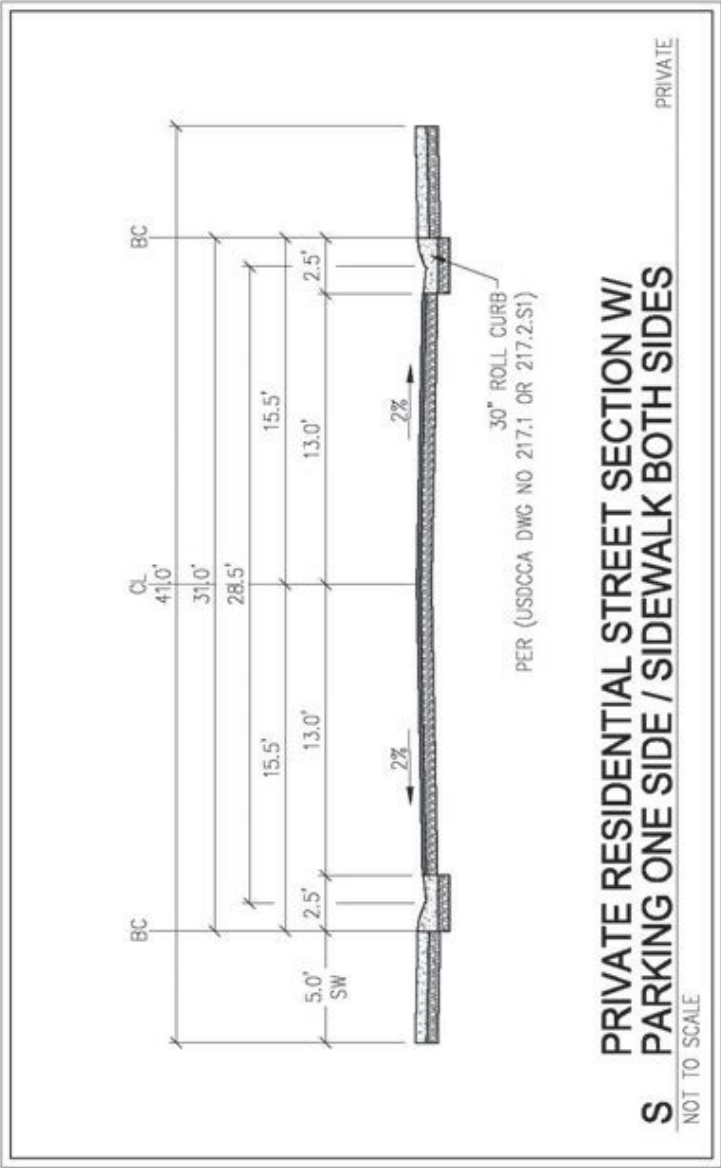
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PRIVATE GATED STREET SECTIONS

NTS

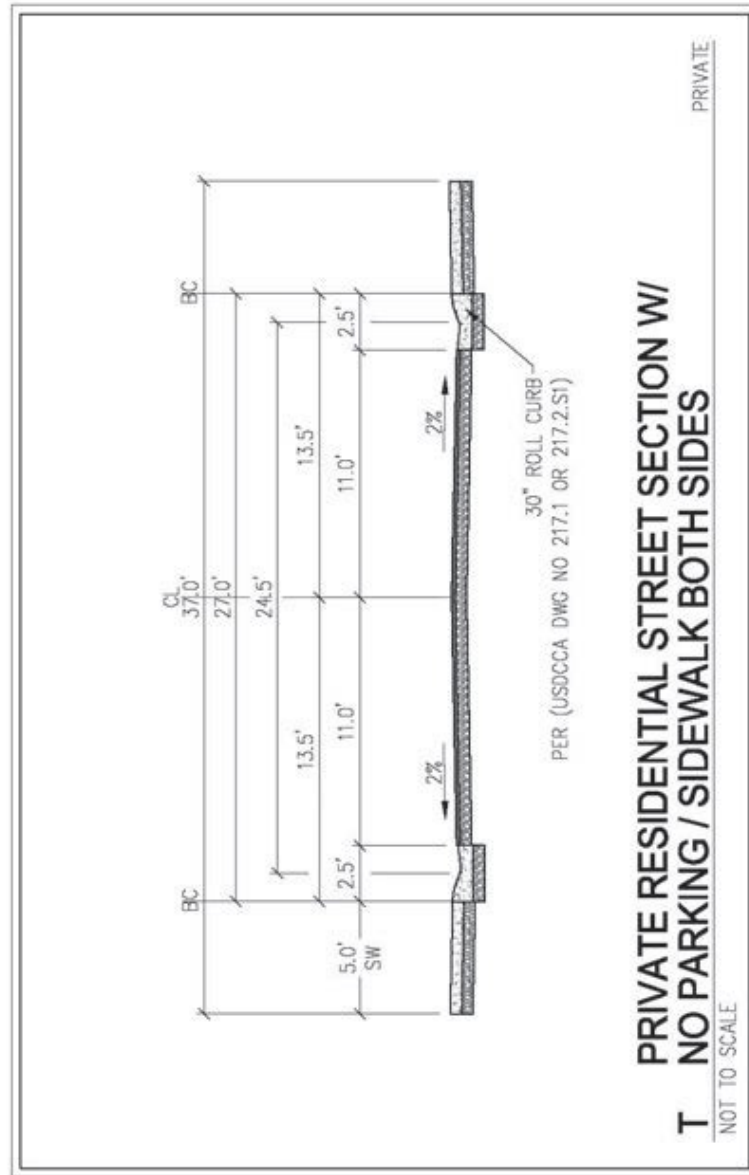
**Westwood**

5725 W. Badlam Ave.  
Suite 100  
Las Vegas, NV 89118  
westwoodsg.com

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**Westwood**

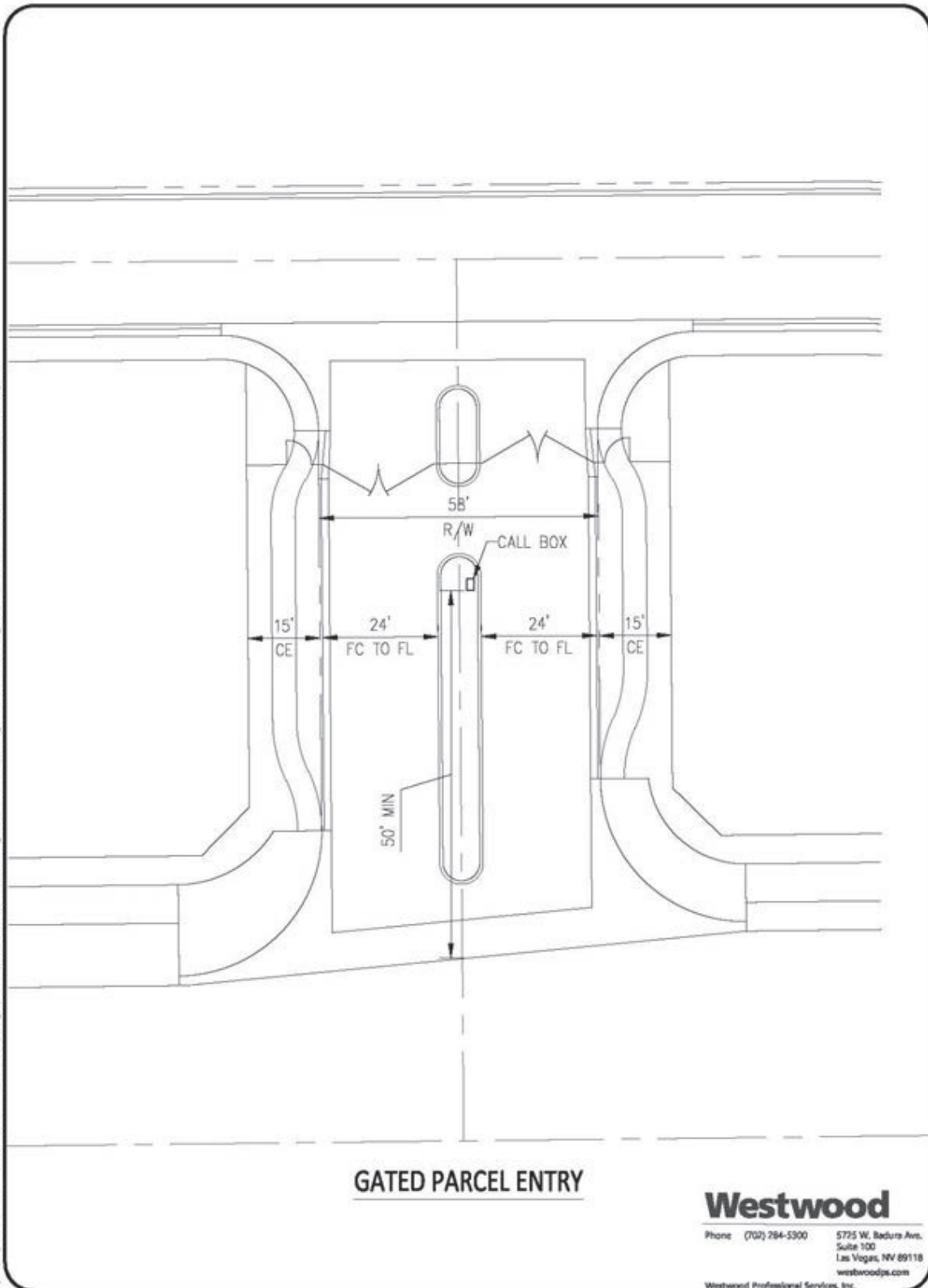
5725 W. Sahara Ave.  
Suite 100  
Las Vegas, NV 89118  
Phone (702) 284-3300  
westwoodpro.com  
Westwood Professional Services, Inc.

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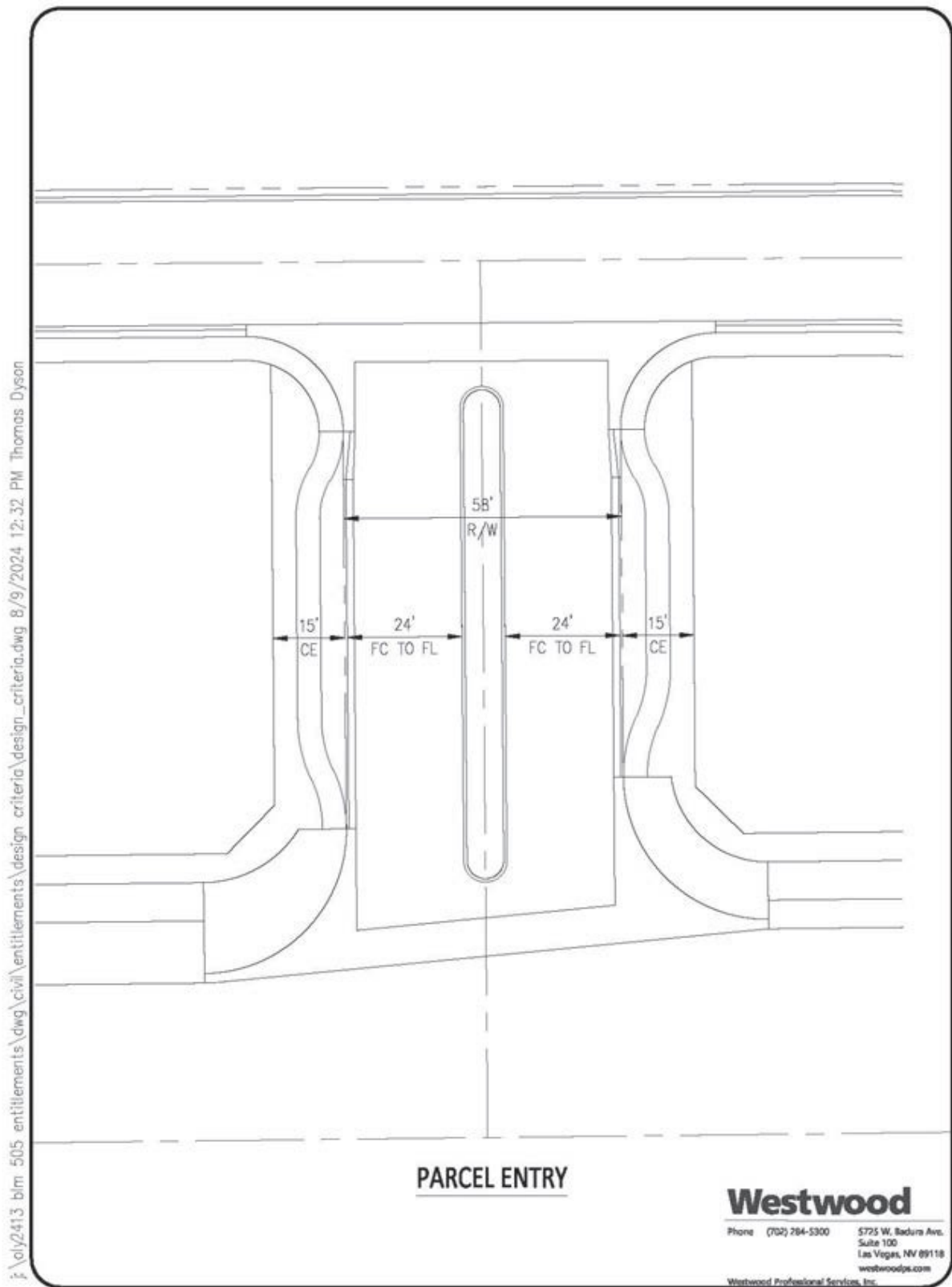
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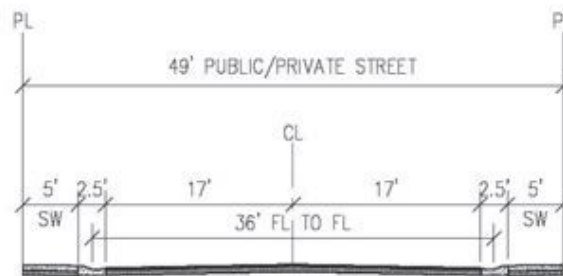
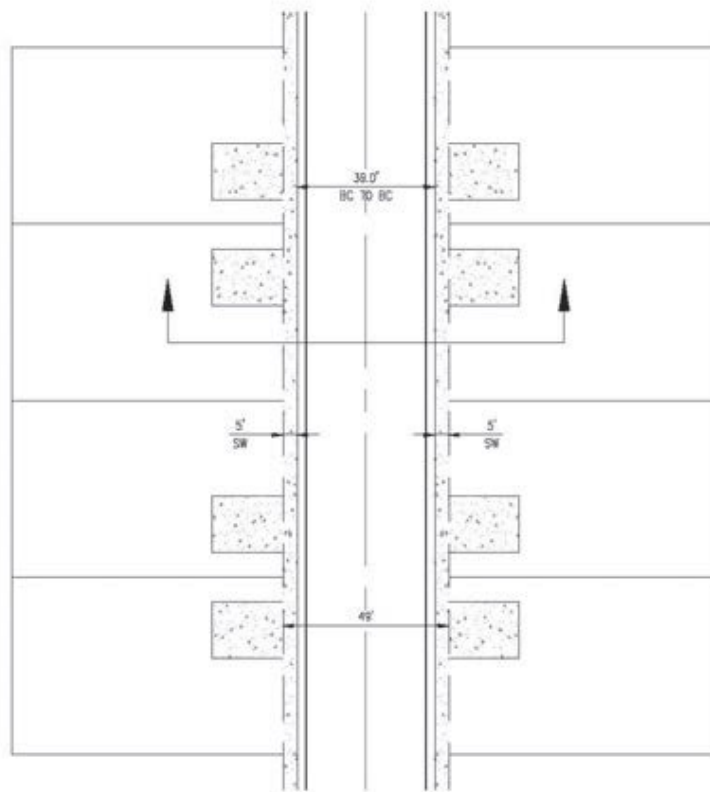
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30" WEDGE TYPE, "L" TYPE (PER USDCCA DWG NO. 216), 30" ROLL (PER USDCCA DWG NO. 217), OR 18" "L" TYPE (PER USDCCA DWG NO. 219) CURB AND GUTTER (BOTH SIDES)

**NOTE:**

1. PARKING ALLOWED ON BOTH SIDES OF STREET

**49' PUBLIC/PRIVATE STREET SECTION**

NTS

**Westwood**

Phone (702) 294-5300

5725 W. Sahara Ave.  
Suite 100  
Las Vegas, NV 89118  
westwoodps.com

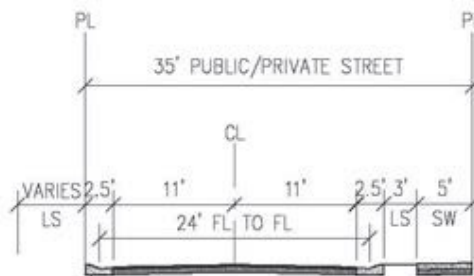
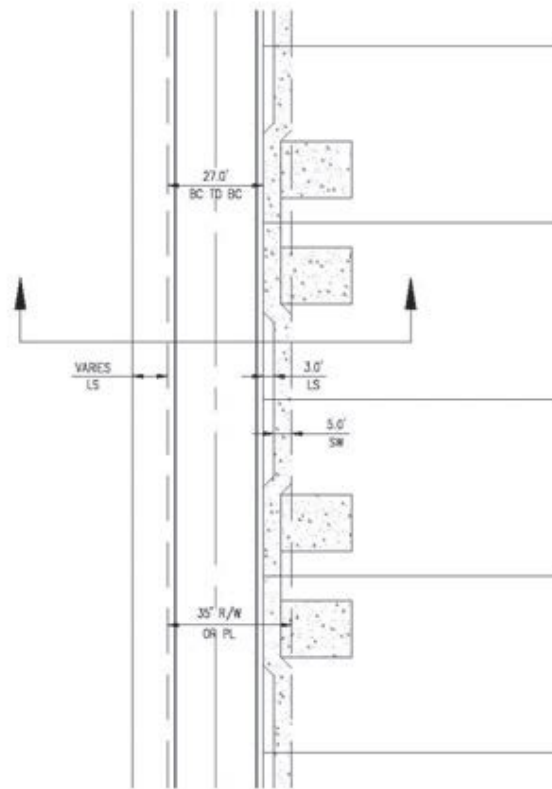
Westwood Professional Services, Inc.

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30" WEDGE TYPE, "L" TYPE (PER USDCCA DWG NO. 216), 30" ROLL (PER USDCCA DWG NO. 217), OR 18" "L" TYPE (PER USDCCA DWG NO. 219) CURB AND GUTTER (BOTH SIDES)

**NOTE:**

1. PARKING ALLOWED ON RESIDENTIAL SIDE OF STREET ONLY
2. HOUSES MUST BE SPRINKLED
3. MAY BE REQUIRED TO BE WIDENED TO ACCOMMODATE STORM DRAIN

**35' PRIVATE SINGLE-LOADED STREET SECTION**

NTS

**Westwood**

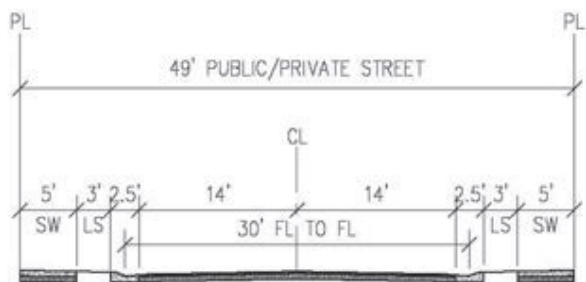
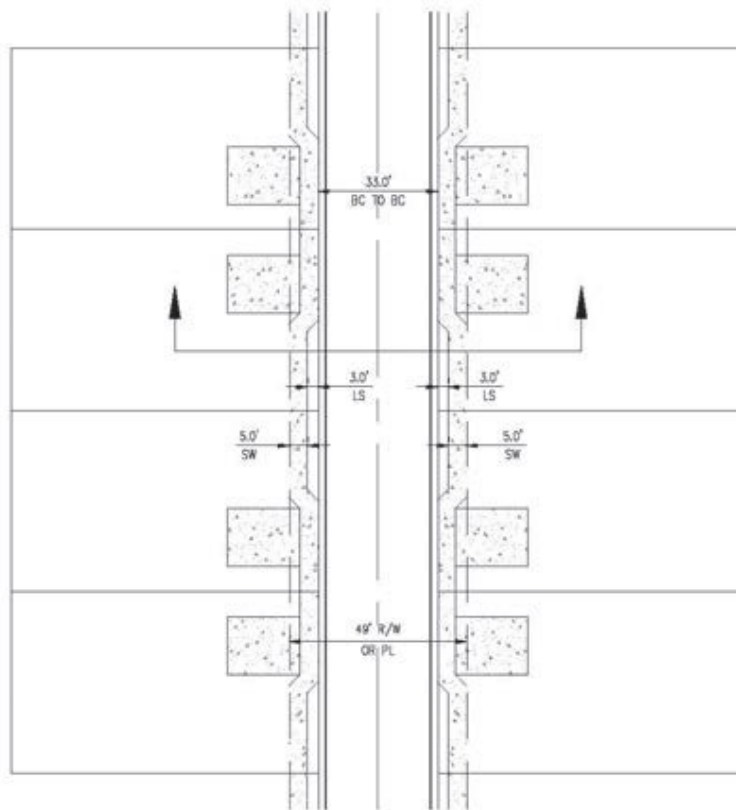
Phone (702) 264-5300 5725 W. Badura Ave.  
Suite 100  
Las Vegas, NV 89118  
westwoodps.com  
Westwood Professional Services, Inc.

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30" WEDGE TYPE, "L" TYPE (PER USDCCA DWG NO. 216), 30" ROLL (PER USDCCA DWG NO. 217), OR 18" "L" TYPE (PER USDCCA DWG NO. 219) CURB AND GUTTER (BOTH SIDES)

**NOTE:**

1. PARKING ALLOWED ON BOTH SIDES OF STREET
2. HOUSES MUST BE SPRINKLED

**49' PRIVATE STREET SECTION (ALT 1)**

NTS

**Westwood**

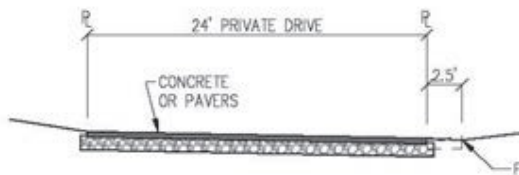
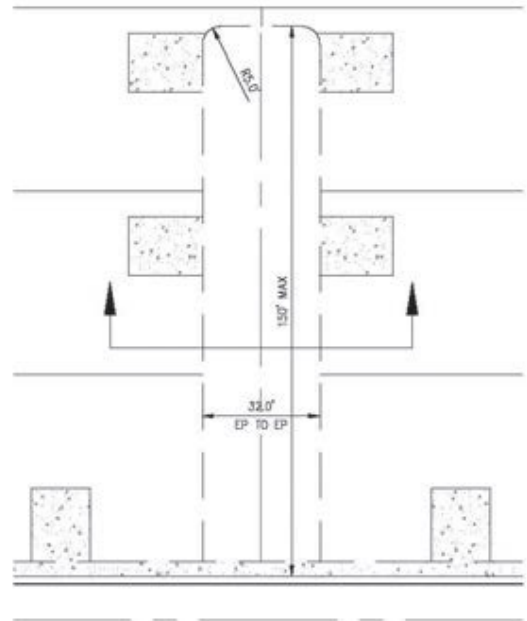
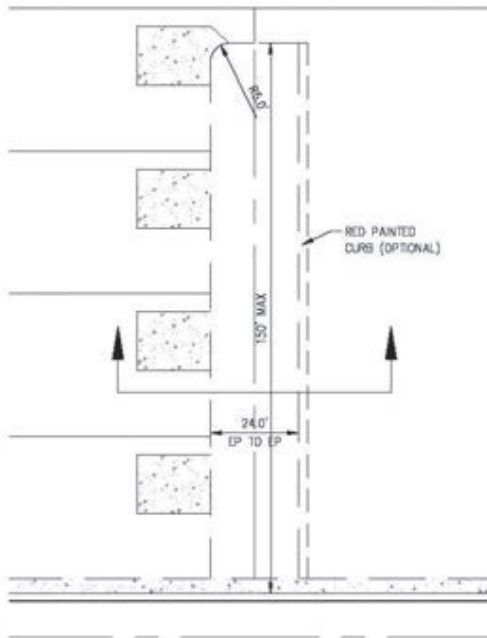
Phone (702) 294-5300 5725 W. Badura Ave.  
Suite 100  
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westwoodps.com  
Westwood Professional Services, Inc.

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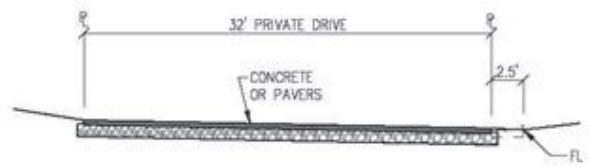
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**24' SHARED PRIVATE DRIVE DETAIL**

NTS

NOTE: NOTWITHSTANDING ANY OTHER LANGUAGE TO THE CONTRARY IN THE DESIGN GUIDELINES OR THE AGREEMENT. NO PARKING ALLOWED IN FIRE LANES LESS THAN 32 FEET IN WIDTH. FIRE LANE SHALL BE MARKED IN ACCORDANCE WITH ADOPTED FIRE CODE.



**32' SHARED PRIVATE DRIVE DETAIL**

NTS

NOTE: NOTWITHSTANDING ANY OTHER LANGUAGE TO THE CONTRARY IN THE DESIGN GUIDELINES OR THE AGREEMENT. PARKING ALLOWED ON ONE SIDE ONLY, IF PART OF THE REQUIRED FIRE DEPARTMENT ACCESS LANE

**NOTES:**

1. 150' MAXIMUM LENGTH FROM BACK OF CURB
2. MAXIMUM OF FOUR LOTS FRONTING PRIVATE DRIVE
3. ALLOWS PARKING ON ONE SIDE
4. OPTIONAL CURB AND GUTTER ONE SIDE
5. OPTIONAL PAN DRIVEWAY WITH INVERTED CROWN

**Westwood**

Phone (702) 284-5300 5725 W. Radura Ave.  
Suite 100  
Las Vegas, NV 89118  
westwoodps.com

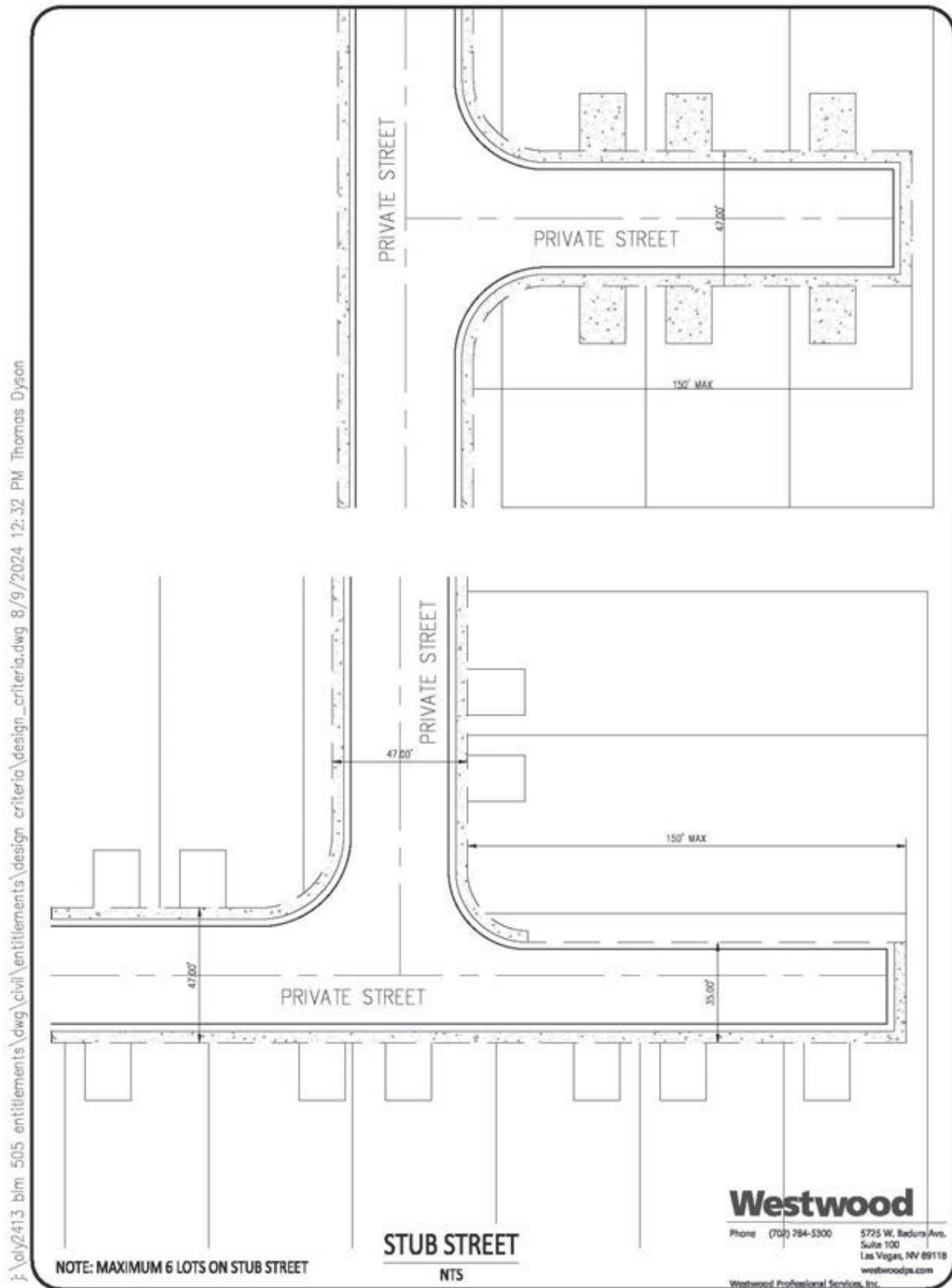
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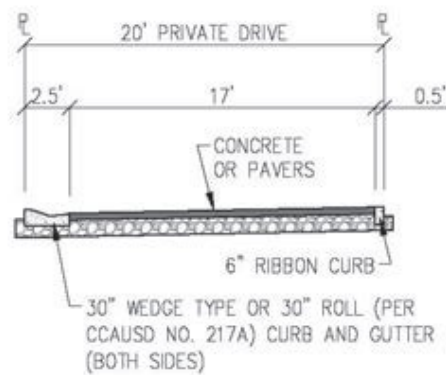
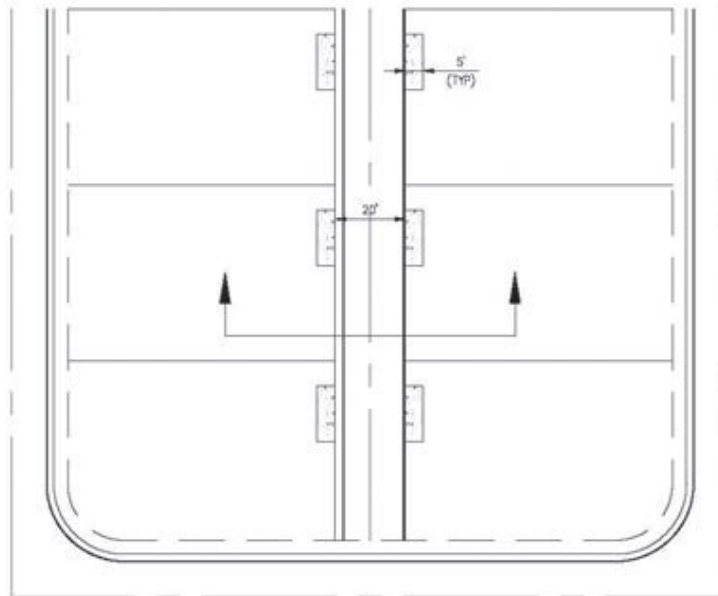


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NOTE: NOTWITHSTANDING ANY OTHER LANGUAGE TO THE CONTRARY IN THE DESIGN GUIDELINES OR THE AGREEMENT. NOT ALLOWED FOR REQUIRED FIRE APPARATUS ACCESS

### 20' PRIVATE ALLEY DRIVE DETAIL

NTS

**Westwood**

Phone (702) 284-5300

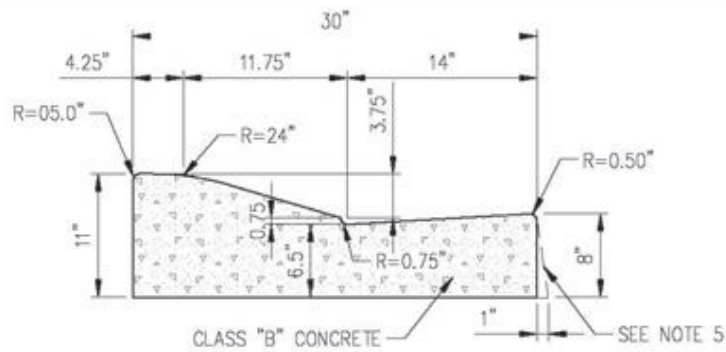
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Suite 100  
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westwoodps.com

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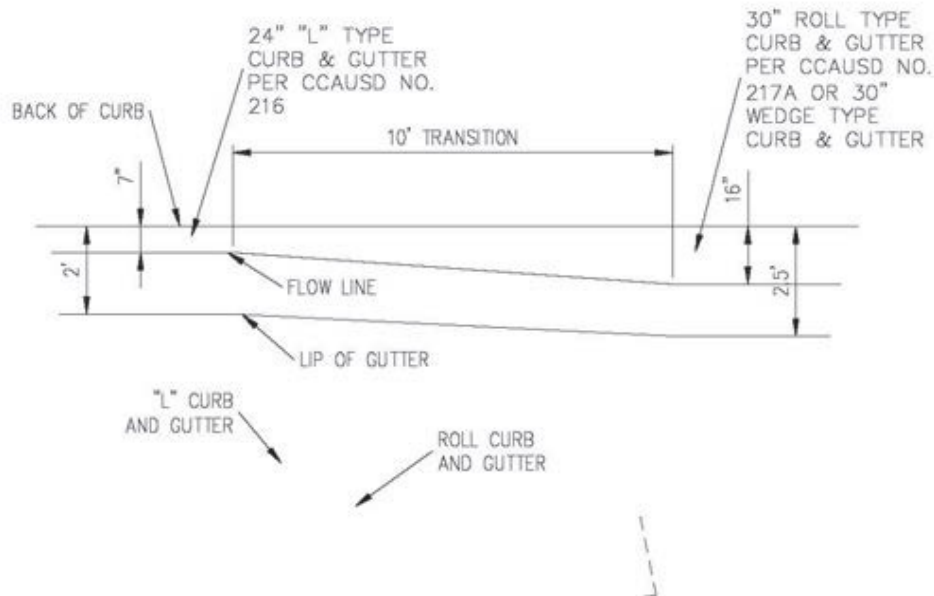
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**NOTES:**

1. MODIFIED CCAUSD NO. 217A
2. ALL CURB FLOW LINES SHALL BE WATER TESTED. ANY CURB THAT DOES NOT FLOW SHALL BE REMOVED AND REPLACED AS DIRECTED BY CLARK COUNTY AT THE SOLE EXPENSE OF THE CONTRACTOR.

**30" WEDGE TYPE CURB AND GUTTER**

NTS

**10' TRANSITION FROM "L" CURB TO ROLL CURB**

NTS

**Westwood**

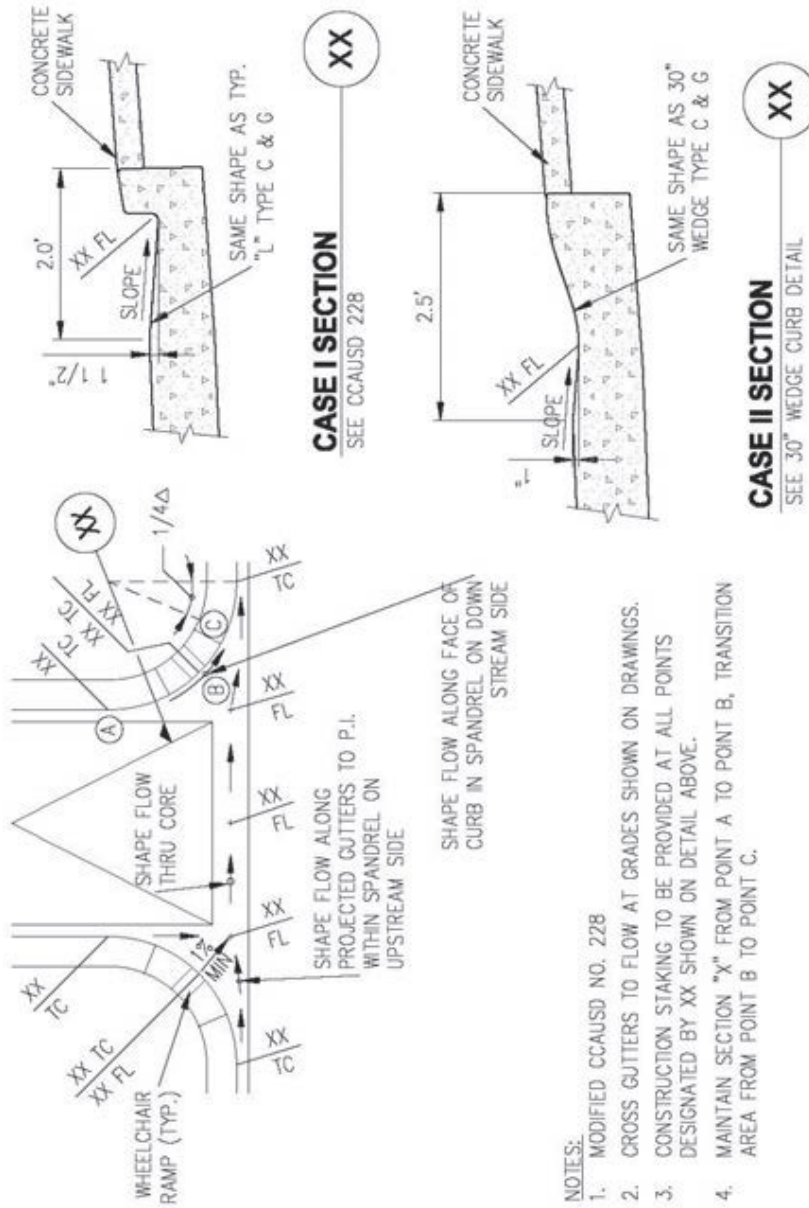
Phone (702) 294-5300

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## TYPICAL CROSS GUTTER W/ 30° ROLL TYPE CURB AND GUTTER DETAIL

NTS

**Westwood**

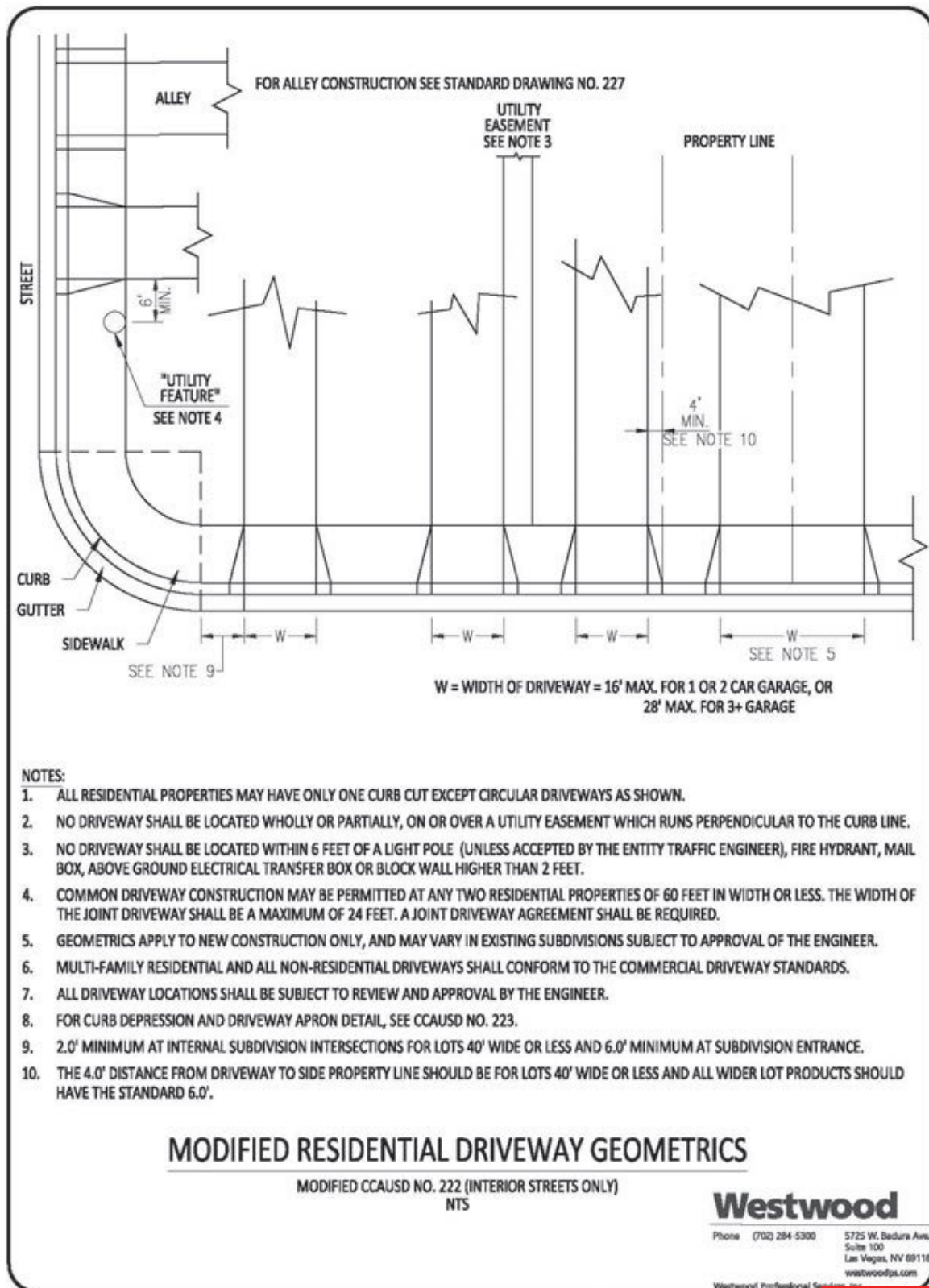
Phone (702) 284-3300  
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Las Vegas, NV 89118  
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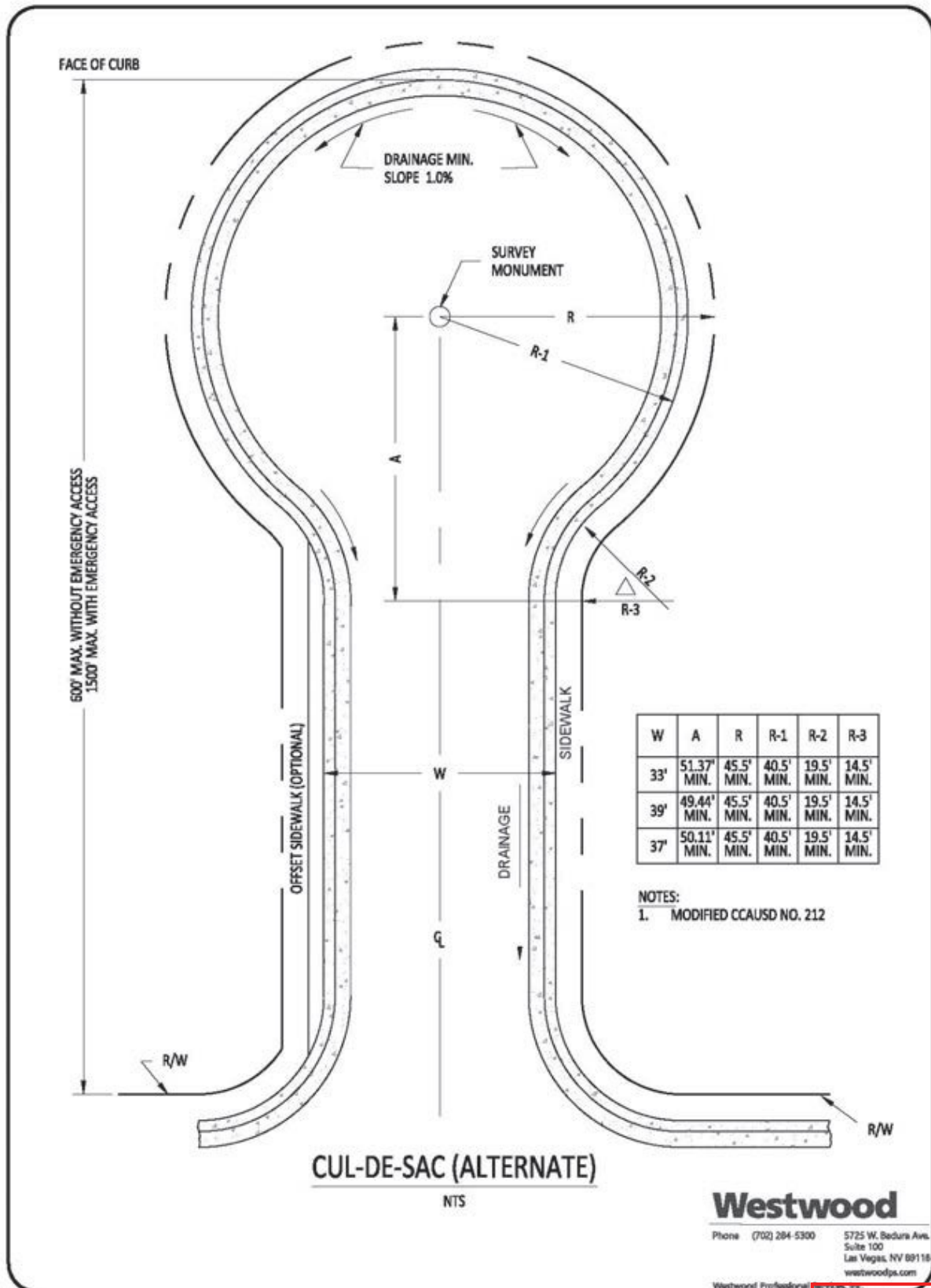
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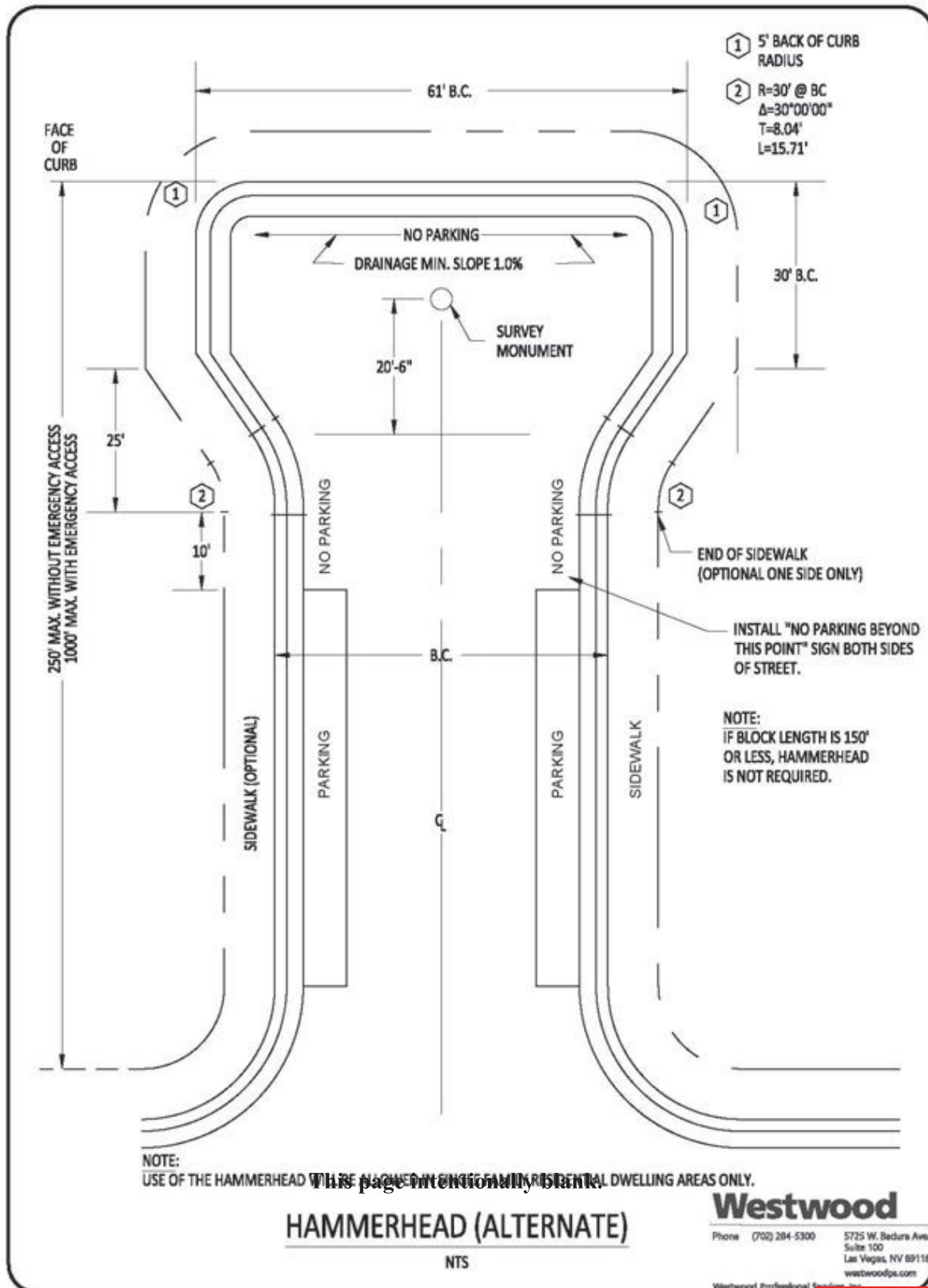
Development Standards and Design Guidelines  
August 29, 2024

**24-0432**  
09/24/2024

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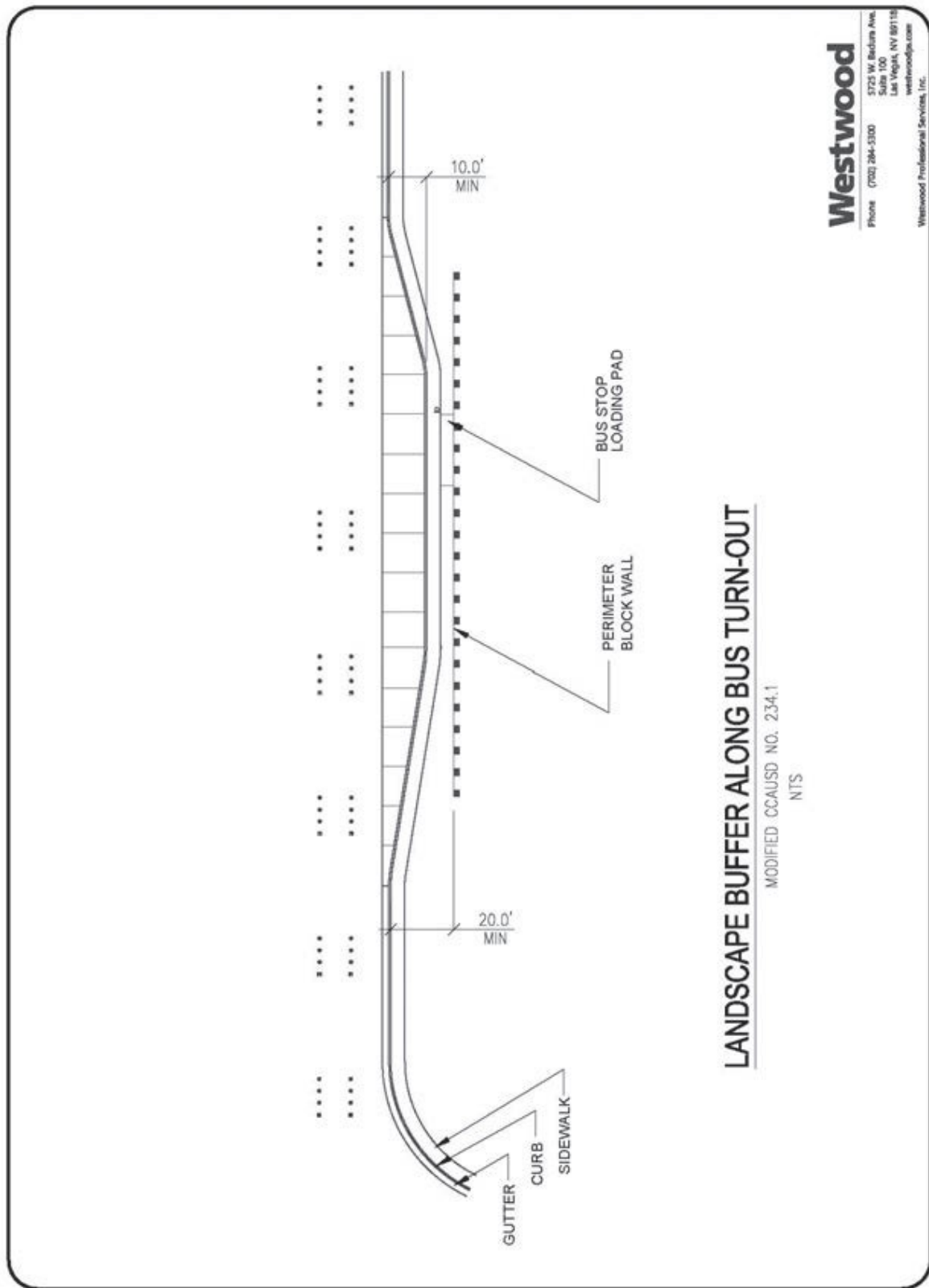
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### 3.1 COMMUNITY LIGHTING STANDARDS

#### 3.1.1 General Intent

To establish outdoor lighting standards and guidelines that balance safety and aesthetics while encouraging nighttime illumination that minimizes impacts on surrounding neighborhoods and the night sky. Lighting should be designed to minimize energy usage.

Exterior lighting standards are intended to create awareness and encourage responsible outdoor lighting. . These standards shall attempt to limit light pollution, promote energy conservation, reduce glare, and limit quantity of fixtures. The exterior lighting design shall encourage a balance between safety and aesthetics while minimizing negative impacts to the night sky and surrounding neighborhoods

A. The following are five Lighting Principles for Responsible Outdoor Lighting:

1. Useful – Use light only if it is needed
2. Targeted – Direct light so it falls only where it is needed
3. Low Level - Light should be no brighter than necessary
4. Controlled – Use light only when it is needed
5. Color - Use warmer color lights where possible

B. Additional Lighting principles shall include, but are not limited to:

1. Illuminate conflict areas of roadways and the public realm while achieving safety standards; and,
2. Serve as repetitive elements while reinforcing the image, desired style, and brand of Skye Summit
3. Preserve the night sky.

C. Lighting elements shall blend attractively into the environment by day and perform effectively at night to promote a safe, comfortable, and visually engaging condition.

D. Streetscape and parking lot lighting play a crucial role in enhancing the level of quality and character of the community.

1. Light pole standards shall be uniform in color and style.
2. All landscape lighting should be designed to minimize or avoid spillover to adjacent residential or private outdoor spaces.

#### 3.1.2 Standards

1. Exterior lighting is required for the purposes of public safety. All exterior lighting shall meet the following design standards:

A. Light sources should be concealed or shielded with full cut-off luminaires to minimize the potential for glare and unnecessary diffusion on adjacent property.



- B. Parking lots and other background spaces shall be illuminated as unobtrusively as possible while meeting the functional needs of safe circulation and protection of people and property.
- C. Foreground spaces, such as building entrances and outside seating areas, shall utilize local lighting that defines the space without glare.
  - i. All outdoor light not necessary for security purposes should be reduced, activated by motion sensor detectors, or turned off during non- operating business hours.
  - ii. Light fixtures used to illuminate flags, statues, or any other objects mounted on a pole, pedestal, or platform shall use a narrow cone beam of light that will not extend beyond the illuminated object.
  - iii. The style of light standards and fixtures shall be consistent with the style and character of architecture proposed on the site.

### 3.1.3 Park Lighting

- 3.1.3.1 Park amenities, such as basketball courts, playgrounds, splash pads, Paths and Trails or other amenities may be lighted at the discretion of the Master Developer.
- 3.1.3.2 Security lighting shall be provided throughout a park, especially when adjacent to buildings.
- 3.1.3.3 Consideration should be taken to ensure lighting, especially sports field lighting, is directed away from adjacent neighborhoods and are shielded from the night sky. Bollard lighting should be directed down as well to ensure lighting does not spill onto adjacent properties.

### 3.1.4 Path and Trail Lighting

- 3.1.4.1 Lighting may be provided for the following Paths and Trails:
  - i. West Trail Corridor; low level bollards
  - ii. Parcel Paseo;
  - iii. Lighting is not required for all other Paths and Trails.
- 3.1.4.2 Low level lighting should be used along West Trail Corridor or when lighting is provided.
- 3.1.4.3 Lighting should be located a suitable distance from the anticipated mature tree canopy to ensure lighting is not blocked.
- 3.1.4.4 Illumination calculations should be provided where lighting is proposed for Paths and Trails to ensure sufficient lighting but also to ensure lighting does not spill out onto adjacent residential development.
- 3.1.4.5 Any park or trail lighting that is to be maintained by the City of Las Vegas must be approved by TEFO prior to installation.

**3.1.5 Street Light Standard**

Private streets do not require street lighting. If street lights are installed, lights must meet the selected standard. If they don't match, a Minor Modification is required per the Development Agreement.

A light pole standard has been selected for use on arterial streets throughout SKYE SUMMIT. Please refer to **Exhibit 3.1.2**.

All public streets will meet Public Street Light Standards.

**3.1.6 Single Family Residences, Attached and Detached**

3.1.6.1 To limit light pollution and protect the natural environment of Red Rock National Conservation Area, no streetlights will be permitted on private streets.

3.1.6.2 Coach lighting at each residence is required; (2) fixtures minimum with a maximum of 2,700 Kelvin.

3.1.6.3 Motion sensor-controlled fixtures are exempt from curfew.

**3.1.7 MONUMENT LIGHTING**

Monument lighting, depending on the height of the structure, may be a combination of down-lighting, on-structure lighting, and / or ground level up-lighting.

**EXHIBIT 3.3.1**  
**PARK AND TRAIL LIGHTING EXAMPLE**



## EXHIBIT 3.1.2

### BOLLARD LIGHTING



#### Centrecon Series Round Louvered Bollard



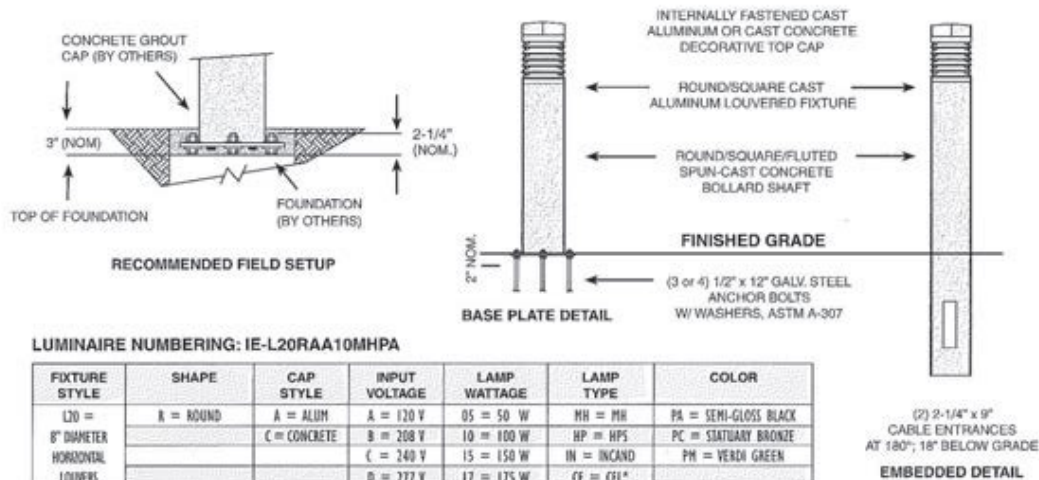
#### BASE PLATE STYLE - INFORMATION

CATALOG NUMBER	HEIGHT (Above Grade)*	BASE O.D.	TOP CAP O.D.	ANCHOR BOLT	BOLT CIRCLE DIA.	BASE PLATE	ULTIMATE GL. MOMENT (FT. LBS.)	WEIGHT (LBS.)
BBR1442LC14	42"	14"	14"	(6) 1/2" x 12"	16"	14" SQ	8,000	330
BBR1442LC12	42"	14"	12"	(4) 1/2" x 12"	16"	14" SQ	8,000	310
BBR1242LC12	42"	12"	12"	(4) 1/2" x 12"	14"	12" SQ	7,000	240
BBR1042LC10	42"	10"	10"	(4) 1/2" x 12"	12"	10" SQ	6,000	200
BBR1042LC8	42"	10"	8"	(4) 1/2" x 12"	12"	10" SQ	6,000	190
BBR0842LC8	42"	8"	8"	(3) 1/2" x 12"	10"	11-1/2" DIA.	5,000	140
BBR0834LC8	36"	8"	8"	(3) 1/2" x 12"	10"	11-1/2" DIA.	5,000	120

#### EMBEDDED STYLE - INFORMATION

CATALOG NUMBER	HEIGHT (Above Grade)*	BASE O.D.	TOP CAP O.D.	EMBEDDED DEPTH	OVERALL LENGTH	ULTIMATE GL. MOMENT (FT. LBS.)	WEIGHT (LBS.)
BER1442LC14	42"	14"	14"	30"	6' - 0"	8,000	520
BER1442LC12	42"	14"	12"	30"	6' - 0"	8,000	500
BER1242LC12	42"	12"	12"	30"	6' - 0"	7,000	400
BER1042LC10	42"	10"	10"	30"	6' - 0"	6,000	350
BER1042LC8	42"	10"	8"	30"	6' - 0"	6,000	340
BER0842LC8	42"	8"	8"	30"	6' - 0"	5,000	220
BER0834LC8	36"	8"	8"	30"	5' - 6"	5,000	200

\* Special heights and non-louvered bollards are available. Please contact our Customer Service Department regarding your requirements.



#### LUMINAIRE NUMBERING: IE-L20RAA10MHPA

FIXTURE STYLE	SHAPE	CAP STYLE	INPUT VOLTAGE	LAMP WATTAGE	LAMP TYPE	COLOR
L20 =	R = ROUND	A = ALUM	A = 120 V	05 = 50 W	MH = MH	PA = SEMI-GLOSS BLACK
8" DIAMETER HORIZONTAL LOUVERS		C = CONCRETE	B = 208 V	10 = 100 W	HP = HPS	PC = STATUARY BRONZE
			C = 240 V	15 = 150 W	IN = INCAND	PM = VERDI GREEN
			D = 277 V	17 = 175 W	CF = CFL*	

(2) 2-1/4\"/>

#### BOLLARD NUMBERING: IE-BBR-0842LA (113A)

BOLLARD	ANCHORAGE	SHAPE	DIAMETER DIMENSIONS (CM)	HEIGHT ABOVE GRADE (IN)*	FIXTURE STYLE	EVERETT/ANNISTON STANDARD CONCRETE COLOR MIX
B	B = BASEPLATE	R = ROUND	08 = 8"	42 = 42"	LC = LOUVER/CONCRETE CAP	ic 113
E	E = EMBEDDED			36 = 36"	LA = LOUVER/ALUMINUM CAP	

#### Notes

**SPECIFICATIONS**  
Use Centrecon Specifications.

**COLORS & FINISHES**  
See Color Selection Guide.

**ANTI-GRAFFITI & SEALER**  
Optional Coatings available for added protection.

**OPTION**  
House Side Shield

Manufacturer reserves the right to alter the product design without prior notice. Consult Ameron or authorized representative for additional information.

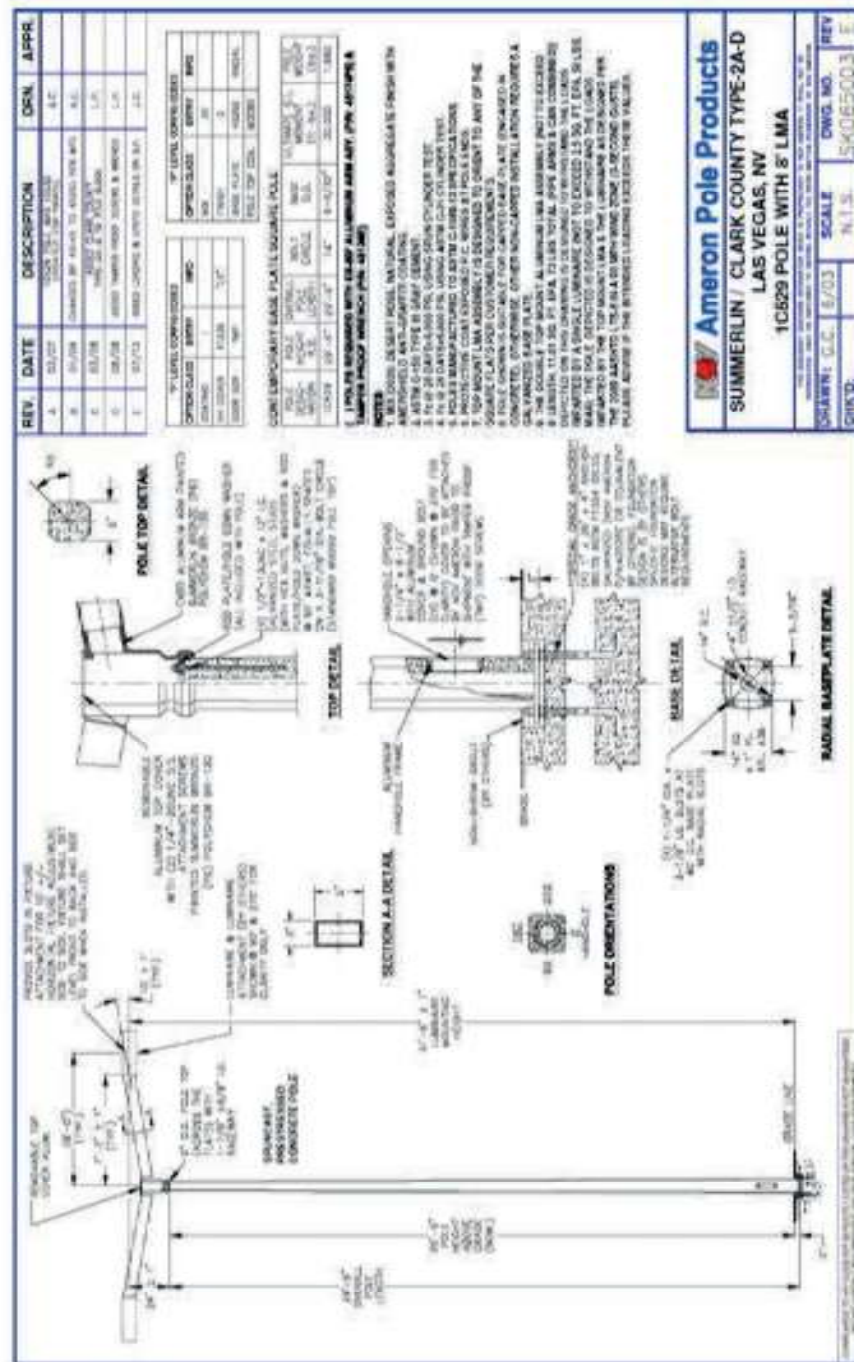
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### EXHIBIT 3.1.3 STREET LIGHTING



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*\*Subject to Public Works design approvals, typical all conditions.*

## AREA & ROADWAY LIGHTING



### Luminaire

Heavy cast low copper aluminum assembly (A356 alloy, <0.2% copper). Housing attaches to pole via a one piece, extruded aluminum arm with centering guides for internal draw bolts. Housing/pole junction is gasketed. All exposed hardware is stainless steel. Internal protected hardware is electro-zinc plated.

### PLED® Optics

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. In asymmetric distributions, a micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded optical acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard and specialized street, site, and area distributions. All distributions are Zero Uplight (U0). Full-Cutoff dark sky friendly. Panels are field replaceable and field rotatable in 90° increments.

### LED Emitters

High Power White LED's are driven between 350mA and 1050mA for a maximum output of 3 Watts nominal each. LED's are available in standard Neutral White (4000K), Cool White (5000K), or Warm White (2700K & 3000K). All Standard LED's have a minimum of 70 CRI. Consult Factory for other LED options. Lumen Maintenance of L94 at 60,000 hours (TM-21 calculated at 6x Test Time).

**True Amber LED's** TRA-True Amber LED's emit light in the amber spectral bandwidth centered on 585-590nm. True Amber has negligible blue light and is suitable for wildlife.

### LED Driver

Constant current electronic with a power factor of >0.90, THD less than 10% and a minimum operating temperature of -40°F/-40°C. Driver(s) is/are UL and cUL recognized. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. 0-10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field installation.

### Finish

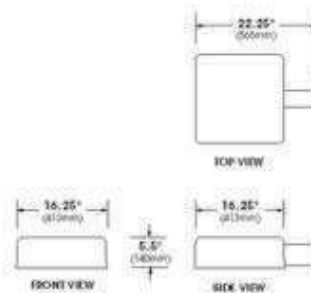
Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.

PROJECT NAME: \_\_\_\_\_

PROJECT TYPE: \_\_\_\_\_



LUM PLED



2022301

U.S. Pole Company Inc. 650 West Avenue D, Palmade, CA 93261  
An Employee Owned Company Phone (561) 253-2000 www.uspole.com



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## 4.1 BUILDER PARCEL STANDARDS

### 4.1.1 SKYE SUMMIT Market Segment Definitions

- Entry Level / Move-Up =  $\pm 2,000$  s- 4, 000 sq. ft lots
- 2<sup>nd</sup> Move-Up =  $\pm 5,500$  sq. ft lots
- Estates =  $\pm 6,000$  sq. ft lots

All market segment definitions by parcel may be defined by the developer, not by lot size alone.

### 4.1.2 PARCEL ENTRIES

The location of parcel entries into each parcel will be identified by the Master Declarant at the time of the purchase and sale agreement and in conformance with the approved traffic analysis. It is the responsibility of the builder to design a subdivision plan that incorporates these points of access. Other points of access that do not impede the overall efficiency of community streets may be possible but require specific approval from the Master Declarant and the City of Las Vegas. In some cases, parcel entries or interconnections will be coordinated with an adjacent parcel.

The arrival experience into each neighborhood shall reinforce the overall community theme of SKYE SUMMIT. Architectural and landscape elements found throughout the community shall be incorporated into the neighborhood entry experience to provide a seamless transition between the overall community and individual neighborhoods.

Please refer to **Section 2** for design direction for primary parcel entries. **Exhibits 2.3.6: Street Sections** provide design standards for a gated entry. These exhibits should be considered the design standard and theme. The builders shall follow these standards.

Secondary / Community Arterial Entries and Tertiary / Interior Subdivision Residential Entries have been designed to complement the Primary / Community Entries. Further articulation may be found in **Section: Monument and Wall Design Standards**.

### 4.1.3 STREET LAYOUT

A Preliminary Concept Site Plan must be reviewed and approved by the ARC prior to preparation of tentative maps, to ensure compliance with the design intent of the BUILDER PARCEL STANDARDS, including street layout.

The design of neighborhood streets should provide the opportunity to create a diverse and interesting street scene. The following standards apply:

- Straight streets are permitted primarily in Entry level neighborhoods; street design shall encourage connectivity within the subdivision and the perimeter areas. Site specific design considerations affecting street layout shall be reviewed between the Master Declarant and Builder during the Preliminary Concept Site Plan Review discussed above.

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- Move-Up neighborhoods may feature a blend of straight streets and curvilinear streets, or other traffic calming measures, subject to the above criteria.
- The layout of neighborhood streets should discourage excessive speed and through traffic, enhancing pedestrian safety.
- Streets that are generally oriented in an east / west direction are preferred, providing a desirable north/south orientation for residences.

#### 4.1.4 PEDESTRIAN ACCESS

On parcels that are adjacent to a planned roadway or open space, pedestrian access must be provided along each parcel edge having such frontage. However, Applicants may petition the ARC for waivers to this requirement. The Developer encourages the proper locations for crossings that dissuade "jay-walking" and facilitate safe pedestrian crossing at streets. Please refer to **Exhibit 2.1.1, 4.1.3, and Section 8.5.3** for a depiction of pedestrian access concepts.

At least one pedestrian connection shall be installed on each side of the builder parcel, where parcel abuts a street, or common area. The connection should be installed mid- parcel or closer to pedestrian attractors such as shopping or trail crossings. Builder shall complete the connection between their parcel, and any common area Pedestrian Pathways. Pathway material shall be pavers to match. Coordination with Master Developer and the ARC is required.

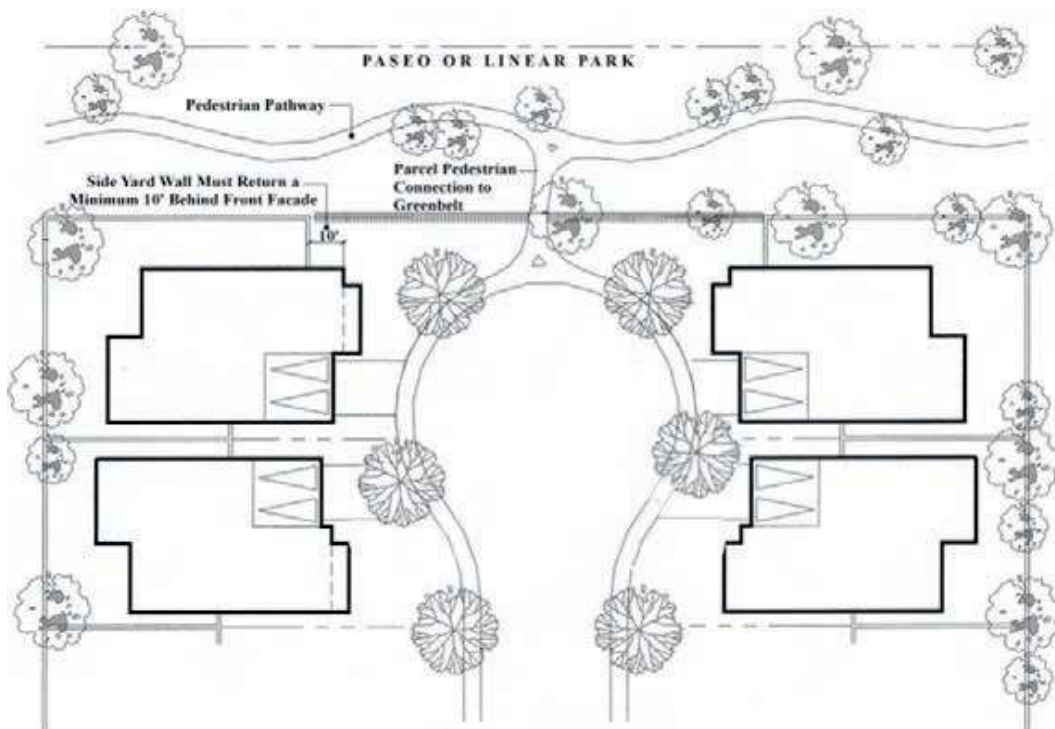
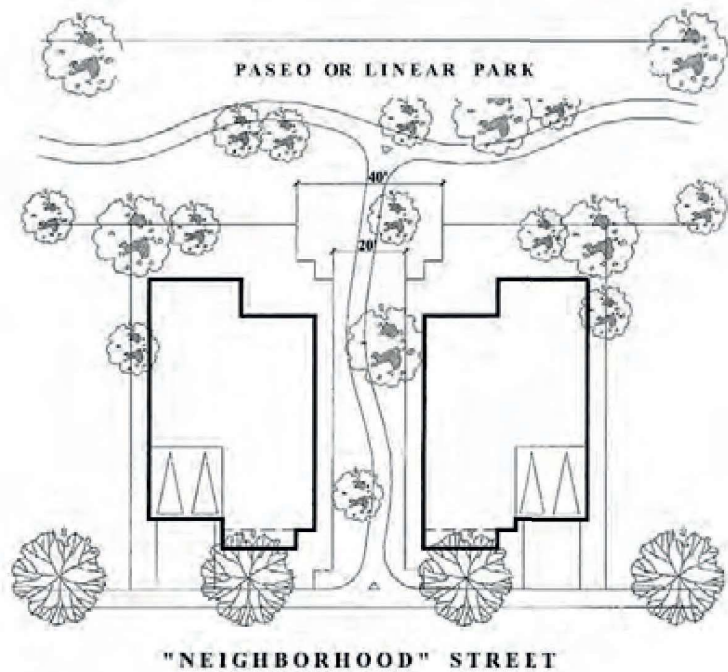
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**Exhibit 4.1.3****PEDESTRIAN CONNECTIONS****PEDESTRIAN CONNECTIONS**

On parcels adjacent to Open Space and Common Areas along streets, at least one pedestrian access must be provided along each parcel edge having such frontage.

The path connecting the parcel to the Pedestrian Pathway shall be installed by the builder. Pathway material shall be pavers, a minimum of 4' in width.

Builder shall construct paver pathway connecting parcel to common area pathway constructed by Developer. Builder to match Developer specifications unless otherwise directed.



Refer to Final Map for Property Line locations pertaining to each parcel.

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### 4.1.5 COMMON OPEN SPACE

SKYE SUMMIT delivers a comprehensive blend of both active and passive recreation opportunities. SKYE SUMMIT aims to elevate outdoor spaces to truly public places by creating comfort and amenities available to everyone. Public open space can accommodate and encourage the interaction of the wide social, cultural, ethnic, economic and age diversity. At each scale, from the largest pocket park to the smallest courtyard, and along all public streetscapes and trails, the design of these spaces should always seek to allow residents and visitors to interact in comfort and safety.

### 4.1.6 OPEN SPACE FOR SINGLE FAMILY DEVELOPMENTS

- A. In single-family developments, common open spaces should serve as shared amenities accessible to all residents.
- B. 100 sq. ft. per unit for the first 100 units, plus 50 sq. ft. for each additional unit.

The first 10,000 s.f. of required common open space shall be consolidated into a single amenity area, visible from the main entry of the project to the extent feasible. The balance of any cumulative common open space requirement exceeding 10,000 s.f. may be distributed throughout the project as the builder desires, so long as such common open space element has a minimum dimension of 15'.

*Builders shall provide calculations for each parcel showing how the Open Space Requirements are achieved.*

### 4.1.7 Common Open Space Requirements for Single Family Detached Product

The following requirements are for the combined common open space element required for all Single Family developments:

- A. The required minimum common open space area shall be oriented in such a manner that it is visible from the Parcel entry to the extent feasible.
- B. The minimum dimension of any area of the park shall be no smaller than thirty (30) feet.
- C. The park shall include functional turf. Functional turf is defined as an area of turf that is:
  - 1. Contiguous;
  - 2. No less than thirty (30) feet in any dimension;
  - 3. An area of one thousand five hundred (1,500) feet in area or greater;
  - 4. Installed on a slope of less than twenty-five (25) percent;
  - 5. Turf must be located a minimum of ten (10) feet away from the back of the curb of any public or private street.

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- D. A minimum useable area of nine hundred (900) square feet. Useable Park Area is defined as portions of a park designated and designed for active and passive recreational use by the community.
1. This includes areas that provide recreational, social, and leisure opportunity for the community such as:
    - a. Playgrounds and play structures;
    - b. Sports fields or sports courts;
    - c. Picnic areas equipped with tables and seating;
    - d. Walking, jogging, and/or cycling paths;
    - e. Dedicated space for public gatherings, performances, or art installations;
    - f. Functional turf/ open play turf areas.
    - g. Refer to **Section 2.2.1: Park Amenities** for more information on amenities.
  2. This does not include areas for recreational infrastructure like maintenance yards, service roads, parking lots, and other non-recreational infrastructure.

#### **4.1.8 Private Open Space for Single Family Attached Developments**

- A. Single family attached units are required to have a minimum of one hundred twenty-five (125) square feet of private open space.
- B. The minimum dimension for private open space is eight (8) feet in any direction.
- C. Seventy-five (75) percent of the private open space is to be open to the sky and may be located on the front, side, or rear of the unit.
- D. For perimeter or corner lots, private open space shall be located adjacent to the exposed property line to provide articulation to the building mass on these visible edges.
- Privacy wall or fence may enclose private open space in these cases.
- E. Outdoor living space requirements defined in Section 7.5: Outdoor Living Space Requirements for Single-Family Development may be counted toward the private open space requirement for single family attached units.

#### **4.1.9 Open Space for Commercial Development**

Key requirements for outdoor pedestrian open spaces and plazas have been established. These guidelines aim to enhance the overall aesthetic and usability of these areas:

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- A. Outdoor pedestrian spaces and plazas must provide shade, rest areas, and relief from traffic and noise, facilitating activities such as vending and dining.
- B. The size of pedestrian open spaces and plazas should be proportional to the development's scale, as detailed in the site plan. These areas must be distributed throughout the development and shall be ADA complaint.
  - a. Developments over five (5) acres are required to provide a minimum of fifty (50) square feet of plaza space for each one (1) acre, minimum.
- C. Pedestrian spaces should be integral to the commercial development's design, situated in high-traffic areas, and remain open during standard business hours.
- D. The minimum size for any individual pedestrian open space is two hundred fifty (250) square feet.
- E. Site amenities such as benches, pergolas, landscaped arbors, and artwork should be incorporated into each space's design.

## 4.2 PRODUCT PLOTTING STANDARDS

The plotting of residences that are adjacent to Master Planned Community roadways or Open Space, must be submitted to the ARC for review and approval to ensure compliance with the design intent of the site planning guidelines, including product plotting criteria. The submittal must include Plan numbers, elevations, and rear elevation options.

The plotting of residences should be done in a manner that achieves diversity and visual interest to the neighborhood street scene. Such diversity can be achieved through varying setbacks, articulated building massing, variable lot widths, de-emphasized garages, and enhanced elevations and/or single story elements on corner lots.

### 4.2.1 PLOTTING

In single family neighborhoods, adjacent residences shall not have the same elevation or color scheme. Reverse footprints of the same plan are permitted so long as they have different elevation styles and color schemes. No more than two adjacent lots shall have the same floor plan with the same elevation style next to one another.

Duplication of the same roof line is not permitted on more than two adjacent lots.

### 4.2.2 ARTICULATED BUILDING MASSING

Boxy building forms that overwhelm the street scene are discouraged. Rather the building mass shall be broken down into smaller elements, where feasible, to provide visual interest and articulation to the neighborhood street scene. The 2<sup>nd</sup> story (including volume spaces over 12') is limited to 90% of the building footprint area, including garage.

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On 3-story dwellings, no more than 40% of the width of an exposed elevation (front or rear) may consist of a single continuous vertical wall plan. The remaining 3rd floor wall plane area, if any, shall be setback at least 5' from the 2<sup>nd</sup> floor footprint. Any enclosed 3<sup>rd</sup> story is limited to 60% of the building footprint. 3-Story wall planes are not allowed on front or rear elevations.

#### 4.2.3 GARAGE PLACEMENT AND CONFIGURATION

The placement and configuration of the garage often drives the look and feel of the neighborhood. Therefore, special care and consideration shall be used to de-emphasize the garage door on the street scene. In addition to conventional front entry garages, there are many additional garage configurations that can be used such as turn-in garages, split entry garages, tandem garage spaces, Hollywood style garages, etc.

When conventional front entry garages are used, special thought should be given to using techniques such as the following:

- **Architectural Elements Forward of the Garage Plane**

Architectural elements that are situated forward of the plane of the garage provide visual interest to the street scene while minimizing the appearance of the garage door on the street scene. Examples of such elements include porches, portal elements and courtyard walls.

- **Articulation Above the Garage**

Architectural elements located over the garage can effectively draw attention away from the garage door and provide strong visual articulation to the front façade. Second floor elements that project forward of the garage plane are particularly effective as they cast a strong shadow across the garage door, minimizing its appearance on the street scene. Examples include principle windows with thickened walls, sun decks and miradors (roofed outdoor rooms located on the 2<sup>nd</sup> floor).

- **Articulation in Front of Garage**

The use of articulation elements such as free-standing arbor directly in front of the garage door, or an attached trellis element over the entire width of the garage door provide visual interest to the street scene while de-emphasizing the appearance of the garage door.

- **Living Spaces Forward of the Garage**

Where product width allows, “architecture forward” lets the active living spaces of the house be the predominate feature of the front elevation, with the garage setback further from the street.

- **Deep Recesses**

Deep garage door recesses (greater than the minimum 12”) into surrounding wall planes result in strong shadows being cast across the garage doors, de-emphasizing their appearance on the street scene. Second floor elements above are either cantilevered or supported with piers extending to the ground plane.

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- **Extended Roof Elements**

The use of extended roof elements provides the opportunity to emphasize the architectural design of the home while minimizing the appearance of the garage on the street scene. For example, when a porch is provided on the front elevation, extending the single story roof line across the entire driveway width in front of the garage creates a deep shadow on the garage door, effectively allowing the garage door to “disappear” into the shadow. Similarly, a vehicular porte-cochere element provides additional shade to the front of the house and the garage is generally behind the front façade of the home.

No more than three front facing garage spaces are permitted on an individual residence, however, the minimum width of a house having a 3-car front facing garage shall be 45’ on Entry Level / Move-Up, and 2nd Move-Up product. On Estate product, the minimum width of a house having a 3-car front facing garage shall be 60’. Additional garages spaces, if provided, must be in a turn-in configuration, tandem, deep-recessed with a long driveway or motor-court, or other configurations in which the garage door is not visible from the front. Refer to **Exhibits 7.5.2 Garage Configurations, 7.5.3 and 7.5.4, 4-Stall Garages.**

Front loaded 3-car garages, where provided, must have a 2’ minimum offset between the single and double garage elements. This can be accomplished by offsetting the garage doors, offsetting the garage facades, or both. Three single car garage doors are not required to be offset. Refer to **Exhibit 7.5.1.**

On lots that are 7,000 sq. ft. or greater, four garage spaces may face the street, subject to design review and Developer approval.

The face of garage doors shall be recessed a minimum of 12” from the adjacent wall surface.

Garage doors shall be compatible with the architectural style of the residence and shall vary per elevation style. In order to avoid the impact of garage doors, they shall be appropriately treated with decorative relief cuts, panels, small decorative windows, etc.

The front door to a residence with a side-loaded garage must be separated from the garage door plane by a minimum of 4’. Driveway must also be setback from any building element (front porch, building wall, courtyard wall) by a 24” minimum planting area.

**Garages at Single Family Attached**

Garages loading onto an Alley or Private Drive must be oriented such that sufficient area is provided to allow for installation of utilities, along with a planter area on each of the garage. There must be a minimum 6 foot offset between the garage wall and adjacent living space to accommodate the planting requirements.

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## Exhibit 4.2.1 ARCHITECTURAL ELEMENTS FORWARD OF GARAGE PLANE

### Porches



### Portals



### Courtyards

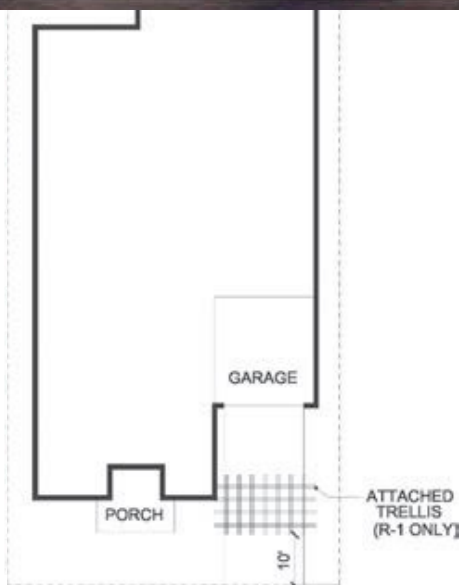


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**Exhibit 4.2.2****ARTICULATION ABOVE GARAGE****Exhibit 4.2.3****ARTICULATION IN FRONT OF GARAGE**

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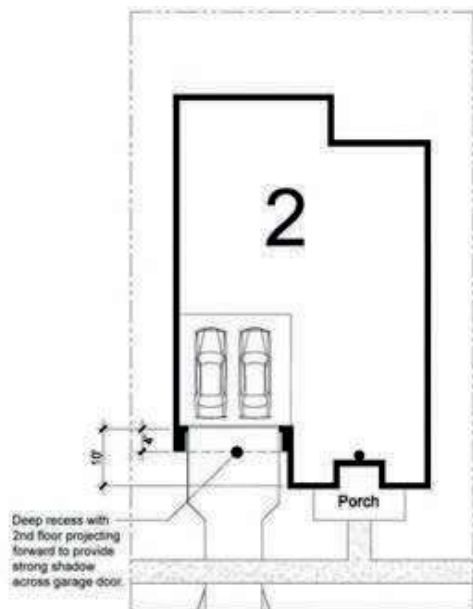
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### Exhibit 4.2.4 LIVING SPACES FORWARD OF GARAGE



### Exhibit 4.2.5 DEEP GARAGE DOOR RECESSES FROM ADJACENT WALL PLANE



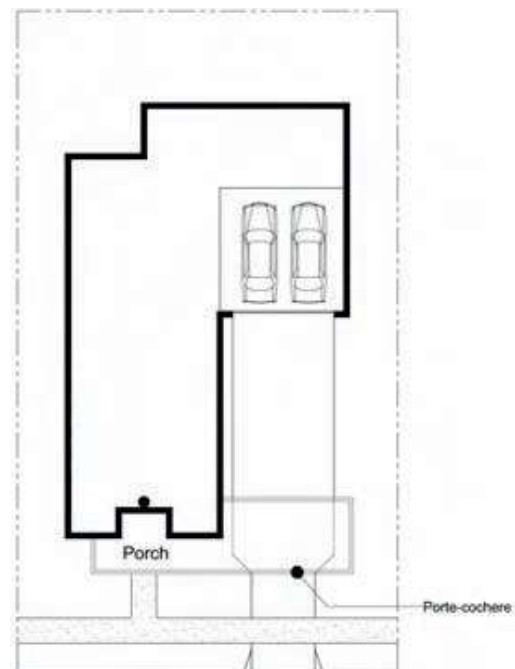
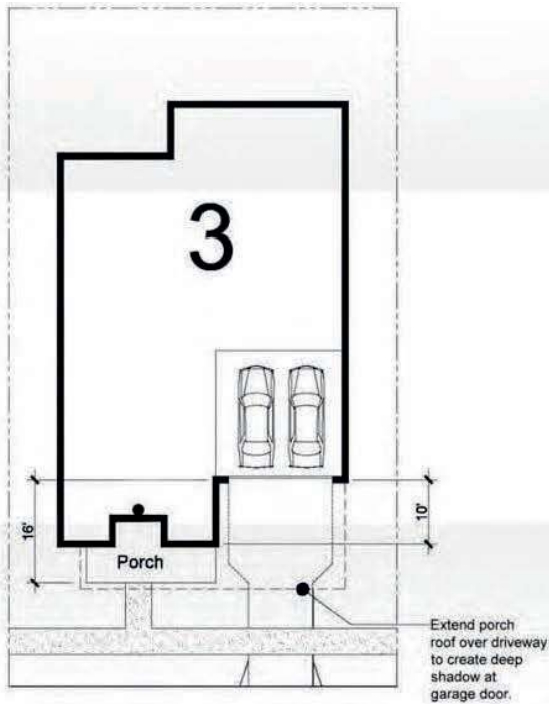
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### Exhibit 4.2.6 EXTENDED ROOF ELEMENTS



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**Exhibit 4.2.7****AVOID INAPPROPRIATE GARAGE TREATMENTS**

- Detail elements should be authentically detailed, not merely painted or applied.



- No garage door recess is provided
- Wall planes are too flat with no articulation



- No garage door recess is provided
- Exposed foundations, when unavoidable, should be painted to match material or color blocking

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#### 4.2.4 CORNER LOTS

Single-story elevations or having a single-story element along the exposed side lot line facing public or private streets or facing public or private open space are encouraged. One-story elements may include the following:

- Single story-building walls with a maximum plate height of 12' and roofs sloping away from the side lot line.
- Single story building walls with a maximum plate height of 12' with second story walls set back 4' minimum from the first floor walls and both roofs sloping away from the side lot line.
- Wrap-around porches with a maximum plate height of 12'.

On corner side elevations, a portion of the 2<sup>nd</sup> story façade must be popped out a minimum of 12" and contain a roof element, unless an acceptable alternative treatment is provided.

On corner side elevations, a minimum of 3 wall planes are required on the 2<sup>nd</sup> story façade. The minimum offset between wall planes is 12". Building articulation is preferred over added 12" wall planes to create visual interest.

On corner lots, both the building and wall must be designed so as not to interfere with the site visibility at the adjacent intersection.

The plotting of 3-story plans on corner lots is discouraged. If plotted, however, third story element on exposed corner side yards must be setback at least 10' from the 2nd floor footprint.

A principle window is required on corner side elevations.

The portions of such side elevations that are not screened by solid walls should have architectural treatments consistent with the front elevation, including materials, detailing and roof plane breaks.

Side yard privacy screen walls are required. The walls shall be forward of the rear corner of the house by at least 1/3 the length of the house

Privacy walls shall be set back 5' minimum from the back of a walk and 2' minimum from a drive aisle.

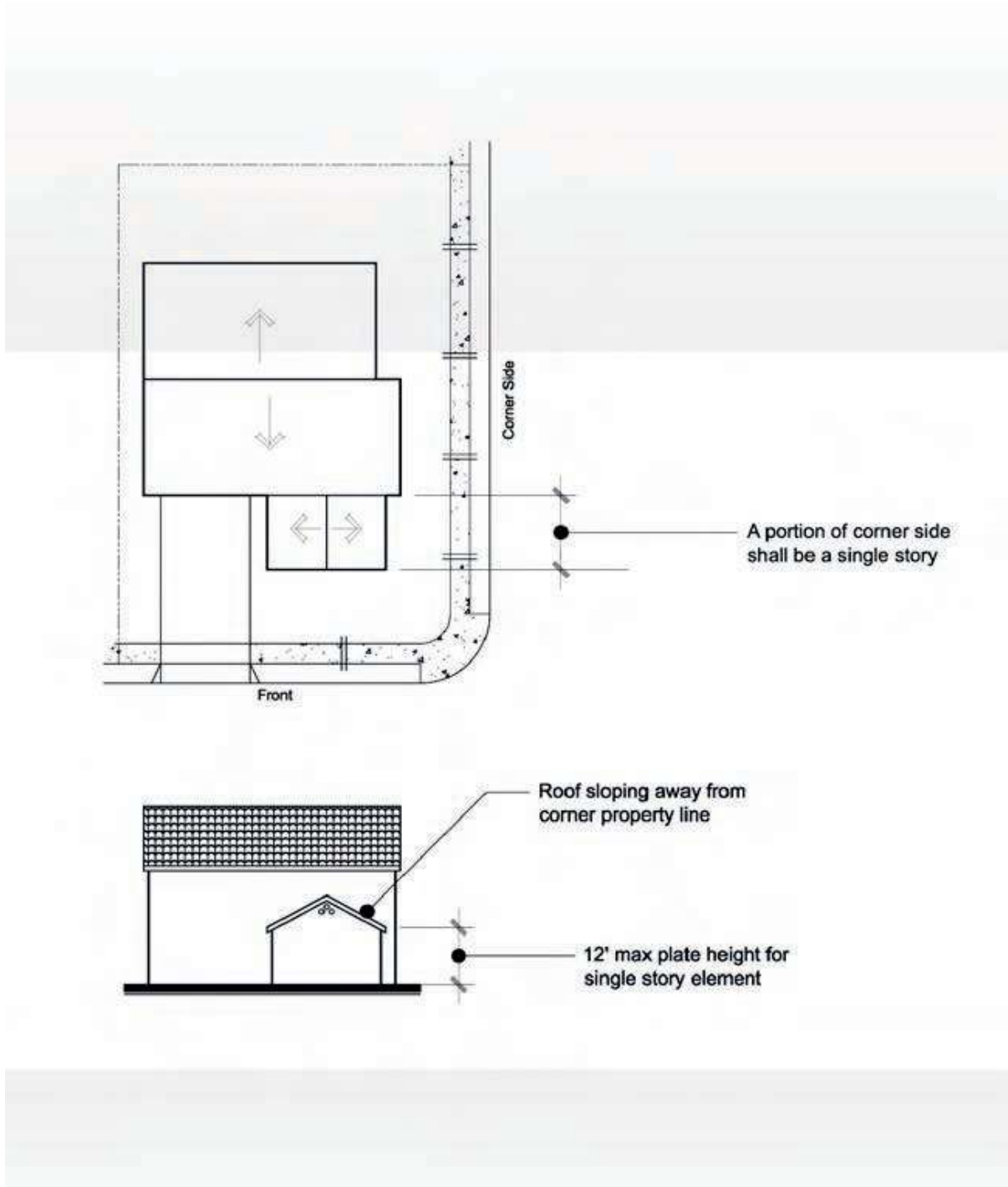
Privacy walls shall screen air conditioner condenser units from view from the street.

When homes with rooftop decks, if any, are plotted on corner lots, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element, regardless of architectural style. Rooftop decks shall meet the setbacks of the principle structure.

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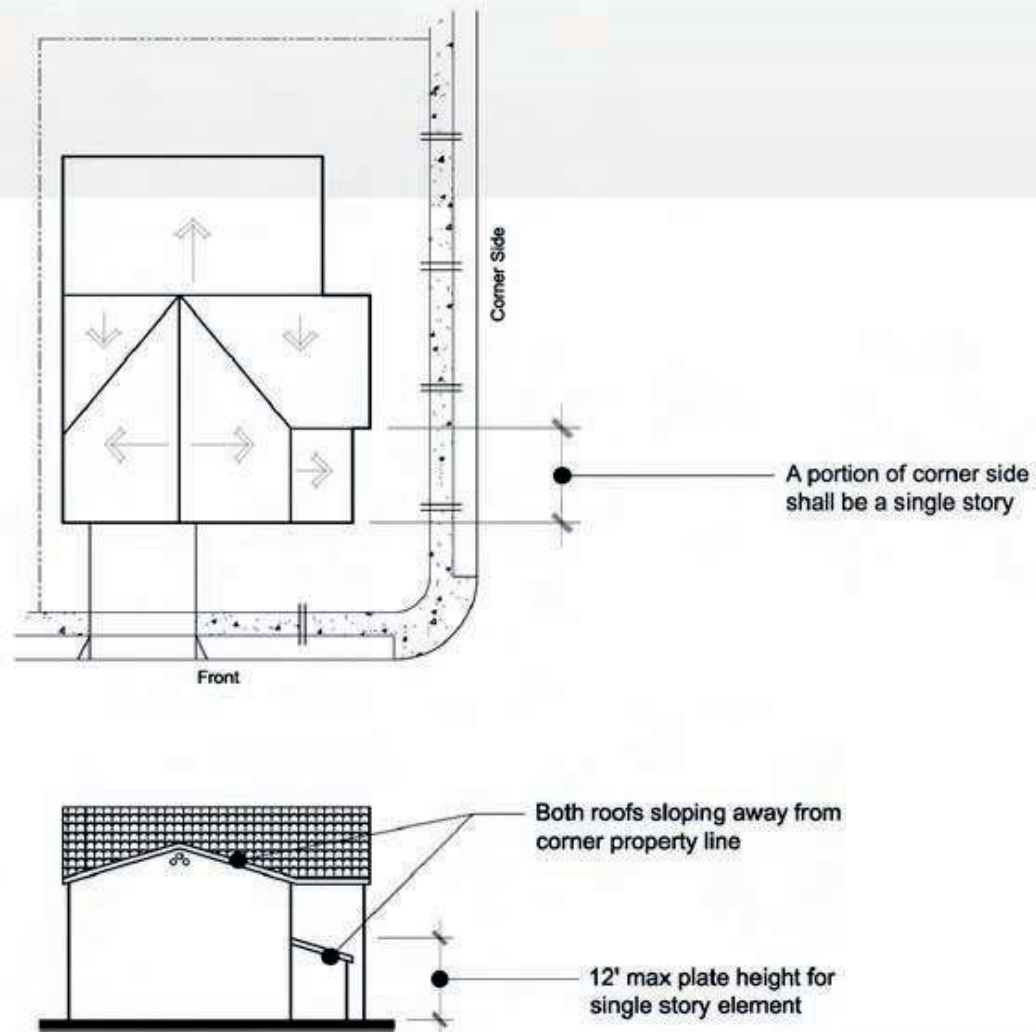
### Exhibit 4.2.8 CORNER SIDE SINGLE STORY ARTICULATION



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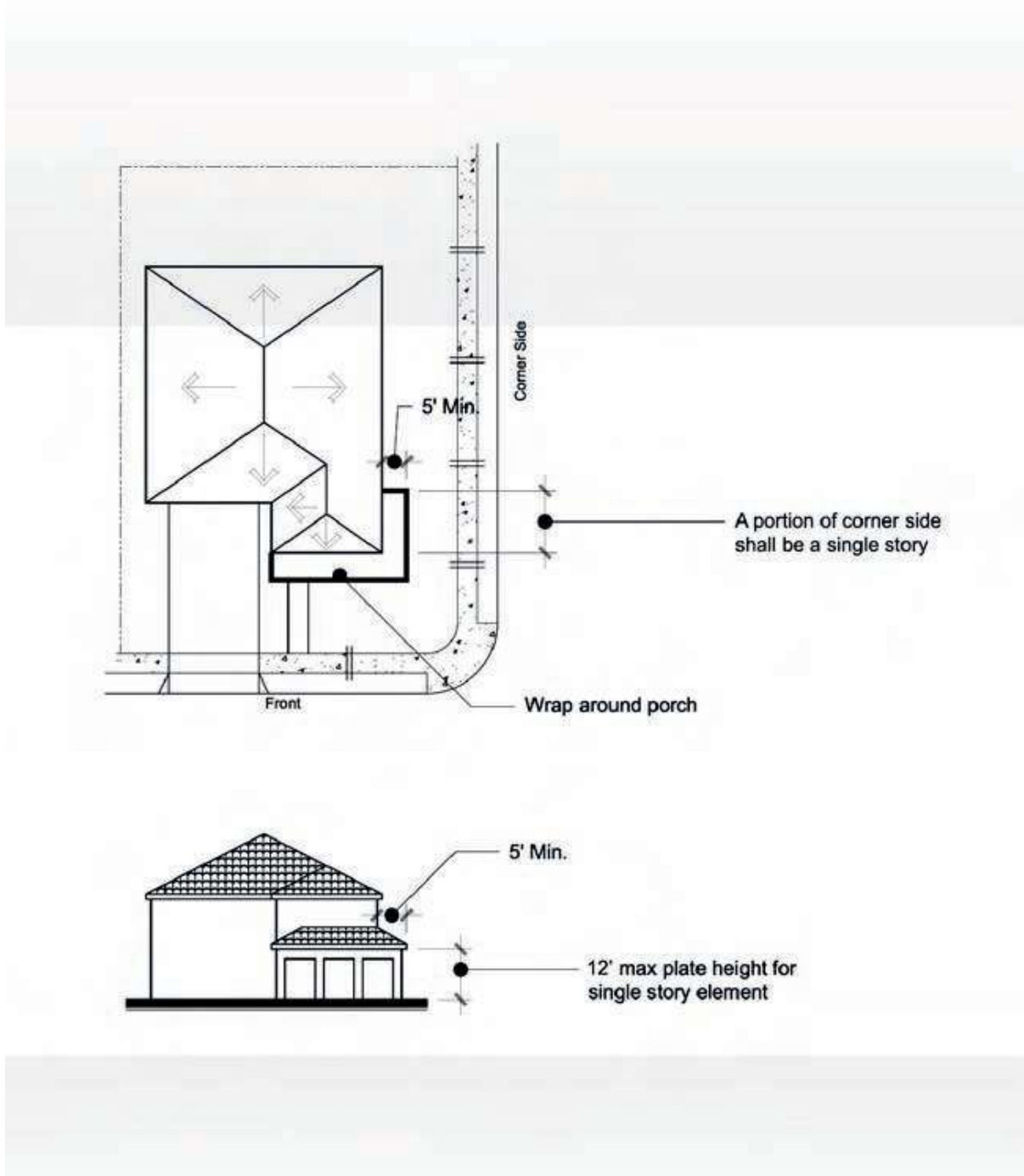
### Exhibit 4.2.9

#### CORNER SIDE SINGLE STORY ARTICULATION



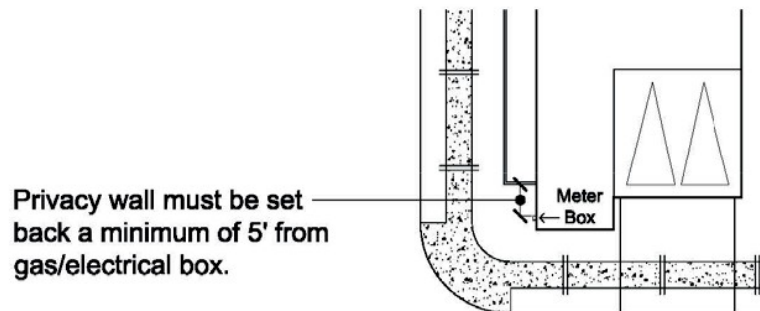
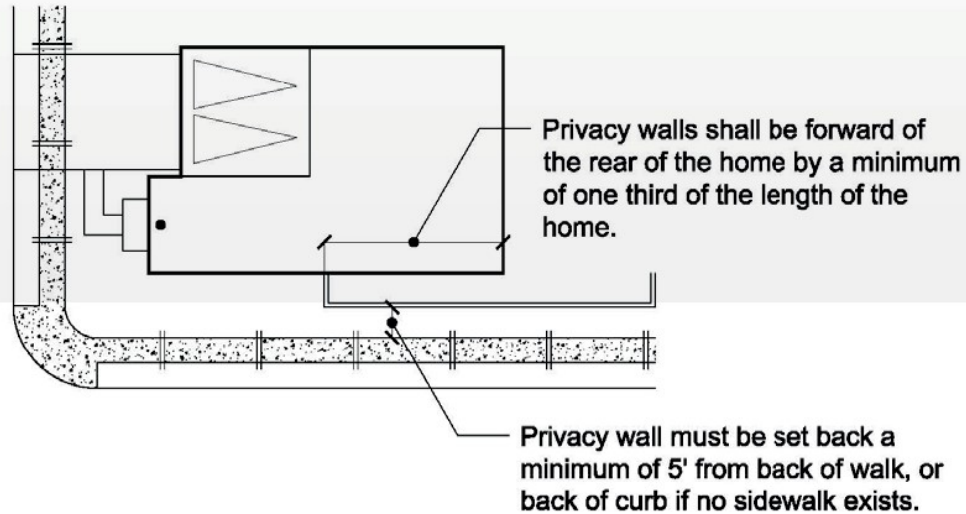
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### Exhibit 4.2.10 CORNER SIDE SINGLE STORY ARTICULATION



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### Exhibit 4.2.11 PRIVACY WALL SETBACK



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#### 4.2.5 PERIMETER EDGE ARTICULATION

The development edges of the builder parcels are a key element to the appearance and sustainability of the overall community, as well as its interface with the surrounding desert environment. For that reason, careful consideration must be undertaken in the design and plotting of residences along the visible perimeter edges of development parcels. The visible perimeter edges will be identified by the Master Declarant, and are generally defined as one or more of the following:

- Parcel edges that are adjacent to community streets.
- Parcel edges that are adjacent to Open Space areas.
- Parcel edges that are adjacent to Public or Quasi-Public Spaces such as schools, libraries, houses of worship, utility and drainage easements, etc.
- A tier of lots within a tract that is at least 15' higher than the tier of lots below., as determined by Pad Elevation.

In order to ensure that the perimeter edges contribute to a positive community environment, the visible elevations plotted along these edges shall incorporate the following:

- Variation of building massing and forms
- Variation in roof form. No more than two adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the parcel. In no case are uninterrupted side to side gables allowed on perimeter conditions. Ridgelines of adjacent residences should be in different directions to the extent feasible.
- 2<sup>nd</sup> floor roof and wall projections offset a minimum of 12" horizontally and vertically. Building articulation is preferred over added 12" wall planes as a means to create visual interest.
- Multiple building wall planes are required on visible rear elevations as follows:
  - Entry Level / Move-Up \_ Minimum 3 wall planes at 2<sup>nd</sup> floor  
(+2,000 - 4,000 sq. ft lots)
  - 2<sup>nd</sup> Move-Up (+ 5,500 sq. ft lots) Minimum 3 wall planes at 2<sup>nd</sup> floor
  - Estates (+ 6,000 sq. ft lots) Minimum 4 wall planes at 2<sup>nd</sup> floor
- The use of a principle window on the 2<sup>nd</sup> floor
- The use of at least one pair of shutters compatible with the architectural style of the residence. (Shutters may be in conjunction with the principle window or any other window on the visible elevation.)

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- A single story element may be used to break the plane of a 2-story building façade.
- Enhancements such as a patio cover, 2<sup>nd</sup> story deck or balcony that provides vertical or horizontal plane breaks to the façade may be used.
- The use of a principle window on corner side elevations.
- Cantilevered projections used to accomplish the required wall plane offsets may encroach in to setbacks (Maximum 12” encroachment).
- Architectural treatments and articulation consistent with the front elevation

When homes with rooftop decks, if any, are plotted with side elevations facing a perimeter edge of a parcel, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element. Rooftop decks shall meet the setbacks of the principle structure.

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**4.3 DEVELOPMENT STANDARDS AND SETBACK STANDARDS****4.3.1 R-1 Single Family Residential District**

STANDARD	R – 1 STANDARDS
Housing Types	Single Family Detached
SKYE SUMMIT	
Minimum Lot Size s.f.	3,500
Dwelling Units per Lot	1
Min. Lot Width	40' (cul-de-sac or knuckle lots which do not meet minimum width at the street are allowed while maintaining minimum lot sizes, subject to ARC review)
<b>MINIMUM SETBACKS</b> <i>Refer to Exhibit 3.3.1 for Setback Diagram.</i> All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	14' to single story, Porch or Attached Side Entry Garage elements, or (May be reduced to 10' at single-story living or porch for 30% of building on a maximum of 25% of product, subject to ARC approval). 10' to Attached Trellis at Driveway 20' to second story 25' to third story elements 5' maximum (cluster product only) or 20' minimum (all garage setbacks) to face of Front Entry Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	8' to ground level Porch 10' to first and second story 15' to third story
<ul style="list-style-type: none"> <li>Rear</li> </ul>	15' to single story 20' to second story (May be reduced by 5' for 50% of building width for a maximum of 25% of product, subject to ARC approval). 20' minimum backyards are strongly encouraged. 25' to third story
<b>Detached Accessory Structure</b> <i>(Single-Story only; including Casita* &amp; Detached Side-Entry Garages)</i>	
<ul style="list-style-type: none"> <li>Front</li> </ul>	Match principle structure requirement
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit (subject to 70% total lot coverage maximum)
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> </ul>	10' to post or edge of patio cover 8' to roof overhang 15' to post or edge of sundeck or balcony (may be reduced to 10' at perimeter edge with average 15' typ.) 13' to roof overhang (may be reduced to 8' at perimeter edge with average 13' typ.)

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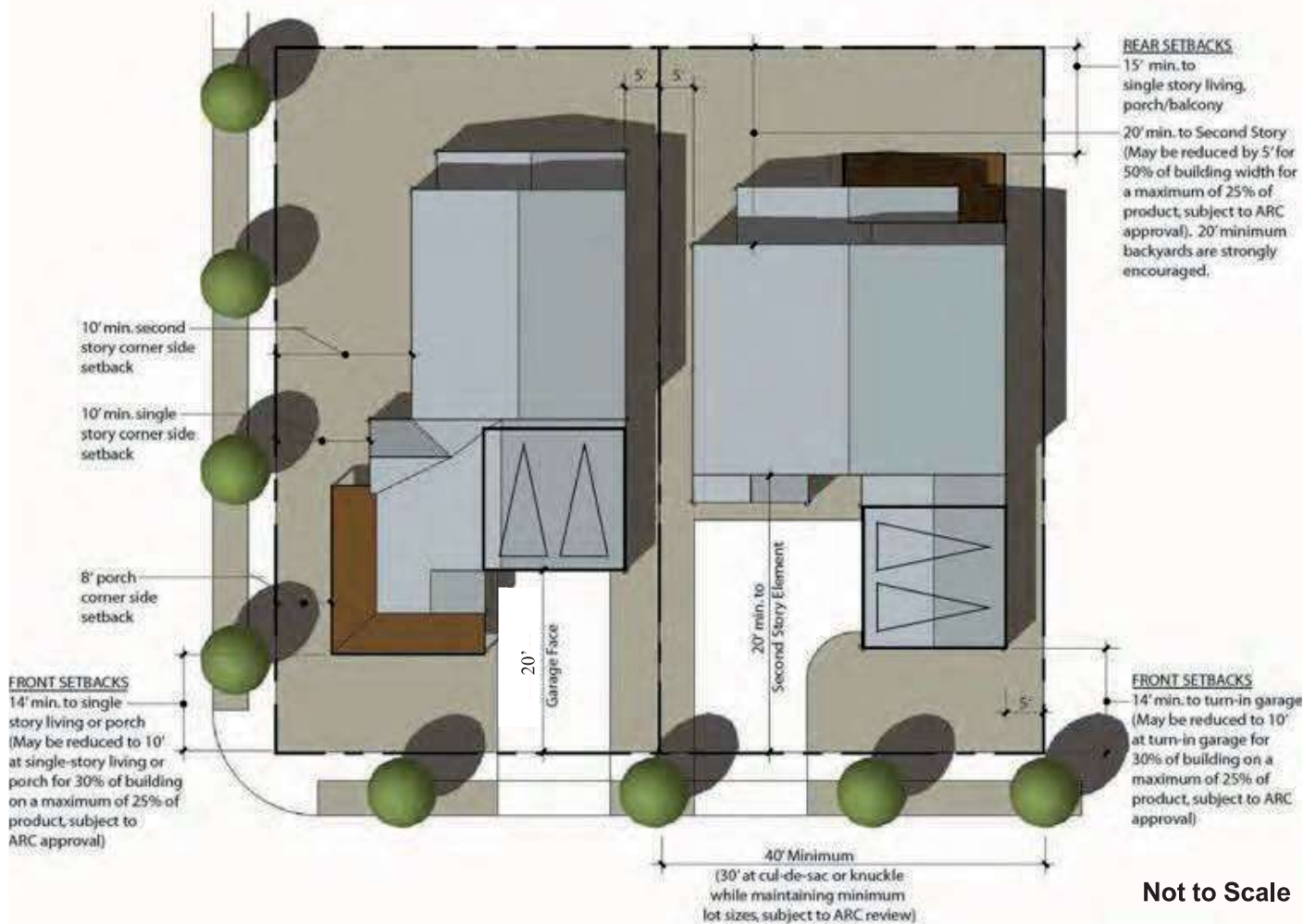
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STANDARD	R – 1 STANDARDS
Housing Types	Single Family Detached
<ul style="list-style-type: none"> <li>Side</li> <li>Corner Side</li> </ul>	5' to post or edge of patio cover, sundeck or balcony  8' to post or edge of patio cover, sundeck or balcony 6' to roof overhang
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Front</li> <li>Side</li> <li>Corner Side</li> </ul>	5' Setback  0' Setback  5' Setback
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	70% or less (Includes detached structures)
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> <ul style="list-style-type: none"> <li>3 Stories max. (Front/rear wall planes must be offset, box on box not allowed)</li> <li>35' max. height</li> </ul> <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage
<b>Landscape Buffers and Turf Limitations</b>	
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	<ul style="list-style-type: none"> <li>Adjacent to Right-of-Way: 5' or building setback, whichever is less</li> </ul>
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' – 6" (3' Solid wall + 18" iron). Pilasters one course above wall
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.2.4) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Max. Perimeter Wall Height</li> </ul>	7' CMU screen and / or view fence (see Exhibits 5.2.1G and 5.2.3A)
<ul style="list-style-type: none"> <li>Max. CMU Retaining Wall Height</li> </ul>	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Rockery Walls</li> </ul>	Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.2.5) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above adjacent wall (see Exhibits 5.2.1D and 5.2.1G)
<ul style="list-style-type: none"> <li>Contrasting Material</li> </ul>	20%
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> </ul>	6' - 12' Exterior / 10'-16' Interior
<ul style="list-style-type: none"> <li>Max. Secondary Wall Height</li> </ul>	4' Exterior – 6' Interior
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Inside Dimensions</li> </ul>	4'
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above adjacent wall
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	5'-4"

\* Accessory Dwelling Unit may include a full kitchen facilities.

\*\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to Perimeter wall faces oriented to the inside boundaries of the subdivision.

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**Exhibit 4.3.1: R-1 Single Family Detached**

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### 4.3.2 R-1 Single Family Residential District

STANDARD	R – 1 STANDARDS (Wide/Shallow Product)
Housing Types	Single Family Detached: Front-loaded and/or Private Street and Alley-loaded
SKYE SUMMIT	
Minimum Lot Size s.f.	3,500
Dwelling Units per Lot	1
Min. Lot Width	40' (cul-de-sac or knuckle lots which do not meet minimum width at the street are allowed while maintaining minimum lot sizes, subject to ARC review)
Min. Lot Depths	80'
<b>MINIMUM SETBACKS</b> <i>Refer to Exhibit 3.3.2 for Setback Diagram.</i> All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	14' to single story Living, Porch or Attached Side Entry Garage elements (May be reduced to 10' at single-story living or porch for 30% of building on a maximum of 25% of product, subject to ARC approval). 10' to Attached Trellis at Driveway 20' to second story elements 20' to face of Front Entry Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	8' to ground level Porch 10' to Living
<ul style="list-style-type: none"> <li>Rear</li> </ul>	<b>Rear Yard with No Alley</b> 15' to single story 20' to second story (May be reduced by 5' for 50% of building width for a maximum of 25% of product, subject to ARC approval). 15' minimum backyards are strongly encouraged, however, integration of side yard to function as outdoor living space may be acceptable with ARC approval  <b>Rear Yard with Alley</b> 5' to Second Story Living over Garage (cantilevered) 5' to Porch, Portico, Courtyard Wall or similar element 5' to Single Story Living 5' to Second Story Living 5' or 20'+ to face of Garage Door
<b>Detached Accessory Structure</b> (Single-Story only; including Casita* & Detached Side-Entry Garages)	
<ul style="list-style-type: none"> <li>Front</li> </ul>	14' (May be reduced to 10' for 30% of building on a maximum of 25% of product, subject to ARC approval).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit. (subject to 70% total lot coverage maximum)
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>	

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STANDARD	R – 1 STANDARDS (Wide/Shallow Product)
Housing Types	Single Family Detached: Front-loaded and/or Alley-loaded
<i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> <li>Side</li> <li>Corner Side</li> </ul>	10' to post or edge of patio cover 8' to roof overhang 15' to post or edge of sundeck or balcony (may be reduced to 10' at perimeter edge with average 15' typ.) 13' to roof overhang (may be reduced to 8' at perimeter edge with average 13' typ.)  5' to post or edge of patio cover, sundeck or balcony  15' to post or edge of patio cover, sundeck or balcony 13' to roof overhang (second-story) 8' to roof overhang (single story)
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Front</li> <li>Side</li> <li>Corner Side</li> </ul>	5' Setback 5' Setback 5' Setback
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not inc. utility esmt's) is subtracted.</i>	70% or less (includes detached structures)
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> <ul style="list-style-type: none"> <li>3 Stories max. (Front/rear wall planes must be offset, box on box not allowed)</li> <li>35' max. height</li> </ul> <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage
<b>Landscape Buffers and Turf Limitations</b>	
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	<ul style="list-style-type: none"> <li>Adjacent to Right-of-Way: 6' or building setback, whichever is less</li> </ul>
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' -6" (3' Solid wall + 18" iron). Pilasters one course above wall
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> <li>Max. Perimeter Wall Height</li> <li>Max. CMU Retaining Wall Height</li> <li>Rockery Walls</li> <li>Max. Pilaster Height</li> <li>Contrasting Material</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.2.4) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B) 7' CMU screen and / or view fence (see Exhibits 5.2.1G and 5.2.3A) 6' exterior – 10' interior, 12' at lots adjacent to open space (see Exhibit 5.2.3B) Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.2.5) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way. One course above adjacent wall (see Exhibits 5.2.1D and 5.2.1G) 20%
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> <li>Max. Secondary Wall Height</li> <li>Min. spacing between wall sections – Inside Dimensions</li> <li>Max. Pilaster Height</li> </ul>	6' - 12' Exterior / 10'-16' Interior 4' Exterior – 6' Interior 4' One course above wall

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STANDARD	R – 1 STANDARDS (Wide/Shallow Product)
Housing Types	Single Family Detached: Front-loaded and/or Alley-loaded
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	5'-4"

\* Accessory Dwelling Unit may include full kitchen facilities.

\*\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to Perimeter wall faces oriented to the inside boundaries of the subdivision.

**Exhibit 4.3.2: R-1 Wide/Shallow SFD**



Not to Scale

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### 4.3.3 R-CL Medium-Low Density Residential District

STANDARD	R - CL STANDARDS
Housing Types	Single Family Detached, Duplex (Conventional, Cluster or Alley configurations)
SKYE SUMMIT	
Minimum Lot Size s.f.	Conventional: 2,000 Cluster or Alley: 2,000
Units per Gross Acre	6-12
Min. Lot Width	NA
<b>MINIMUM SETBACKS</b> <i>Refer to Exhibit 3.3.6 for Setback Diagram</i> All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	<b>From Interior Street, Paseo or Common Open Space</b> 5' to Porch 10' to Single Story Living 14' to Second Story Living 20' to face of Front Entry Garage Door  <b>From Court Street or Drive Aisle</b> 5' to Second Story Living over Garage 5' to Porch 5' to Single Story Living 5' to Second Story Living 20' to face of Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).
<ul style="list-style-type: none"> <li>Side</li> </ul>	0' at common wall 5' at building end wall
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10' to Right of Way or back of sidewalk (where occurs)
<ul style="list-style-type: none"> <li>Rear</li> </ul>	<b>Rear Yard with No Alley</b> 15'  <b>Rear Yard with Alley</b> 5' to Second Story Living over Garage (cantilevered) 5' to Single Story Living or Porch 5' to Second Story Living 20' to face of Garage Door
<b>Detached Accessory Structures</b>	
<ul style="list-style-type: none"> <li>Front</li> </ul>	Same as Main Building
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5'
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to post or edge of sundeck or balcony
<ul style="list-style-type: none"> <li>Side</li> </ul>	5' to post or edge of sundeck or balcony
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	5' to post or edge of sundeck or balcony

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STANDARD	R - CL STANDARDS
Housing Types	Single Family Detached, Duplex (Conventional, Cluster or Alley configurations)
<b>Courtyard Walls</b>	
From Interior Street	5'
• From Court St., Drive Aisle or Alley	2'
• From Paseo or Common Open Space	0'
• Corner Side	2'
• <b>Min. Distance Between Buildings</b>	10'
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	NA
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> 3 Stories max.; 38' max. (Front/rear wall planes must be offset, box on box not allowed).  <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	In neighborhoods where 5' driveways are proposed, additional off-street parking must be provided, subject to ARC review and approval.
<b>Landscape Buffers and Turf Limitations</b>	
Minimum Zone Depths	Adjacent to Right-of-Way: 6' or building setback whichever is less
• <b>WALLS AND FENCES</b>	• Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
Maximum height	4' -6" (3' Solid wall + 18" iron) Pilasters one course above adjacent wall/fence
• <b>Perimeter and Retaining Walls</b>	
Max. Overall Height	12' Exterior – 16' Interior (See Exhibit 5.2.4) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
• Max. Perimeter Wall Height	7' CMU screen and / or view fence (see Exhibits 5.2.1G and 5.2.3A)
• Max. CMU Retaining Wall Height	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.2.3B)
• Rockery Walls	Max. 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.2.5). Exterior Rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
• Max. Pilaster Height	One course above adjacent wall (see Exhibits 5.2.1D and 5.2.1G)
• Contrasting Material	20%
<b>Perimeter and Retaining Walls Standard</b>	(See Exhibit 5.2.4)
• <b>Stepback</b>	
Max. Primary Wall Height	6' - 12' Exterior / 10'-16' Interior
• Max. Secondary Wall Height	4' Exterior – 6' Interior
• Min. spacing between wall sections – • Inside Dimensions	4'
Max. Pilaster Height	One course above wall
• Min. spacing between wall sections – • Outside Dimensions	5'-4"
<b>Private Outdoor Space</b>	125 s.f. with 8' minimum dimension and 75% open to the sky (May be located on the front, side or rear of unit)

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STANDARD	R - CL STANDARDS
Housing Types	Single Family Detached, Duplex (Conventional, Cluster or Alley configurations)
	On perimeter or corner lots, Private Open Space shall be located adjacent to the exposed property line to provide articulation to the building mass on these visible edges. Privacy wall or fence may enclose Private Open Space in such cases.
Common Open Space	<p>Minimum Common Open Space element is 10,000 s.f., <b>plus</b> 50 sq. ft. for each unit in excess of 100 within the project.</p> <p>The minimum 10,000 s.f common open space requirement may be consolidated into a single amenity area, visible from the main entry of the project to the extent feasible. The balance of any cumulative common open space requirement exceeding 10,000 s.f. may be distributed throughout the project as the builder desires, so long as such common open space element has a minimum dimension of 15'.</p>

\* Accessory Dwelling Unit may include full kitchen facilities.

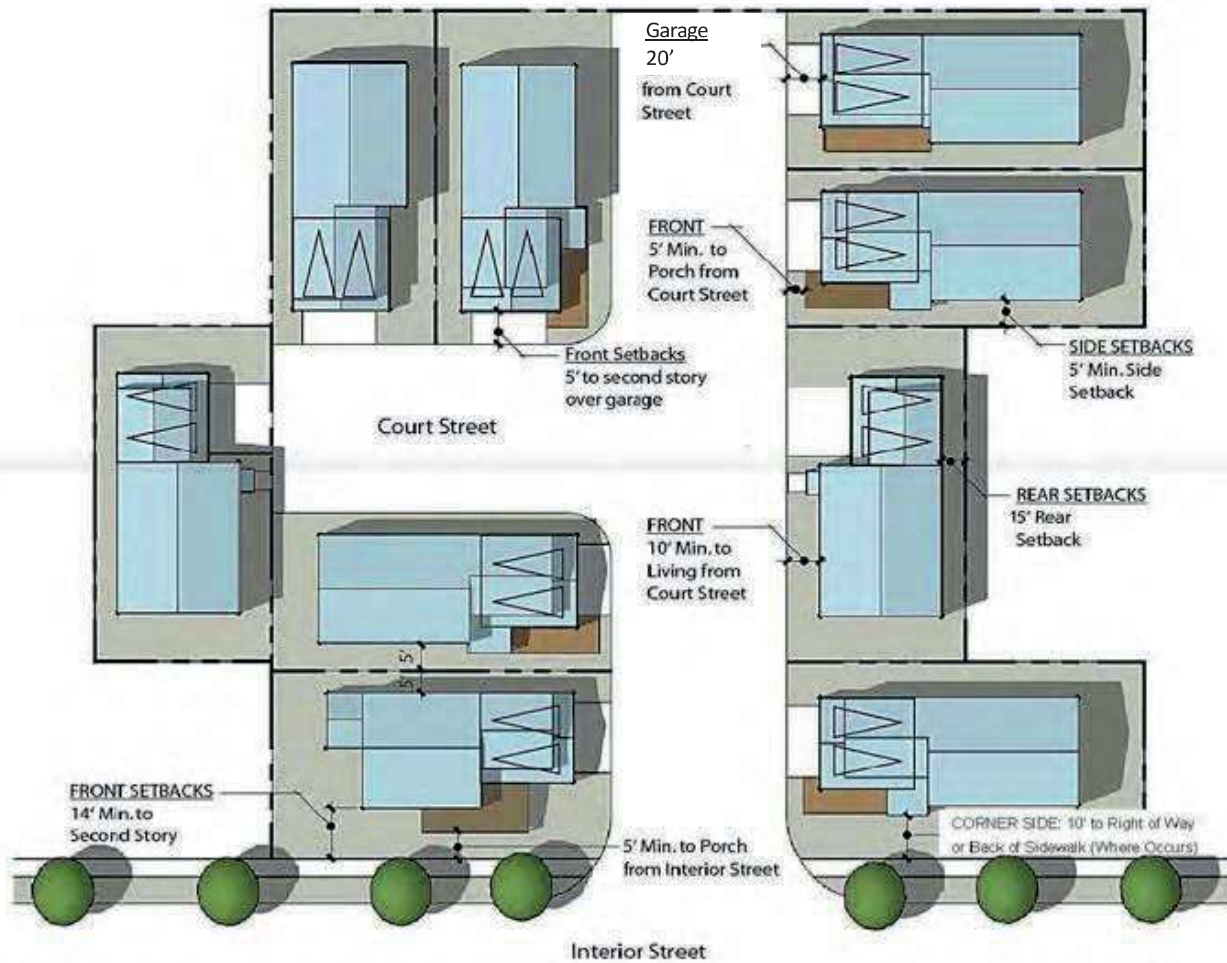
\*\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to Perimeter wall faces oriented to the inside boundaries of the subdivision.

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**Exhibit 4.3.3: R-CL Conventional, Cluster or Alley Configurations**

Zero Lot line conditions may occur.

**Zero Lot Line Conditions:**

If draining from one lot to another, a drainage easement will be required to accommodate the necessary drainage facilities.

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### 4.3.4 AA-1 Single Family Residential District

STANDARD	AA – 1 STANDARDS
Housing Types	Active Adult Single Family Detached
SKYE SUMMIT	
Minimum Lot Size s.f.	3,500
Dwelling Units per Lot	1
Min. Lot Width	40' (cul-de-sac or knuckle lots which do not meet minimum width at the street are allowed while maintaining minimum lot sizes, subject to ARC review)
<b>MINIMUM SETBACKS</b> <i>Refer to Exhibit 3.3.1 for Setback Diagram.</i> All setbacks measured from the property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Building</b>	
<ul style="list-style-type: none"> <li>Front (measured from property line)</li> </ul>	10' to single story Living, Porch or Attached Side Entry Garage 14' to second story 20' to third story 5' (cluster product only) or 20' to face of Front Entry Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	8' to ground level Porch 10' to first and second story living 15' to third story
<ul style="list-style-type: none"> <li>Rear</li> </ul>	10' to single story 15' to second story (May be reduced by 5' for 50% of building width for a maximum of 25% of product, subject to ARC approval). 20' minimum backyards are strongly encouraged. 20' to third story
<b>Detached Accessory Structure</b> (Single-Story only; including Casita* & Detached Side-Entry Garages)	
<ul style="list-style-type: none"> <li>Front</li> </ul>	Match principle structure requirement
<ul style="list-style-type: none"> <li>Side</li> </ul>	5'
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	5' to single story (14' maximum height)
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit (subject to 70% total lot coverage maximum)
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	
<ul style="list-style-type: none"> <li>Rear</li> </ul>	10' to post or edge of patio cover 8' to roof overhang 15' to post or edge of sundeck or balcony (may be reduced to 10' at perimeter edge with average 15' typ.) 13' to roof overhang (may be reduced to 8' at perimeter edge with average 13' typ.)

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STANDARD	AA – 1 STANDARDS
Housing Types	Active Adult Single Family Detached
<ul style="list-style-type: none"> <li>Side</li> <li>Corner Side</li> </ul>	5' to post or edge of patio cover, sundeck or balcony  8' to post or edge of patio cover, sundeck or balcony 6' to roof overhang
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Front</li> <li>Side</li> <li>Corner Side</li> </ul>	5' Setback  0' Setback  5' Setback
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	70% or less (Includes detached structures)
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> <ul style="list-style-type: none"> <li>3 Stories max. (Front/rear wall planes must be offset, box on box not allowed)</li> <li>35' max. height</li> </ul> <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	2 unimpeded spaces per unit within an enclosed garage
<b>Landscape Buffers and Turf Limitations</b>	
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	<ul style="list-style-type: none"> <li>Adjacent to Right-of-Way: 5' or building setback, whichever is less</li> </ul>
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.  Privacy walls separating single family detached homes may be eliminated subject to prior Developer review and approval. -Air conditioner condenser unit screening is always required.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' – 6" (3' Solid wall + 18" iron). Pilasters one course above wall
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.2.4) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Max. Perimeter Wall Height</li> </ul>	7' CMU screen and / or view fence (see Exhibits 5.2.1G and 5.2.3A)
<ul style="list-style-type: none"> <li>Max. CMU Retaining Wall Height</li> </ul>	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Rockery Walls</li> </ul>	Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.2.5) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above adjacent wall (see Exhibits 5.2.1D and 5.2.1G)
<ul style="list-style-type: none"> <li>Contrasting Material</li> </ul>	20%
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> </ul>	6' - 12' Exterior / 10'-16' Interior
<ul style="list-style-type: none"> <li>Max. Secondary Wall Height</li> </ul>	4' Exterior – 6' Interior
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Inside Dimensions</li> </ul>	4'
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above wall
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	5'-4"

\* Accessory Dwelling Unit may include full kitchen facilities.

\*\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to perimeter wall faces oriented to the inside boundaries of the subdivision.

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### 4.3.5 Single Family Attached District

STANDARD	R – TH STANDARDS
Housing Types	Single Family Attached Residences
SKYE SUMMIT	
Min. Lot Size s.f.	1,280
DU's per Lot	1
Min. Lot Width (ft)	24'
<b>MINIMUM SETBACKS</b> Refer to Exhibit 3.3.5 for Setback Diagram. All setbacks measured from property line. Corner side setbacks are subject to City of Las Vegas site visibility requirements. All setbacks are subject to the Residential Adjacency Standards described in the City of Las Vegas Unified Development Code, Section 19.06.040, Sub-section I. Encroachments no more than 12" in depth consisting of non-livable architectural projections are permitted into the front setback. When a 10' front setback occurs, the setback shall be inclusive of all architectural projections, and shall not permit encroachments. In no case, can any portion of the building, including pop-outs, be closer than 10' as measured from back of curb. Additional setback and/or easement may be required where street ROW or a utility easement is needed.	
<b>Main Buildings</b>	
<ul style="list-style-type: none"> <li>Front</li> </ul>	<ul style="list-style-type: none"> <li><u>From Interior Street, Paseo or Common Open Space</u> 5' to Porch 8' to Single Story Living 12' to Second Story Living ** 5' or 20' to face of Front Entry Garage Door</li> <li><u>From Alley / Private Street</u> 5' to Second Story Living over Garage ** 5' to Porch 10' to Single Story Living 10' to Second Story Living (12" offset above garage is required) 5' or 20' to face of Garage Door (measured from back of sidewalk or back of curb where no sidewalk is provided).</li> </ul> <p>** Exception: A 4' reduction to the minimum setback may be allowed if a minimum of (2) 3' horizontal offsets within a building and 12" horizontal massing feature are constructed.</p>
<ul style="list-style-type: none"> <li>Side</li> </ul>	0' at common wall 5' at building end wall 10' between buildings while still complying with building codes.
<ul style="list-style-type: none"> <li>Corner Side</li> </ul>	10'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	<ul style="list-style-type: none"> <li><u>Rear Yard with No Alley</u> 10'</li> <li><u>Rear Yard from Alley / Private Street</u> 5' to Second Story Living over Garage (cantilevered) ** 5' to Porch, Portico, Courtyard Wall or similar element 8' to Single Story Living 5' to Second Story Living (12" offset above garage is required) 5' or 20' to face of Garage Door</li> </ul> <p>** Exception: A 4' reduction to the minimum setback may be allowed if a minimum of (2) 3' horizontal offsets within a building and 12" horizontal massing feature are constructed.</p>
<b>Detached Accessory Structures</b>	
<ul style="list-style-type: none"> <li>Min. Separation to Main Bldg.</li> </ul>	6'
<ul style="list-style-type: none"> <li>Size and Coverage</li> </ul>	Not to exceed 50% of the floor area of the principle dwelling unit
<ul style="list-style-type: none"> <li>Side</li> </ul>	3'
<ul style="list-style-type: none"> <li>Rear</li> </ul>	0' from Alley / Private Street 3' when no Alley / Private Street
<b>Rear Patio Cover, Sundeck, Balcony</b> <i>A Patio Cover is an attached or detached accessory structure which is not enclosed and provides sheltered outdoor space. It is generally supported by posts extending to the ground.</i>  <i>A Balcony is a projecting non-enclosed portion of the house located 3' or more above the ground. It is generally cantilevered from the adjacent wall plane with no support posts extending to the ground.</i>  <i>A Sundeck is an attached unenclosed portion of the house located 3' or more above the ground. It may or may not have support posts extending to the ground.</i>	

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**SKYE SUMMIT**

STANDARD	R – TH STANDARDS
<ul style="list-style-type: none"> <li>Rear</li> <li>Side</li> <li>Corner Side</li> </ul>	5' to post or edge of sundeck or balcony 5' to post or edge of sundeck or balcony 5' to post or edge of sundeck or balcony
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>From Interior Street</li> </ul>	2'
<ul style="list-style-type: none"> <li>From Court St., Drive Aisle or Parking</li> </ul>	2'
<ul style="list-style-type: none"> <li>From Paseo or Common Open Space</li> </ul>	0'
<ul style="list-style-type: none"> <li>From Parcel Boundary Adjacent to</li> <li>Perimeter Street</li> </ul>	10'
<ul style="list-style-type: none"> <li>From Adjacent Parcel PL</li> </ul>	10'
<b>Min. Distance Between Buildings</b> <i>(Primary Walls are those walls which contain the primary glazing and/or private outdoor space per unit. All other elevations are considered Secondary Walls.)</i>	15'
<b>Max. Lot Coverage</b> <i>The percentage of lot area covered by all buildings and structures after the area required for dedicated public roadway (not including utility easements) is subtracted.</i>	95%
<b>Max. Building Height</b> <i>(Vertical distance between the building's finished floor elevation and either 1) the highest point of the coping of a flat roof; 2) the deck line of a mansard roof; or 3) the average height level between the eaves and ridge line of a gable, hip or gambrel roof.)</i>	<b>Main Building</b> 3 stories max.; 45 feet max. (Front/rear wall planes must be offset, a minimum of 24").  <b>Accessory Structure</b> 14' maximum (single-story only)
<b>Parking</b>	1 unimpeded space per dwelling unit, plus 1 guest parking space per 6 units. In neighborhoods where 5' driveways are proposed, additional off-street parking must be provided, subject to ARC review and approval.
<b>Landscape Buffers and Turf Limitations</b>	Landscaping required in alley between garages.
<ul style="list-style-type: none"> <li>Minimum Zone Depths</li> </ul>	Adjacent to Right-of-Way: 6' or building setback, whichever is less
<ul style="list-style-type: none"> <li>Parking Lot Screening</li> </ul>	Screening from adjacent roadways shall be provided
<ul style="list-style-type: none"> <li>Turf Coverage</li> </ul>	0%
<b>WALLS AND FENCES</b>	Front Screen Walls, when provided, shall have the same minimum setback requirement as the main building.
<b>Courtyard Walls</b>	
<ul style="list-style-type: none"> <li>Maximum height</li> </ul>	4' -6" (3' Solid wall + 18" iron) Pilasters one course above adjacent wall/fence
<b>Perimeter and Retaining Walls</b>	
<ul style="list-style-type: none"> <li>Max. Overall Height</li> </ul>	12' Exterior – 16' Interior (See Exhibit 5.2.4) 19' exterior on lots adjacent to open space (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Max. Perimeter Wall Height</li> </ul>	7' CMU screen and / or view fence (see Exhibits 5.2.1G and 5.2.3A)
<ul style="list-style-type: none"> <li>Max. CMU Retaining Wall Height</li> </ul>	6' exterior – 10' interior. 12' at lots adjacent to open space. (see Exhibit 5.2.3B)
<ul style="list-style-type: none"> <li>Rockery Walls</li> </ul>	Max 15' exterior / interior (shallow root planting only within 6' of base of wall). (See Exhibit 5.2.5) Exterior rockery walls of 12' or taller shall be set back a minimum of 14' from the edge of any public right-of-way.
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above adjacent wall (see Exhibits 5.2.1D and 5.2.1G)
<ul style="list-style-type: none"> <li>Contrasting Material</li> </ul>	20%

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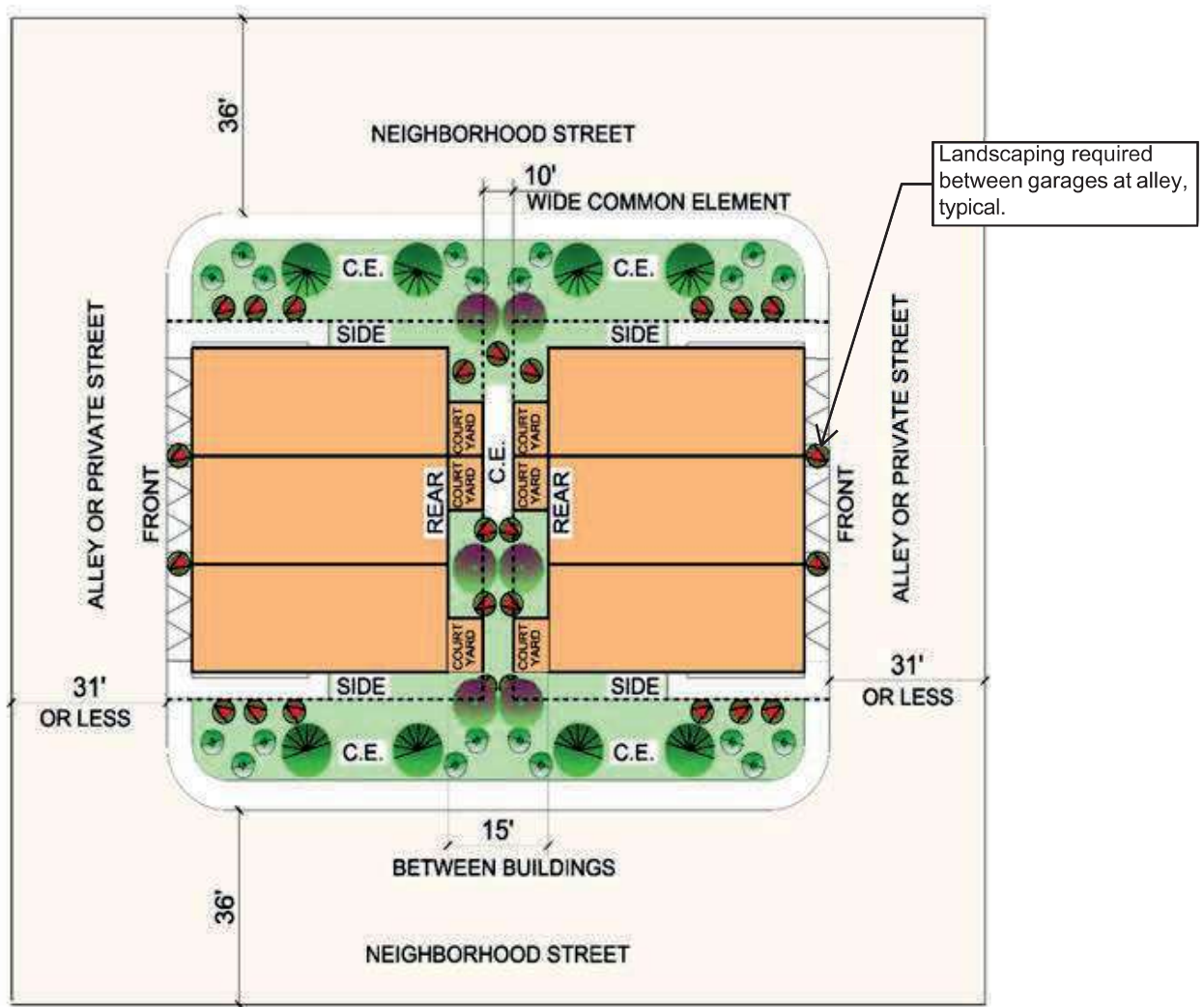


STANDARD	R-TH STANDARDS
<b>Perimeter and Retaining Walls Standard Stepback</b>	(See Exhibit 5.2.4)
<ul style="list-style-type: none"> <li>Max. Primary Wall Height</li> </ul>	6' - 12' Exterior / 10' -16' Interior
<ul style="list-style-type: none"> <li>Max. Secondary Wall Height</li> </ul>	4' Exterior – 6' Interior
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Inside Dimensions</li> </ul>	4'
<ul style="list-style-type: none"> <li>Max. Pilaster Height</li> </ul>	One course above wall
<ul style="list-style-type: none"> <li>Min. spacing between wall sections – Outside Dimensions</li> </ul>	5'-4"
<ul style="list-style-type: none"> <li></li> </ul>	
<b>Open Space</b>	
<b>Private Outdoor Space</b>	<p><b>125 s.f.</b> with 8' minimum dimension and 75% open to the sky (May be located on the front, side or rear of unit)</p> <p>On perimeter or corner lots, Private Open Space shall be located adjacent to the exposed property line to provide articulation to the building mass on these visible edges. Privacy wall or fence may enclose Private Open Space in such cases.</p>
<b>Common Open Space</b>	<p>100 sq. ft. per unit for the first 100 units, <i>plus</i> 50 sq. ft. for each additional unit.</p> <p>The first 10,000 s.f. of required common open space shall be consolidated into a single amenity area, visible from the main entry of the project to the extent feasible. The balance of any cumulative common open space requirement exceeding 10,000 s.f. may be distributed throughout the project as the builder desires, so long as such common open space element has a minimum dimension of 20'.</p>

\* "Exterior" refers to perimeter wall faces oriented toward the outside boundary off a subdivision and "interior" refers to Perimeter wall faces oriented to the inside boundaries of the subdivision.

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### Exhibit 4.3.4: R-TH Conventional



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## MONUMENT AND WALL DESIGN STANDARDS

### 5.1 ICONIC MONUMENT HIERARCHY

Iconic monuments, gateways, and entry structures will vary in size, scale, and communication, depending on the placement, function, and role in portraying the brand / image of SKYE SUMMIT. Although the extent and scale may vary with each land use type, individually they will set forth a consistent, homogeneous use of forms, materials, and colors that will impart a consistent visual image within the community-at-large.

#### 5.1.1 PRIMARY / COMMUNITY ENTRIES

Primary / community entries create a clear sense of arrival with a well-positioned monument structure. Each entry monument design and location shall be in accordance with the design theme of the community.

Enhanced paving within the entry shall consist of concrete pavers.

Refer to **Section 3.1.7** for lighting requirements.

Plant materials shall be consistent with the SKYE SUMMIT **Acceptable Tree List, Exhibit 8.2.1** and **Acceptable Plant List, Exhibit 8.2.2**, the Master Declarant project design, and / or other ARC approved species. All species shall be compliant with the Southern Nevada Water Authority (SNWA).

#### 5.1.2 SECONDARY / COMMUNITY ARTERIAL ENTRIES

Secondary / community arterial entries / intersections shall be perceived as more pedestrian-oriented crossing experiences. These asymmetrical monuments welcome residents and guests to the community displaying the SKYE SUMMIT symbol and name.

Enhanced paving within the crosswalks shall consist of concrete pavers. Plant materials shall be consistent with the SKYE SUMMIT **Acceptable Tree List, Exhibit 8.2.1** and **Acceptable Plant List, Exhibit 8.2.2**, the Master Declarant project design, and / or other ARC approved species. All species shall be compliant with the Southern Nevada Water Authority (SNWA).

#### 5.1.3 BUILDER EXTERIOR SUBDIVISION RESIDENTIAL ENTRIES

Builder exterior subdivision residential entries shall be perceived as more pedestrian-oriented crossing experiences and shall display the name of the neighborhood. Builder signage and monuments require ARC design review and approval. Refer to **Exhibit 5.1.2: Builder Subdivision Signage**.

Plant materials shall be consistent with the SKYE SUMMIT **Acceptable Tree List, Exhibit 8.2.1** and **Acceptable Plant List, Exhibit 8.2.2**, the Master Declarant project design, and / or other ARC approved species. All species shall be compliant with the Southern Nevada Water Authority (SNWA).

## 5.2 BUILDER PARCEL WALLS

### 5.2.1 Perimeter Walls

Subdivision perimeter walls abutting streets or common areas shall be 1-side split face block with 2" precision cap. Color shall be per Master Declarant.

Subdivision perimeter walls facing private lots shall be smooth precision block (interior of lot) with two inch 2" cap unless visible to the street.

In all conditions, walls visible to the street shall be double split face, **non-interlocking** block, including all retaining walls.

Any wall abutting an interior street or common area shall be split face block with 2" precision cap. Color shall be per Declarant.

Top header shall be a two inch (2") cap. Any sub-division perimeter walls that are abutting common areas of visible to the street on both sides, shall be double sided split face block. Color shall be per Declarant.

Refer to the graphic pictorials in **Exhibit 5.1.1** Refer to **Exhibit 5.2.1H** for stepped wall conditions. Refer to **Exhibits 5.2.4 and 5.2.5** for stepped wall conditions at parcel interiors.

On corner lots, both the building and wall must be designed so as not to interfere with the site visibility at the adjacent intersection.

### 5.2.2 WALLS BETWEEN HOMES and INTERIOR PARCEL WALLS

Walls separating lots shall be 6' high, split face block. Wall color shall match color of common area walls. Waterproof material shall be applied to wall as applicable. These walls shall not extend above the height of any Subdivision Perimeter Wall. Refer to the graphic pictorial in **Exhibits 5.1.1 and 5.1.2**. Refer to **Exhibits 5.4 and 5.2.5** for stepped wall conditions at parcel interiors.

- Prohibited: Vinyl Fencing

### 5.2.3 SHEEP MOUNTAIN PARKWAY PERIMETER WALLS

Walls adjacent to Sheep Mountain Parkway within any zoning district are permitted to have retaining wall heights up to 8' and screen walls up to 8', for an overall height of 16'. Said walls are similar in nature to any perimeter wall within the Community and as such, the property owner is responsible for the maintenance of the portion of the wall on their side, and the side facing Sheep Mountain Parkway will be the responsibility of SKYE SUMMIT Community Association.

**5.2.4 VIEW FENCE**

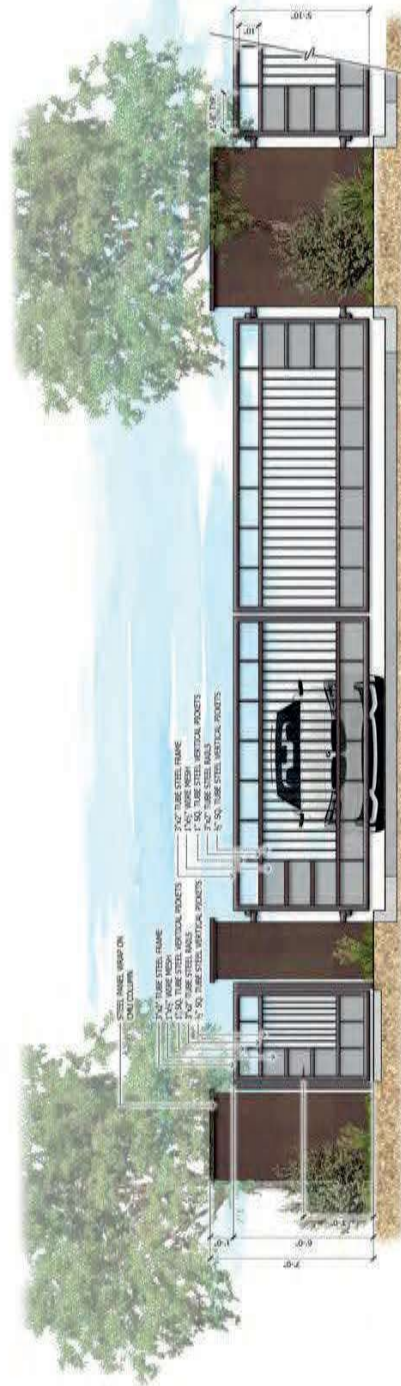
Homes abutting Paseos, Trails, and Parks shall be wrought iron view fencing. Refer to the graphic pictorial in **Exhibit 5.8**.

**5.2.5 WALL PLAN**

Master Declarant shall review and approve the wall plan for each parcel prior to submittal to City of Las Vegas.



### EXHIBIT 5.1.1 BUILDER ENTRY



1 Vehicular and Pedestrian Gate Option 2  
SCALE: 1/8" = 1'-0"



**SKYE SUMMIT**  
Entry Gates

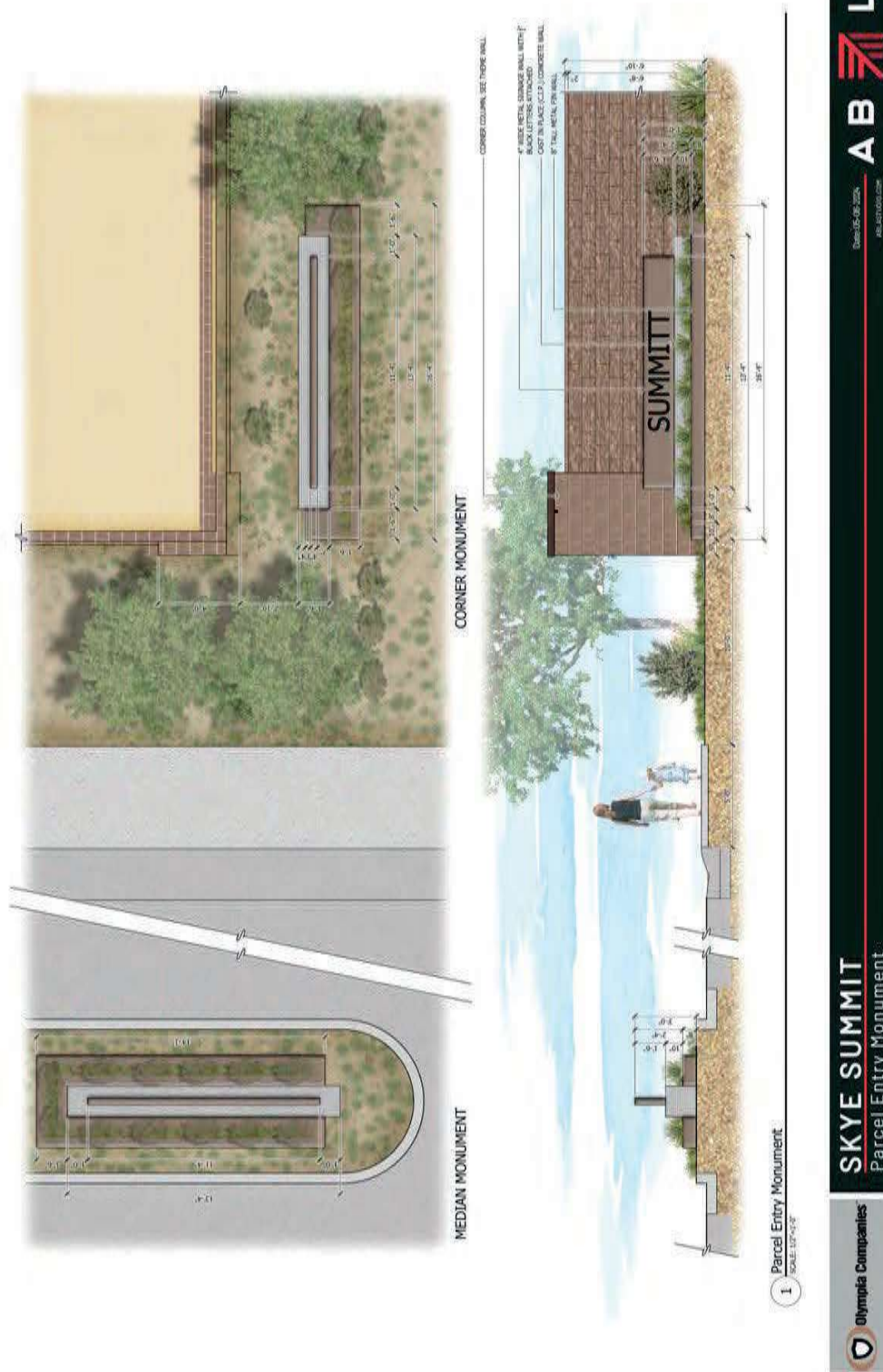


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### EXHIBIT 5.1.2 BUILDER SUBDIVISION SIGNAGE

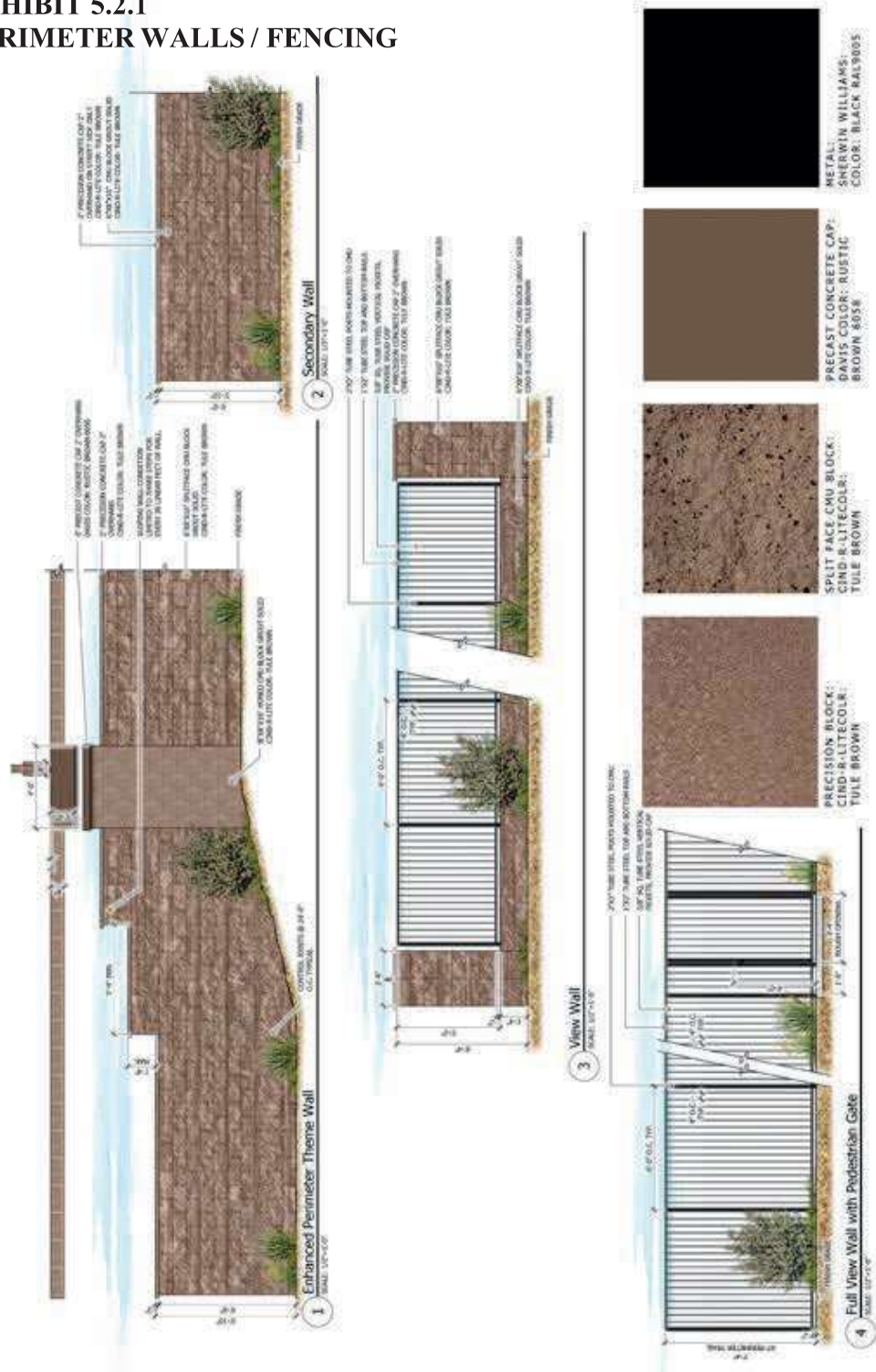


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## EXHIBIT 5.2.1 PERIMETER WALLS / FENCING



**SKYE SUMMIT**

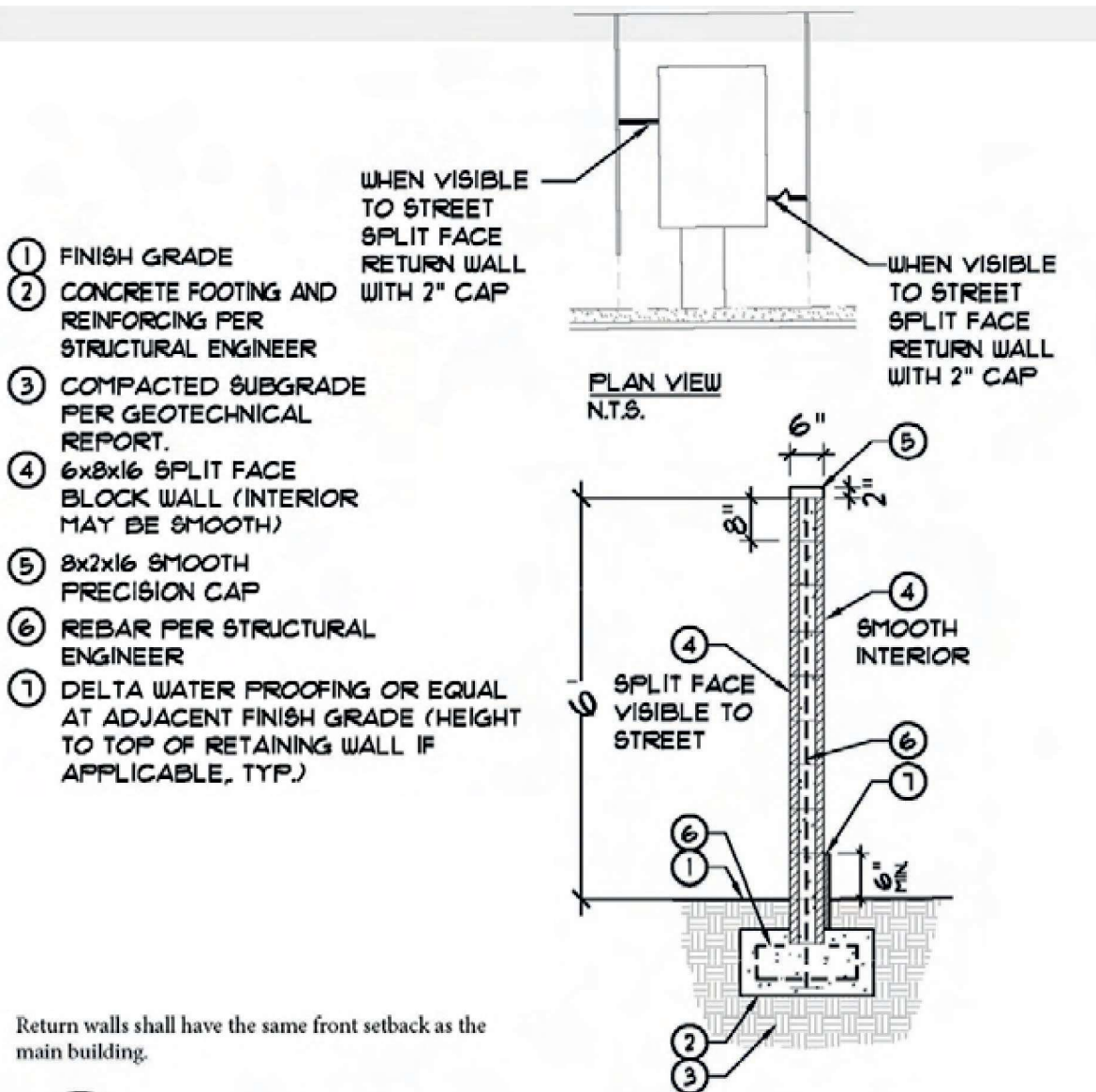
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## EXHIBIT 5.4 RETURN WALLS



**A** 6' HIGH SPLIT FACE RETURN WALL  
 SCALE: 1/2" = 1'-0"

## EXHIBIT 5.6 STEPPED WALL

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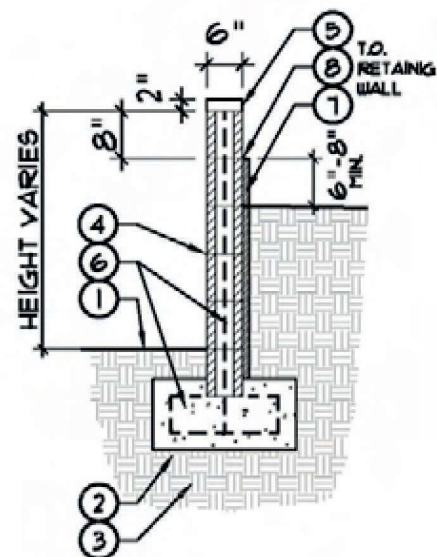
## EXHIBIT 5.5 RETAINING WALLS

- ① FINISH GRADE
- ② CONCRETE FOOTING AND REINFORCING PER STRUCTURAL ENGINEER
- ③ COMPACTED SUBGRADE PER GEOTECHNICAL REPORT.
- ④ 6x8x16 SPLIT FACE BLOCK WALL (INTERIOR MAY BE SMOOTH)
- ⑤ 8x2x16 SMOOTH PRECISION CAP
- ⑥ REBAR PER STRUCTURAL ENGINEER
- ⑦ DELTA WATER PROOFING OR EQUAL AT ADJACENT FINISH GRADE (HEIGHT TO TOP OF RETAINING WALL, TYP.)
- ⑧ TOP OF RETAINING WALL TO BE 6"-8" MINIMUM ABOVE FINISH GRADE

WHEN VISIBLE  
TO STREET  
SPLIT FACE  
RETURN WALL  
WITH 2" CAP

WHEN VISIBLE  
TO STREET  
SPLIT FACE  
RETAINING WALL  
WITH 2" CAP

PLAN VIEW  
N.T.S.



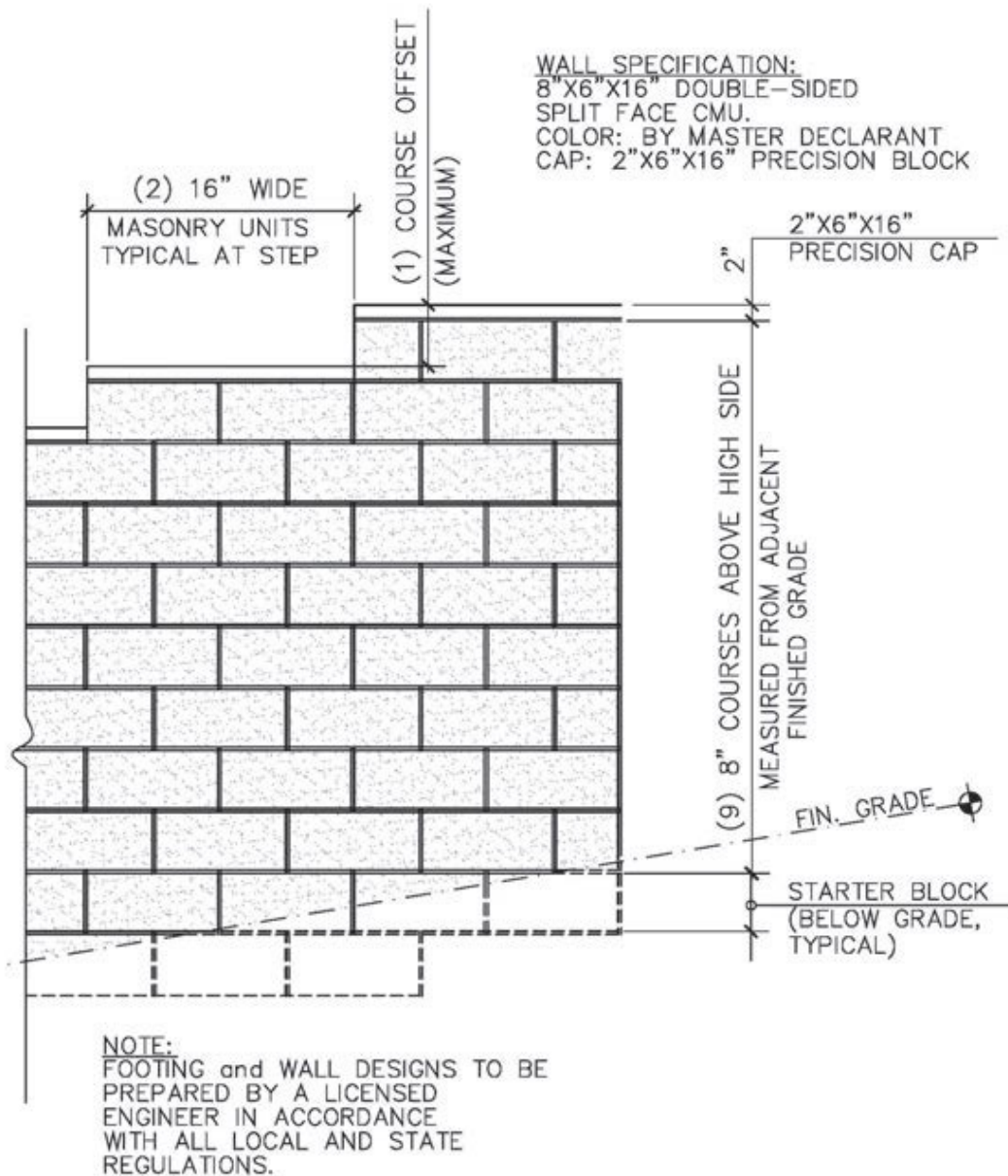
**A**

### LOW SPLIT FACE RETAINING WALL

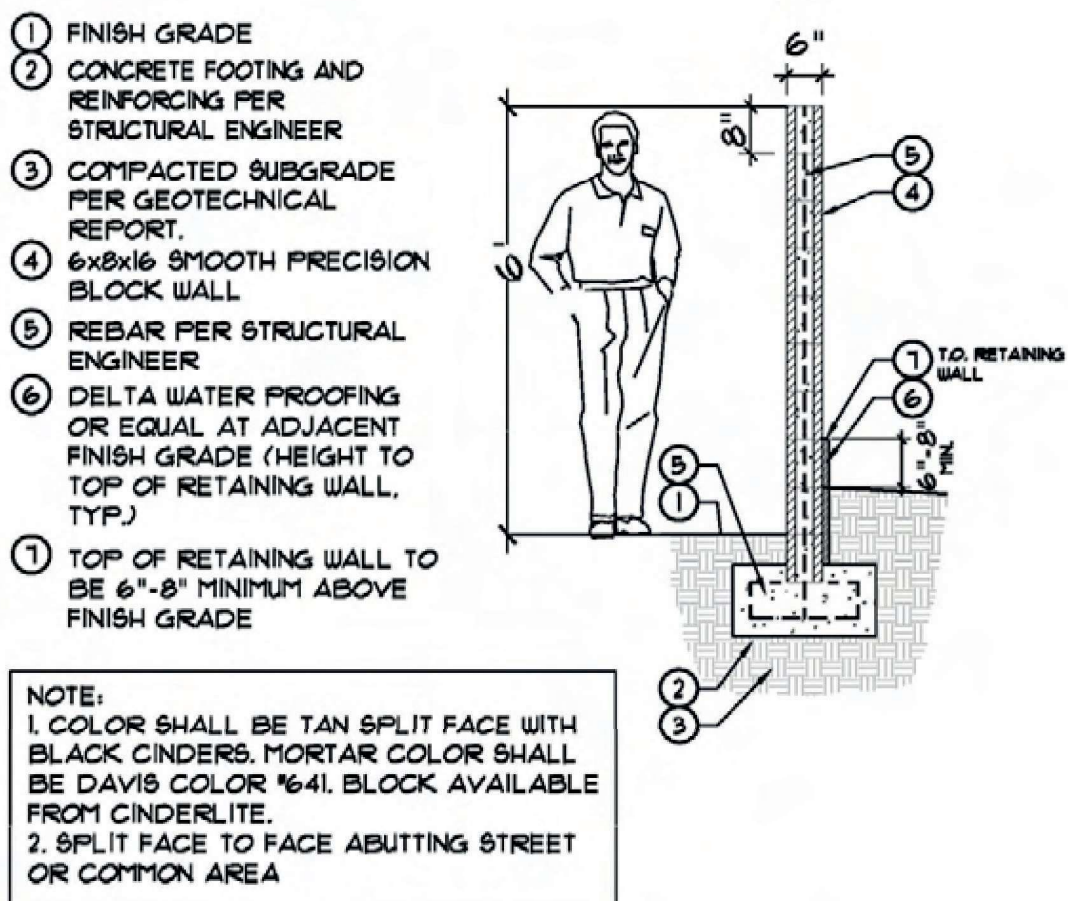
SCALE: 1/2" = 1'-0"



## EXHIBIT 5.6 STEPPED WALL

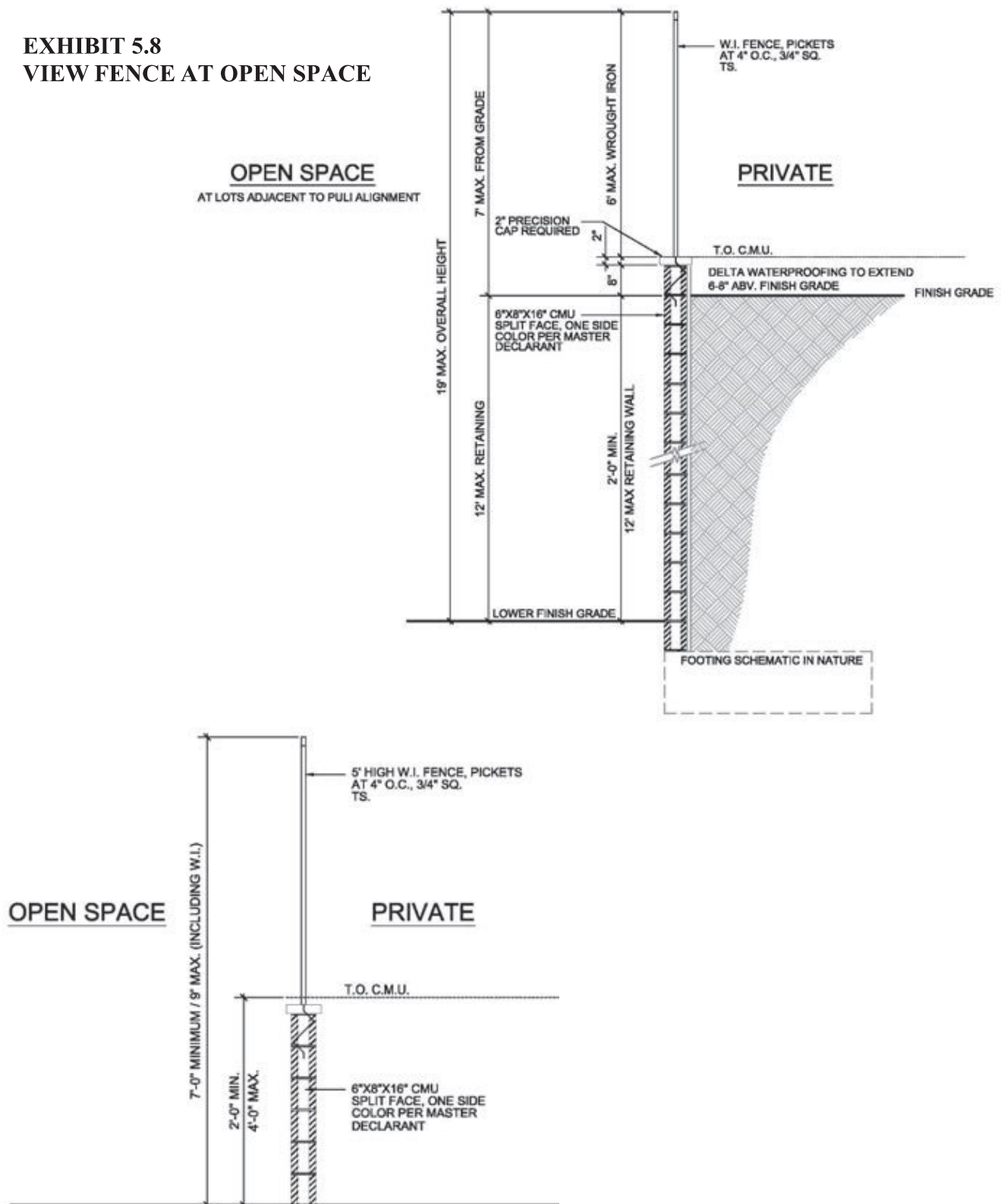


## EXHIBIT 5.7 INTERIOR WALLS

**6' HIGH PRECISION BLOCK INTERIOR WALL**

SCALE: 1/2"=1'-0"

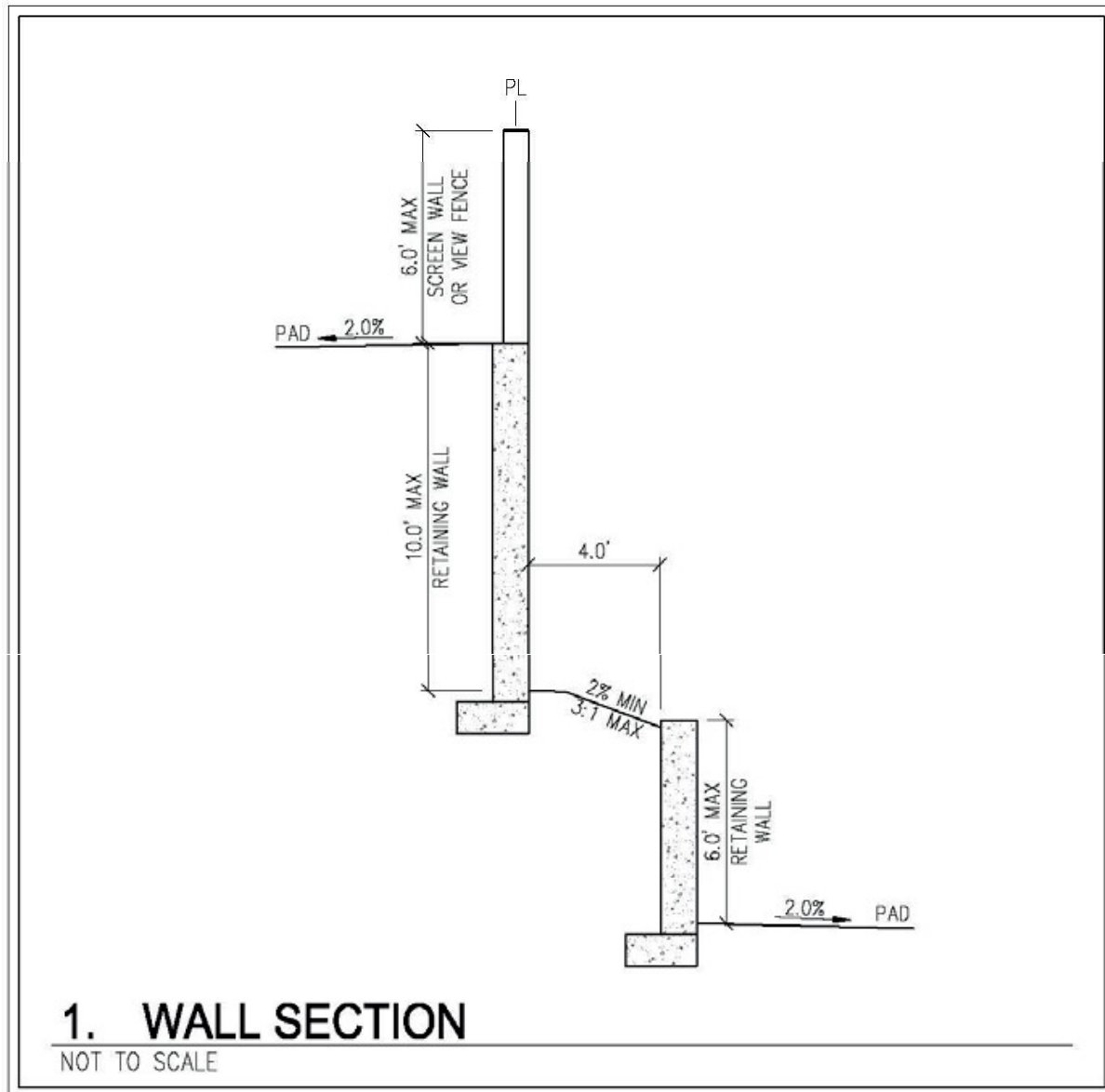
### EXHIBIT 5.8 VIEW FENCE AT OPEN SPACE



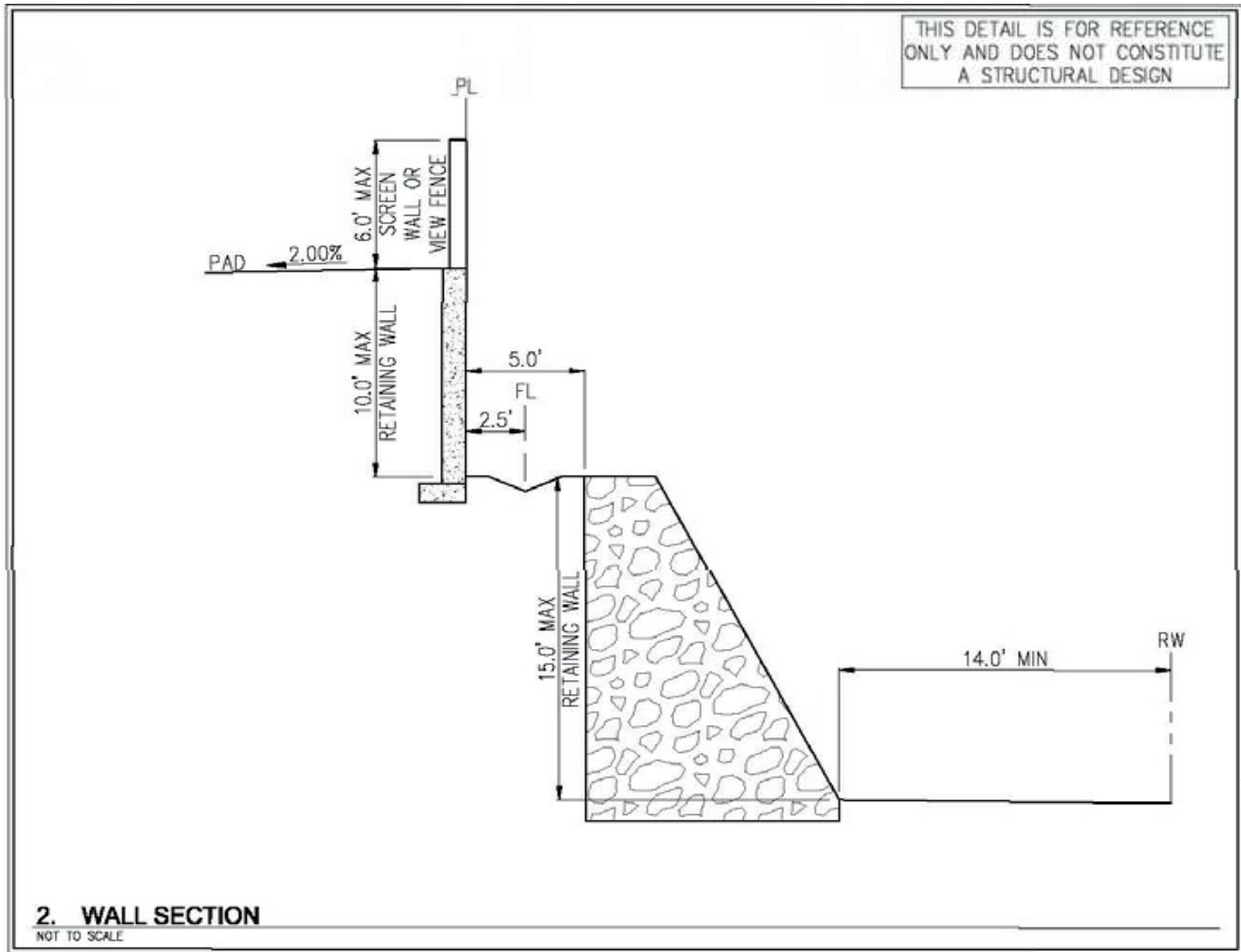
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**EXHIBIT 5.9: SUBDIVISION STEPPED WALL  
AT PARCEL INTERIORS AND EXTERIORS**

**EXHIBIT 5.10: SUBDIVISION ROCKERY AND STEPPED WALL  
AT PARCEL INTERIORS AND EXTERIORS**



EXTERIOR ROCKERY WALLS OF 12' OR TALLER  
SHALL BE SET BACK A MINIMUM OF 14' FROM  
THE EDGE OF ANY PUBLIC RIGHT-OF-WAY



## 6.1 BUILDER MARKETING SIGNAGE STANDARDS

### 6.1.1 INTRODUCTION

- The intent of the Builder Marketing Signage Standards is to provide guidelines necessary to achieve a visually coordinated, balanced and appealing Marketing Signage environment within SKYE SUMMIT.
- Conformance with the Sign Standards shall be enforced, and any nonconforming signs shall be removed by the Builder or Builder's sign contractor at Builder's expense, upon demand by Master Declarant, or its duly appointed representative.
- Master Declarant or his representative, shall review exceptions to these standards. The Master Declarant, or his representative, will retain full rights of approval of any proposed signage within SKYE SUMMIT.

## 6.2 GENERAL BUILDER REQUIREMENTS

1. Each Builder shall submit to Master Declarant for approval, PDF files of the detailed shop drawings of Builder's proposed Marketing Signage Plan for review.
2. Following review and subsequent approval, the Master Declarant shall provide a letter indicating approval of the Builder Marketing Signage to accompany the signage package for City permit submittal.
3. The Builder shall pay for all signs, their installation and maintenance.
4. The Builder or his representative shall obtain all necessary permits.
5. The Builder shall be responsible for fulfillment of all requirements of the Builder Sign Criteria.
6. Builder shall repair any damage to any property caused by his work.
7. Builder shall be fully responsible for the operations of the Builder's sign contractors.
8. The location of all signs shall be per the Master Declarant reviewed and approved sign package.
9. Builder shall immediately remove all signs representing a discontinued or sold-out product.
10. Builder is responsible for all on-going maintenance of signage. All signs shall be maintained in "first-class" condition.

11. Upon removal of any sign by Builder, any damage to the landscaping or common areas area will be repaired by the Builder at the Builder's expense. Repair work to be completed within a ten (10) day period.
12. Special signs which vary from this Builder Marketing Sign Standards must first be approved by the Master Declarant and respective City authority.
13. Master Declarant shall have the right to remove, at Builder's expense upon seven (7) days written notice, any signs installed contrary to this Builder Marketing Signage Standards.

### 6.3 GENERAL SIGN SPECIFICATIONS

1. Builder Marketing Signage shall occur within the limits of the Builder Parcel, inside the Perimeter Walls of each neighborhood. Installation of Builder Marketing Signage outside the Perimeter Walls, and in existing or future Common Areas is prohibited.
2. No Builder Marketing Signage shall be affixed to block walls. Permanent Entry / Community signage shall confirm to the SKYE SUMMIT Development Standards and Design Guidelines and is also subject to Master Declarant review and approval prior to fabrication or installation.
3. Any signs, consisting of any moving, swinging, rotation, flashing, blinking, scintillating, fluctuating or otherwise animated light are prohibited.
4. Builder shall provide a site map indicating location of all proposed signage for review and approval by the Master Declarant.
5. Off-Premise Signs:

Any signs, inclusive of a directional sign not installed by the Master Declarant, installed for the purpose of advertising a product, event, person, or subject not related to the premises upon which said sign is located are prohibited, without written consent of the Master Declarant. This includes A-Frames, or any other temporary signage.

6. Marketing signage that is located outside the master planned community of SKYE SUMMIT (billboards, post and panel, etc.), but is advertising for a project within SKYE SUMMIT, shall include the SKYE SUMMIT logo.
7. Builders may be included on the Master Declarant installed Ladder Signs by participating in the Marketing Co-Op for the community.

## 6.4. SIGN TYPES

### 6.4.1 Post and Panel Signs:

- Maximum size of post and panel signs shall be 10' x 16'. Posts shall be painted.
- One (1) double sided Post and Panel sign is permitted per builder parcel.
- Sign shall be placed shall occur within the limits of the Builder Parcel, inside the Perimeter Walls of each neighborhood. Installation of Builder Marketing Signage outside the Perimeter Walls, and in existing or future Common Areas is prohibited.
- Sign design shall incorporate the SKYE SUMMIT Logo.

#### Post and Panel Example:



#### D/F 8x16 ON-SITE SIGN

- SUBSTRATE - MDO WOOD SUBSTRATE W/ WHITE VCO GRAPHICS MOUNTED TO WOOD POSTS AS REQUIRED
- PROJECT LOGO & SUPPORT COPY - WHITE COPY WITH PANTONE 540/BLEU BACKGROUND
- PULTE LOGO - WHITE
- RIDERS - WHITE BACKGROUND W/ PANTONE 540/BLEU COPY
- SKYE CANYON - PANTONE 659 /LT. BLUE, PANTONE 187/BROWN & BLACK
- FONT - BROWN TT

**SKYE SUMMIT**

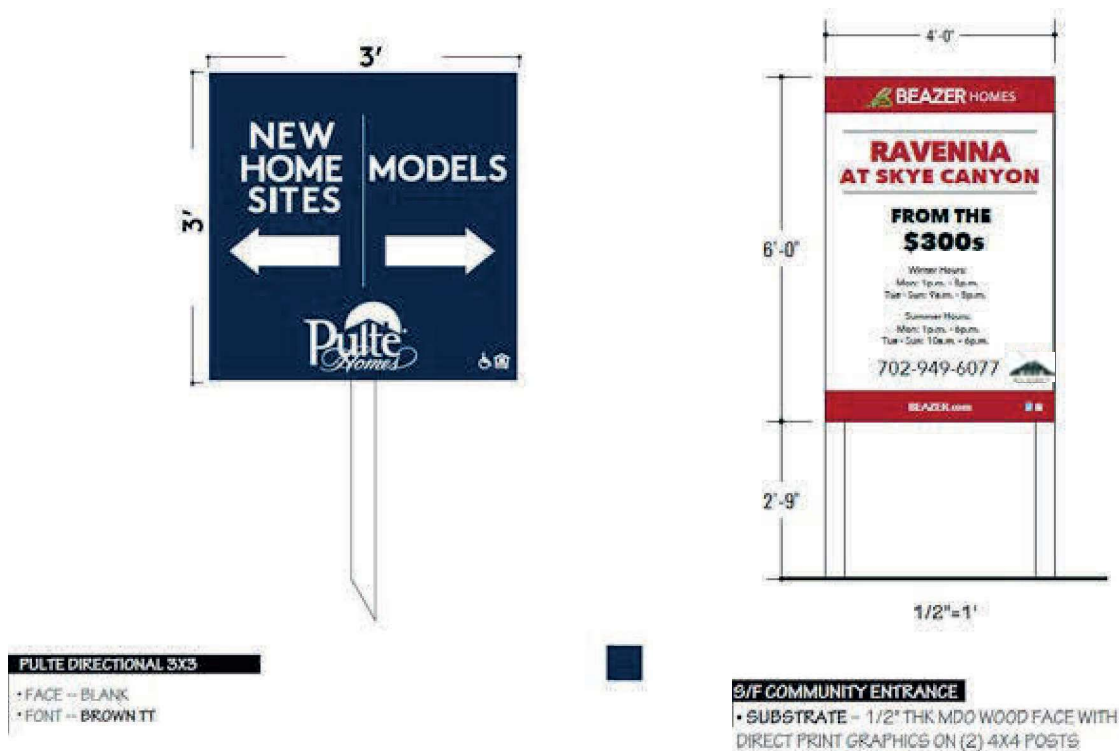
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### 6.4.2. Multi-Directional or “Mini” Post and Panel signs.

- a. 3’x3’ or 4’x6’ post and panel signs are permitted within each parcel at the model complex.

Multi-Directional and Mini Post and Panel Examples:



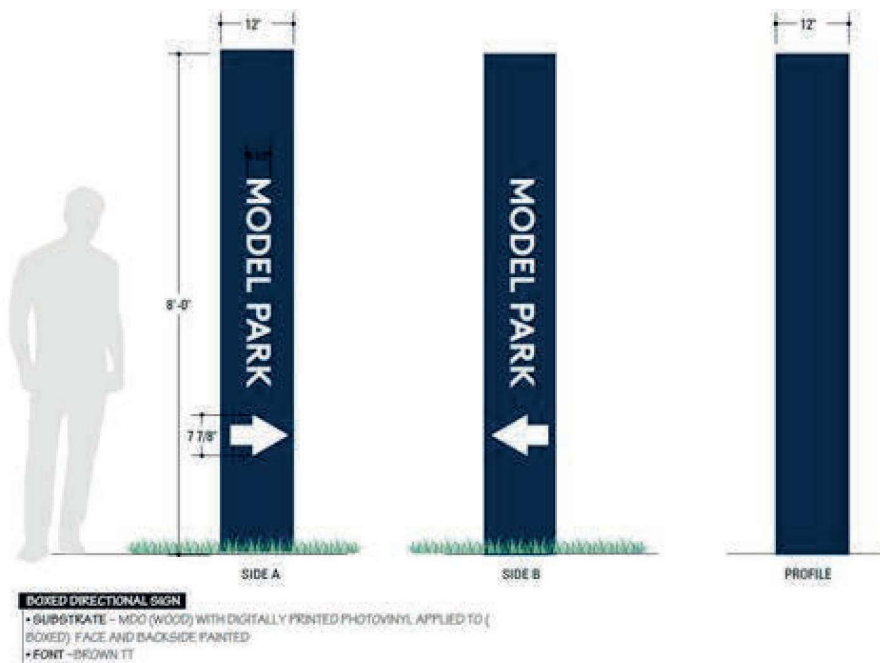
Multi-Directional

Mini Post and Panel

### 6.4.3 Secondary Boxed Signs:

- a. One (1) 12" wide x 8' tall box sign may be placed at the center median at the entry to each parcel.

Secondary Boxed Sign Example:





**6.4.4. Flags:**

- a. Flags indicating the name of the community or builder are permitted along the street frontage of the builder parcel. Flags shall occur within the limits of the Builder Parcel, inside the Perimeter Walls of each neighborhood. Installation of any Builder Marketing Signage outside the Perimeter Walls, and in existing or future Common Areas is prohibited.

Example of acceptable flag placement (subject to review and approval by Master Declarant):

**6.4.5 Banners:**

- a. Banners of any type are prohibited.

**6.4.6 A-Frames or other Directional Signage:**

- a. A-Frames are not permitted outside builder parcel. Any A-Frames shall occur only within the limits of the Builder Parcel, inside the Perimeter Walls of each neighborhood.
- b. Installation of any Builder Marketing Signage outside the Perimeter Walls, and in existing or future Common Areas is prohibited

Examples of prohibited A-Frames and other directional signage:



## **ARCHITECTURAL DESIGN GUIDELINES**

### **7.1 INTRODUCTION**

The Architectural Design Guidelines for residential areas of SKYE SUMMIT are intended to facilitate the creation of diverse and varied streetscapes while creating a cohesive sense of place in keeping with the overall community design concept. Architecturally, SKYE SUMMIT employs a few key features that will define the community and elevate the designs by all builders:

- Multiple wall plan breaks required which creates interest in the street scene

#### **ARCHITECTURAL STYLES**

- Contemporary Craftsman
- Contemporary Farmhouse
- Contemporary Prairie
- Desert Contemporary
- Contemporary Italian
- Contemporary Spanish
- Contemporary Tuscan
- Mid-Century Modern

The architectural styles permitted within SKYE SUMMIT are Contemporary interpretations of Contemporary Craftsman, Contemporary Farmhouse, Contemporary Prairie, Contemporary Desert, Contemporary Italian, Contemporary Spanish, Contemporary Tuscan, and Mid-Century Modern. An architectural image board of each style is presented in this section. The image boards provide visual examples of each style and their primary identifying characteristics.

The styles that have been selected for the Design Guidelines have proven to be compatible with the Las Vegas climate. Other architectural styles may be allowed subject to review and approval by the Master Declarant's Architectural Review Committee (ARC). The Architect may choose to follow a traditional design approach for the selected style, may explore more contemporary expressions of the selected style for a fresh and unique architectural look or a blend of both. Updated interpretations may consider the following:

- Simple yet bold massing of building forms
- Asymmetric building facades with exaggerated massing
- Multiple wall planes
- Strong use of the roof as a design statement including shed roof forms, parapets, and/or over-scaled gable or hip roof forms
- Multiple ridge heights

- Bold use of color to accentuate building forms
- Simplicity of details, exaggerated for emphasis
- Simplified use of materials on accenting wall planes
- Materials used and applied in unique manner
- Use of simple or no mutins
- Simple window trimming, use of shutters discouraged

Each single family or paired home neighborhood with more than 125 units shall consist of at least 12 distinct combinations of plans and elevations. For example,

- 3 plans with 4 elevation styles each
- 4 plans with 3 elevation styles each

Neighborhoods with up to 125 units shall consist of at least 9 distinct combinations of plans and elevations. For example:

- 3 plans with 3 elevations styles each.

**Single Family Attached** neighborhoods shall be designed with one architectural style for a cohesive neighborhood thematic design concept.

Sections 7.2 through 7.5 contain the general architectural requirements for all Single Family residences within the community regardless of the architectural style selected. Sections 7.9 through 14 contain checklists of the primary identifying characteristics of each style and the requirements that must be included on residences designed for each selected style.

Builders are encouraged to utilize sustainable building practices, taking into consideration alternative power sources and water conservation techniques when designing and building their homes. When solar power is implemented by the builder, care should be taken to ensure the solar power system becomes an integral part of the exterior design of the home.

## 7.2 SINGLE FAMILY

The architecture of a house is comprised of three basic components regardless of its architectural style. These architectural components consist of Building Facades, Roofs, and Detail Elements. Together, when these components are designed appropriately, a cohesive yet diverse residential neighborhood environment will be realized, consistent with the goals and objectives of the SKYE SUMMIT master plan.

### ARCHITECTURAL COMPONENTS

- BUILDING FACADES
- ROOFS
- DETAIL ELEMENTS

## 7.3 BUILDING FACADES

- **BUILDING MASSING AND FORM**
  - Total living area square footage (excluding garage area) is limited to 70% of the lot size. Unit square footage may exceed 70% so long as an enhanced product and/or site plan concept is provided, subject to review and approval by the Master Declarant.
  - On 2-story residences, the second story (including volume spaces over 12' high) floor area is limited to 90% of the building footprint area, including garage.
  - Variety in building forms provide diversity and visual interest to the neighborhood street scene. The following shall be incorporated into the design of residential structures:
    - Articulation of wall planes
    - Projections and recesses to provide shadow and depth
    - Simple bold forms
    - Combinations of one and two story forms.
  - Building wall planes, on the front elevation, shall be staggered to create interest along the street scene, to provide a desirable human scale, and to avoid visual monotony. The minimum offset between wall planes shall be 12". Building articulation is preferred over added 12" wall planes as a means to create visual interest.
 

• Entry Level / Move-Up	Minimum 3 wall planes at 2nd floor
• 2nd Move-Up	Minimum 3 wall planes at 2nd floor
• Estates	Minimum 4 wall planes at 2nd floor



- Residential design shall provide articulation and detail to the rear and side of the dwelling when visible from public spaces within the community.
- The use of second story balconies along the front elevation is encouraged to provide visual interest to the street scene.

### 7.3.1 BUILDING MATERIALS AND COLORS

- The design of residences shall use building materials that are consistent with the architectural styles as identified on the architectural checklist for each style, including:
  - Stucco
  - Cementitious Wood Siding or Shingles
  - Brick
  - Stone
- Stucco surfaces shall be as follows:
  - **Entry Level / Move-Up Product**

Primary Wall Surfaces:	Light lace or smoother
Trim, stucco eaves, banding, etc.:	Light lace or smoother
  - **2<sup>nd</sup> Move-Up, Estate Product**

Primary Wall Surfaces:	Stucco with dash or sand finish
Trim, stucco eaves, banding, etc.:	Sand or smooth finish
  - **Single Family Attached Product**

Primary Wall Surfaces:	Light lace or smoother
Trim, stucco eaves, banding, etc:	Light lace or smoother
- All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches, or balconies in their entirety.
- Material changes shall occur at inside corners. Materials applied to any elevation shall turn the outside corner and end at a logical termination point related to the architecture such as roof lines or building massing when they are available, otherwise return shall be 3' minimum before terminating.
- Color or material breaks at garage corners shall have a return dimension equal to or greater than the width of the material on the front elevation.
- Building, trim and accent colors must be approved by the ARC.

**NUMBER OF COLOR SCHEMES**

Each single-family product line shall have at least four color schemes per elevation style. Color schemes shall vary between product lines.

Each single-family attached neighborhood shall have one color scheme and one elevation style.

Non-residential uses are subject to ARC Review & Approval, and must be compatible with these guidelines.

**BUILDING COLORS**

Unless otherwise noted in the architectural checklists per style, each color scheme for building elevations shall consist of at least four different colors:

- Primary Base Color  
Stucco, masonry, or siding on primary wall surfaces
- Secondary Base Color and Fascias  
Stucco, masonry, or siding on primary wall surfaces and fascias
- Trim Color  
Window and door trim
- Accent Color  
Entry doors, shutters and iron

Color and material blocking should be incorporated into the preliminary architectural design so that thoughtful color use is integrated with the architecture and logical color termination points are identified early on.

Color and material changes shall occur at inside corners only.

Generally, the color of garage doors should not unduly contrast with the primary base color of the house or building.

Any field color used at the base of the building shall continue down to the finish grade.

Likewise, where masonry is used at the base of the building, the visible wall surface below the level of the weep screed shall be painted a color that closely matches the masonry color directly above.

**ROOF COLORS**

Blended roof colors are encouraged.

Single-family detached neighborhoods shall have at least four individual roof colors.

Single-family attached shall have one roof color throughout. Roof material may include accents such as metal roofing.

**COLOR PLOTTING CRITERIA**

The two houses on either side of a specific lot and the three lots across from it must use different color schemes.

## 7.4 ROOFS

### 7.4.1 ROOF FORM AND SLOPE

- Roof treatments shall be consistent with the architectural style of the dwelling.
- Variety of roof design and treatment is encouraged to provide visual interest to the neighborhood roofscape throughout SKYE SUMMIT, including the use of gable, cross-gable, hip, shed, flat or a combination of these roof forms.
- Gable ends shall feature detail elements that are compatible with the architectural style of the residence and shall vary per elevation style.
- Likewise, variety in roof lines is required to avoid a common roof line along neighborhood streets. Rooflines of adjoining residences are required to vary ridge heights, roof forms, and direction of gables.
- Shed roof forms used in conjunction with an “updated” interpretation of the selected architectural style may have slopes greater than or shallower than that permitted by its corresponding “traditional” architectural interpretation.
- Repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods. No more than two adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the parcel. In no case are uninterrupted side to side gable roofs allowed on perimeter edges.
- Minimum overhangs shall be as identified on the architectural checklist for each style.
- Roof slopes shall be consistent with the architectural style of the residence as indicated on the architectural checklist for each style.
- Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.
- Gambrel and Mansard roof forms are prohibited.

### 7.4.2 ROOF MATERIALS

- A variety of roof materials is encouraged throughout the neighborhoods of SKYE SUMMIT in order to avoid a monotonous roofscape appearance. Roof materials shall be barrel or s-shaped clay or concrete tiles. Flat tile is permitted when approved by the ARC.
- Roof materials shall be compatible with the architectural style of the residence as indicated on the architectural checklist for each style.
- Roof materials shall have a matte finish to minimize glare.
- Fascias may be either stucco, wood, or tile. If wood is used, it shall be stained or painted.
- Skylights are permitted but shall be designed as an integral part of the roof. Clear skylights or white “bubble” skylights are not permitted. Skylight framing material shall be bronze anodized or colored to match the adjacent roof.
- **Permitted Materials**
  - Clay or concrete barrel shaped or S-tiles
  - Flat concrete tiles when specifically approved by the ARC
  - Standing seam metal roofing as an accent material (subject to design review and approval)
  - Photo-Voltaic roof tiles, subject to the design criteria below.
- **Prohibited Materials**
  - Wood Shake
  - Fiberglass Shingles
  - Simulated Tile including fiberglass or metal unless otherwise approved by the ARC
  - Rolled roofing material unless otherwise approved by the ARC
  - Dormer style tile roof vents
- Solar panels are to be integrated into the roof design, preferably flush with the roof slope, but parallel is acceptable. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Support solar equipment shall be enclosed and screened from view.
- Photo-Voltaic roof tiles shall conform to the following criteria:
  - All conduit line sets shall be integrated into the design of the home. Any exposed conduit shall be painted to match the adjacent wall surface.



## 7.5 ARCHITECTURAL FEATURES AND ACCENTS

### Perimeter Edge Conditions

The development edges of the builder parcels are a key element to the appearance of the overall community as well as its interface with the surrounding desert environment. For that reason, careful consideration must be undertaken in the design and plotting of residences along the visible perimeter edges of development parcels. The visible perimeter edges will be identified by the Master Declarant and are generally defined as one or more of the following:

- Parcel edges that are adjacent to Community streets.
- Parcel edges that are adjacent to Open Space areas.
- Parcel edges that are adjacent to Sheep Mountain Parkway, Public or Quasi-Public Spaces such as schools, libraries, houses of worship, etc.
- A tier of lots within a tract that is at least 15' higher than the tier of lots below.

To ensure that the perimeter edges contribute to a positive community environment, the visible elevations plotted along these edges shall incorporate the following criteria:

- Variation of building massing and forms
- Variation in roof form. No more than two adjacent residences may have primary gable end roof forms facing the visible perimeter edges of the parcel. In no case are uninterrupted side to side gables allowed in visible perimeter edges. Ridgelines of adjacent residences should be in different directions to the extent feasible.
- 2<sup>nd</sup> floor roof and wall projections offset a minimum of 12" horizontally and vertically. On corner side elevations, a minimum of 3 wall planes are required on the 2<sup>nd</sup> story façade.
- Building articulation is preferred over added 12" wall planes to create visual interest.
- Multiple building wall planes are on visible rear elevations as follows:
  - Entry Level / Move-Up (+2,000 - 4,000 sq. ft. lots) Minimum 3 wall planes at 2<sup>nd</sup> floor
  - 2<sup>nd</sup> Move-Up (+ 5,500 sq. ft. lots) Minimum 3 wall planes at 2<sup>nd</sup> floor
  - Estates (+ 6,000 sq. ft. lots) Minimum 4 wall planes at 2<sup>nd</sup> floor
- The use of a principle window on the 2<sup>nd</sup> floor
- The use of at least one pair of shutters compatible with the architectural style of the residence. (Shutters may be in conjunction with the principle window or any other window on the visible elevation.)
- A single story element may break the plane of a 2-story building façade.
- Enhancements such as a patio cover, 2<sup>nd</sup> story deck or balcony that provides vertical or horizontal plane breaks to the façade.
- Architectural treatments and articulation consistent with the front elevation

Exposed parapet walls to enclose the rooftop decks are not allowed on corner side elevations regardless of architectural style. When rooftop decks are plotted on corner lots, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element. Rooftop decks shall meet the setbacks of the principle structure.

**Entries**

- The entry of a residential dwelling shall be articulated as a focal point of the building's front elevation through the appropriate use of roof elements, columns, towers or turrets, porches, recesses or projections, window or other architectural features.
- Residences with front doors that are not visible from the street, should feature a courtyard, trellis, portal element or similar architectural feature to provide articulation and sense of arrival to the dwelling from the street.
- The style of the front door shall be consistent with the architectural style of the residence and shall vary from elevation to elevation.

**Courtyards**

- Courtyard walls, when provided, shall be finished to match the house and may be embellished with stone, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the residence.
- The design of courtyard gates shall be compatible with the architectural style of the residence and shall vary per elevation. (Wood gates are prohibited.)
- Courtyard walls must extend to the ground with drainage provided through small openings at the base of the wall, Sheet flow through a continuous opening along the base of the wall is not permitted.

**Porches**

- At least one elevation per product shall feature an at-grade front porch that contains a minimum of 40 s.f.
- Porch design must be integrated and appropriate to the architectural style of the residence.
- Porches are encouraged to have railings, and must be fully covered in one of the following ways:
  - Roof element and tile matching the residence
  - Trellis structure constructed of steel (Wood trellises are not allowed)
  - Second floor balcony or overhang
- Second story balconies are encouraged to provide further visual interest to the street scene, and to increase the perceived front setback of the second story.

### Private Outdoor Living Spaces

Outdoor Living Spaces are required throughout all the residential neighborhoods within SKYE SUMMIT. Outdoor living spaces, where provided, shall comply with the following requirements.

Private Outdoor living spaces include any of the following:

- **Courtyards** Ground level outdoor spaces, partially or fully enclosed on all four sides by building or courtyard walls, and integral to the floor plan.
- **Miradors** 2nd story roofed outdoor spaces integral to the floor plan. A roof element must cover 100% of the mirador floor area. The roof element shall consist of forms and materials that match the residence, or a trellis featuring heavy wooden or steel members. Optional covered balconies do not qualify as miradors.
- **Loggias** Covered outdoor spaces, generally defined by colonnades or similar elements, with one or more access points into the residence. Loggias may occur on the first or second floor.
- **Front Porches** Covered outdoor spaces at the front of the residence with one or more access points into the residence. Porches with the front door as the sole access to the residence do not qualify as outdoor living spaces.

Each Builder Parcel shall feature one or more Private Outdoor living space types. These may occur on individual residences or may be distributed among the different plans offered in a neighborhood. The minimum requirements are as follows:

	<u>No. Of Outdoor Living Space Types</u>	<u>Total No. of Elevations</u>
• Entry Level / Move-Up (+2,000 - 4,000sq. ft. lots)	1	30%
• 2 <sup>nd</sup> Move-Up (+ 5,500 sq. ft. lots)	2	50%
• Estate (+ 6,000 sq. ft. lots)	2	75%

Outdoor living spaces must be designed as an interactive component of the floor plan, not merely leftover space enclosed by a low wall. They may be located in a variety of locations, such as along front, side, and rear elevations or interior of the dwelling, as well as on the 1<sup>st</sup> or 2<sup>nd</sup> story.

The minimum dimensions of outdoor living spaces are as follows:

- Courtyards 10'
- Miradors 8'
- Loggias 8'
- Front Porch 8' \*

\* May be reduced to 6' if the front porch is not proposed as required outdoor living space.

Outdoor Living Space requirement as defined in the development standards tables (Section 3.3) may be counted toward the Private Open Space requirement.

### **Columns and Archways**

Columns and archways shall be appropriate to the architectural style of the residence and shall be scaled appropriately to provide a sense of strength and support.

### **Entry Porticoes**

Entry porticoes and porch openings, when used, shall be a primary focal point.

### **Turrets**

Turrets may be round, square or octagonal in shape and shall feature a separate roof element than that of the main building.

Turrets must project forward of their adjacent wall planes a distance that is equal to or greater than 50% of the diameter or width of the turret.

When abutting a single story element, turrets shall extend higher than the cornice line of the element. The maximum differential between the cornice line of the single story element and that of the turret shall be 6'.

When abutting a two-story element, the turret's cornice may be 1 ½ stories or greater, and must break the adjacent roof-line to ensure that the roof form of the turret is clearly discernible from that of the main building.

### **Patio Covers**

Patio Covers, when used, shall be consistent with the architectural style of the residence and treated in one of the following ways:

- Sloping roof element with roof tile matching the residence (min 3:12 pitch)

- Trellis constructed of steel or Aluma Wood (or similar) subject to criteria below.

Flat roofs on patio covers are discouraged. When provided, the roof shall be concealed with parapet wall.

Columns shall be proportionate to the element being supported with a minimum dimension of 12" for trellis supports and 16" for roof or sundeck supports.

### **Trellis and Arbors**

Trellises and arbors, when used, must be constructed of steel. Wood trellises and arbors, if proposed, are subject to ARC approval.

Wood and Aluma Wood (or similar) trellises, if used, are allowed on rear patio covers only and are subject to the following criteria:

- Posts shall convey a sense of strength proportional to the structure being supported (min. 6" x 8")
- Rafter tails are required when architecturally appropriate
- Beams and rafters shall have scalloped, corbel, or mitered ends
- Lattice top shall have at a minimum, beveled ends
- Beams shall extend a minimum of 24" from post
- Rafter shall extend a minimum of 18" from beam
- Lattice shall extend a minimum of 12" from rafter
- Horizontal members shall be flat (or minimum slope for drainage per manufacturer)
- Steeper pitches as part of an enhanced design are allowed subject to ARC review and approval.
- Solid alumawood (or similar) patio covers are permitted subject to ARC review and approval
- Adjustable alumawood (or similar) covers are allowed, however, adjustable louvers must be concealed by a fascia element at least 2" taller than the louver in its vertical position
- Color shall match or complement the building color

### **Balconies and Sundecks**

Balconies and sundecks, when provided, shall have a minimum 50% solid rail measured either horizontally or vertically. Open rails may extend to the floor, but each corner must have a support that extends to the full guardrail height and shall be a minimum of 16" square (or L-shape). Decorative balconies and sundecks that are less than 6' in depth may have an open rail provided the design is consistent with the architectural style of the residence.



Scuppers or internal drains are required on all solid rail balconies and sundecks. Continuous openings for sheet drainage are allowed only where an open rail extends to the floor. Sundeck support columns shall be a minimum 16" square and be proportional to the size of the sundeck.

### **Rooftop Decks**

- All components of the rooftop deck shall be designed consistent with the architectural style of the residence.
- Rooftop decks, including parapet walls, rails, stair or elevator towers, trellis or other overhead elements shall not exceed the maximum height of the residential category of the parcel.
- Stair or elevator towers that provide access to the rooftop deck shall be designed as an integral component of the architectural composition of the elevation.
- Parapets may be solid wall to match the architecture of the residence or open rail in a design that is compatible with the architecture of the residence.
- Rooftop decks enclosed by solid parapet walls must use scuppers and/or internal drains for drainage.
- Exposed parapet walls on front elevations are permitted on Andalusian, Italian, Mediterranean, and Spanish Colonial architectural styles only and must feature a cornice detail.
- An exposed parapet wall on front elevations is not permitted on Nevada Living or Tuscan architectural styles. These styles must feature a sloped roof to disguise at least 2/3 of the height of the parapet element.
- Rooftop decks shall meet the setbacks of the principle structure.
- Exposed parapet walls to enclose the rooftop decks are not allowed on corner side elevations regardless of architectural style. When rooftop decks are plotted on corner lots, a sloped roof must be used to disguise at least 2/3 of the height of the parapet element.
- Side facing parapets are permitted for the full length of the rooftop deck on interior side lot lines, regardless of architectural style.
- Roof-mounted mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas and other such devices are not permitted.

**Window Openings**

- At least one principle window is required on front elevations. Principle windows are defined as one of the following:
  - A prominent window offset a minimum of 12” from the surrounding wall plane.
  - A bay window with a minimum 24” projection and detailing appropriate to the architectural style of the residence.
  - A minimum 12” deep pot-shelf with corresponding roof element and corbels.
  - An overhead trellis element projecting a minimum of 12” and extending over the entire width of the window. Trellis must be constructed of steel.
  - Decorative iron window grille projecting forward of the wall plane a minimum of 12” (non-egress windows only)
- Rear and Side elevations that are visible from perimeter conditions require the use of at least one principle window as defined above.
- The style of windows including mullion and muntin patterns shall be compatible with the architectural style of the residence.
- All windows shall feature minimum 2” trim surrounds, around the entire window, and shall be consistent with the architectural style of the residence. Additional depth and trim thickness are encouraged.
- Trim style and design shall vary per elevation style for each plan.
- Trim surrounds shall be a minimum of 2” deep, and there shall be a 2” offset between trim elements.
- Stucco finished trim elements, when used, shall be sand or smooth finish. Stucco trim elements shall have square corners. The use of Corner-Aid (or similar) is the encouraged construction technique over bull-nosed edges. Alternate trim designs are subject to ARC approval.
- Stone, brick, ceramic tiles or pre-cast surrounds may also be used as trim elements and are encouraged.
- Aluminum or vinyl extruded frame windows shall be appropriately colored to match or complement the house or trim colors and are subject to ARC approval. Mill finish windows are not permitted.

- Glazing may be either clear or tinted. Reflective glass is not permitted.
- The shape and size of shutters, when used, shall be proportionate to the window opening.

#### **Detail Elements**

- Detail Elements such as shutters, exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and / or other similar features shall be used to provide visual interest to the residential architecture consistent with the architectural style.
- Shutters shall match the size and shape of the window opening and shall be consistent with the architectural style of the residence.
- Exposed gutters and downspouts shall be colored to match or complement the surface to which they are attached.

#### **Awnings/Canopies**

Awnings and canopies, when used, must be designed as an integral part of the architecture and colored to match or complement the wall surface to which they are attached. Acceptable awnings or canopies include:

- Bermuda shutters
- Roof tile on wood, stucco, or decorative iron supports
- Metal panels, if appropriate to the architectural style.

#### **Walls and Fences**

- Walls and fences that are visible from streets, open space, or other public areas shall be in accordance with Declarant specifications. Please refer to Section 5.
- All site walls must have a cap detail.

#### **Garage Placement and Configurations**

The placement and configuration of the garage often drives the look and feel of the neighborhood. Therefore, special care and consideration shall be used to de-emphasize the garage door on the street scene. In addition to conventional front entry garages, there are many additional garage configurations that can be used such as turn-in garages, split entry garages, tandem garage spaces, Hollywood style garages, etc. When conventional front entry garages are used, special thought should be given to using techniques such as the following:

- **Architectural Elements Forward of the Garage Plane**

Architectural elements that are situated forward of the plane of the garage provide visual interest to the street scene while minimizing the appearance of the garage door on the street scene. Examples of such elements include porches, portal elements and courtyard walls.

- **Articulation Above the Garage**

Architectural elements located over the garage can effectively draw attention away from the garage door and provide strong visual articulation to the front façade. Second floor elements that project forward of the garage plane are particularly effective as they cast a strong shadow across the garage door, minimizing its appearance on the street scene. Examples include principle windows with thickened walls, sun decks and miradors (roofed outdoor rooms located on the 2nd floor).

- **Articulation in Front of Garage**

The use of articulation elements such as a free-standing arbor directly in front of the garage door, or an attached trellis element over the entire width of the garage door provide visual interest to the street scene while de-emphasizing the appearance of the garage door.

- **Living Spaces Forward of the Garage**

Where product width allows, “architecture forward” lets the active living spaces of the house be the predominate feature of the front elevation, with the garage setback further from the street.

- **Deep Recesses**

Deep garage door recesses (greater than the minimum 12”) into surrounding wall planes result in strong shadows being cast across the garage doors, de-emphasizing their appearance on the street scene. Second floor elements above are either cantilevered or supported with piers extending to the ground plane.

- **Extended Roof Elements**

The use of extended roof elements provides the opportunity to emphasize the architectural design of the home while minimizing the appearance of the garage on the street scene. For example, when a porch is provided on the front elevation, extending its single-story roof line across the entire driveway width in front of the

garage creates a deep shadow on the garage door, effectively allowing the garage door to “disappear” into the shadow. Similarly, a vehicular porte-cochere element provides additional shade to the front of the house and the garage is generally behind the front façade of the home.

No more than three front facing garage spaces are permitted on an individual residence, however, the minimum width of a house having a 3-car front facing garage shall be 45’ on Entry Level, Move-Up, and 2<sup>nd</sup> Move-Up product. Additional garages spaces, if provided, must be in a turn-in configuration, tandem, deep-recessed with a long driveway or motor-court, or other configurations in which the garage door is not visible from the front. Refer to **Exhibits 7.5.2 Garage Configurations, 7.5.3 and 7.5.4, 4-Stall Garages.**

Front loaded 3-car garages, where provided, must have a 2’ minimum offset between the single and double garage elements. This can be accomplished by offsetting the garage doors, offsetting the garage facades, or both. Three single car garage doors are not required to be offset. Refer to **Exhibit 7.5.1.**

On lots that are 7,000 sq. ft. or greater, four garage spaces may face the street, subject to design review and approval.

The face of garage doors shall be recessed a minimum of 12” from the adjacent wall surface.

Garage doors shall be compatible with the architectural style of the residence and shall vary per elevation style. In order to avoid the impact of garage doors, they shall be appropriately treated with decorative relief cuts, panels, small decorative windows, etc.

Decorative window lites, when used shall be appropriate to the architecture of the residence. Arched window lites are not permitted.

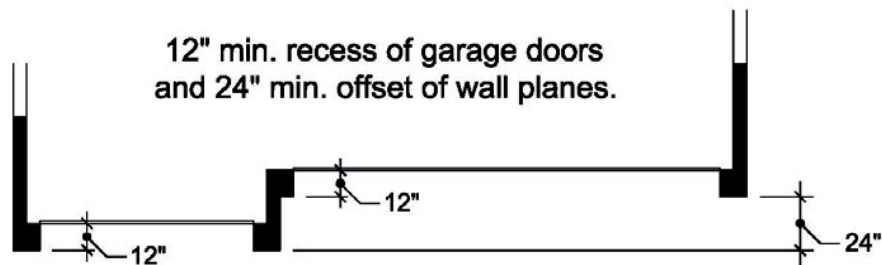
The front door to a residence with a side-loaded garage must be separated from the garage door plane by a minimum of 4’. Driveway must also be setback from any building element (front porch, building wall, courtyard wall) by a 24” minimum planting area.

Front facing windows on side-entry garages shall feature window coverings, translucent glass, or other design elements that effectively screen the view into the garage from the street.

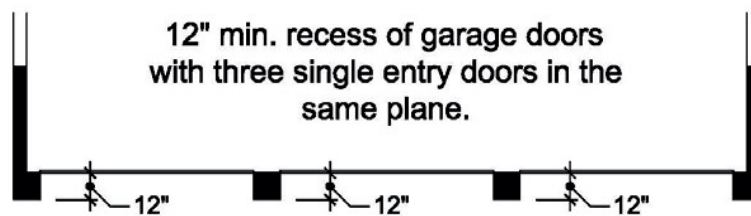
#### **Garages at Single Family Attached**

Garages loading onto an Alley or Private Drive must be oriented such that sufficient area is provided to allow for installation of utilities, along with a planter area on each of the garage. There must be a minimum 6 foot offset between the garage wall and adjacent living space to accommodate the planting requirements.

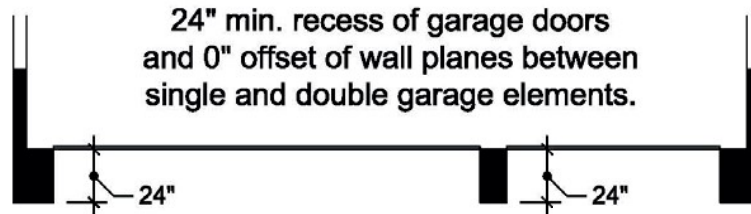


**Exhibit 7.5.1**  
**GARAGE OFFSET**

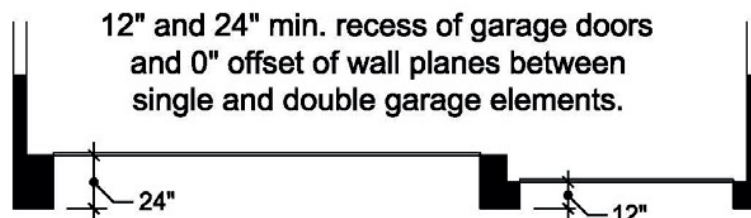
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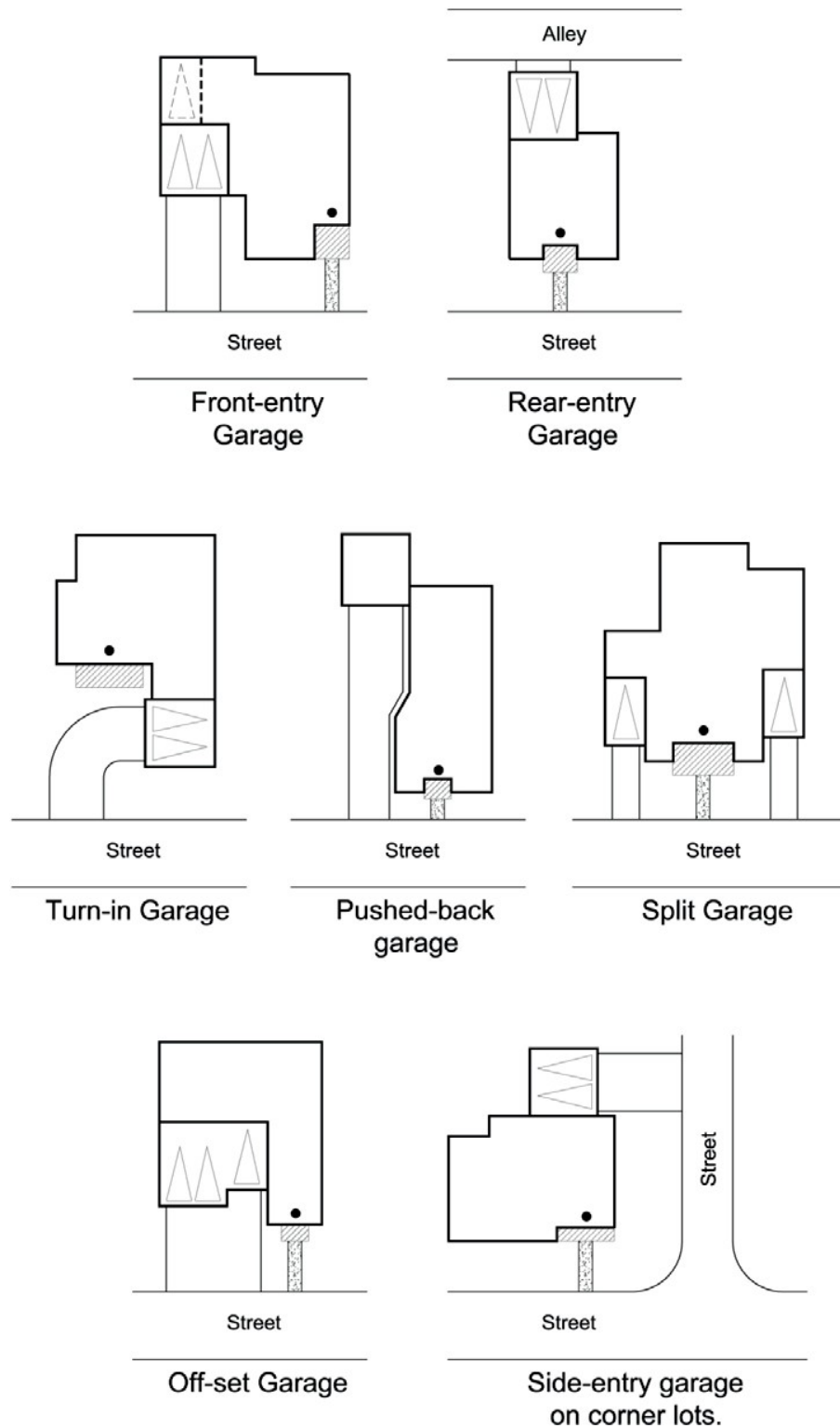
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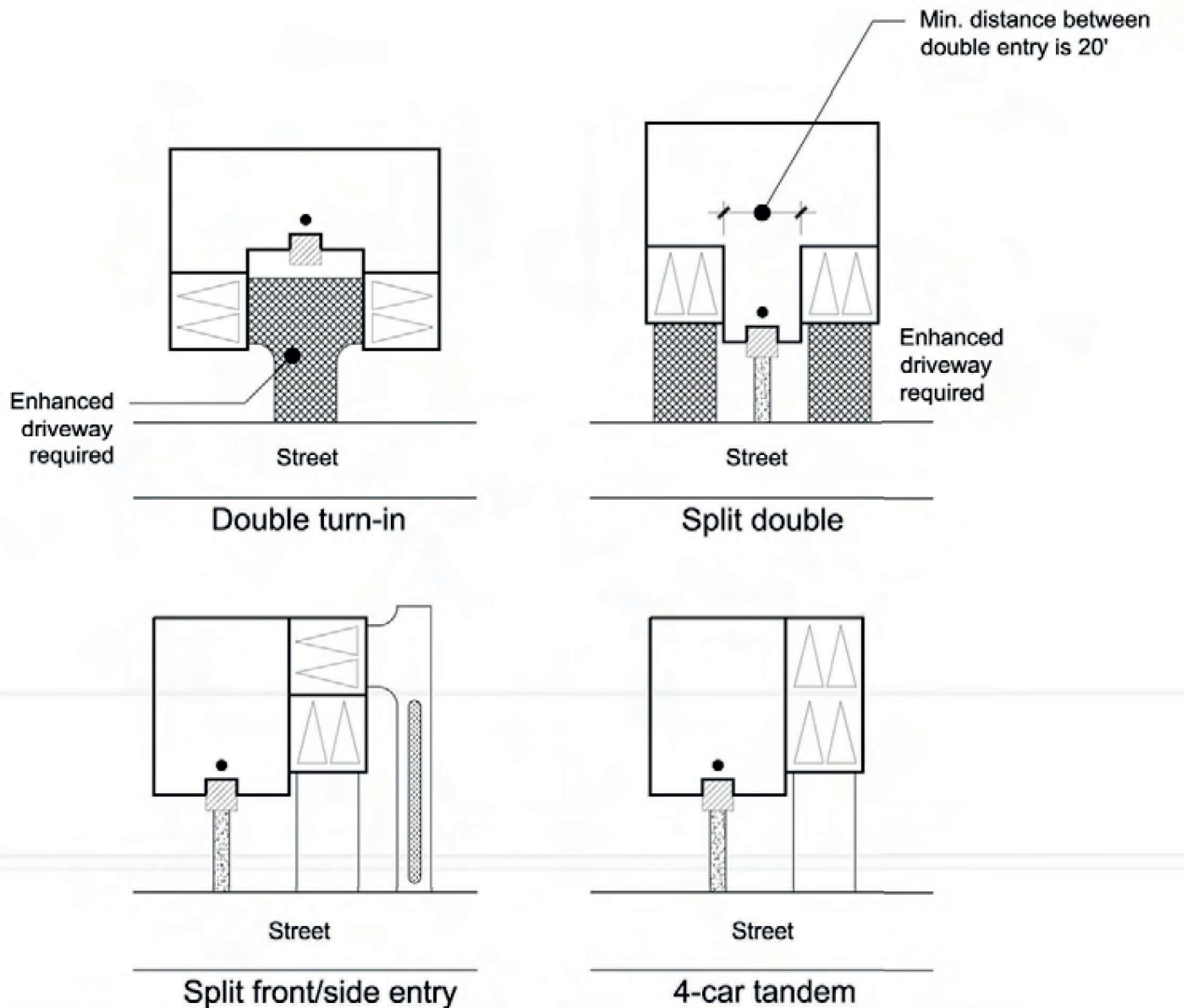


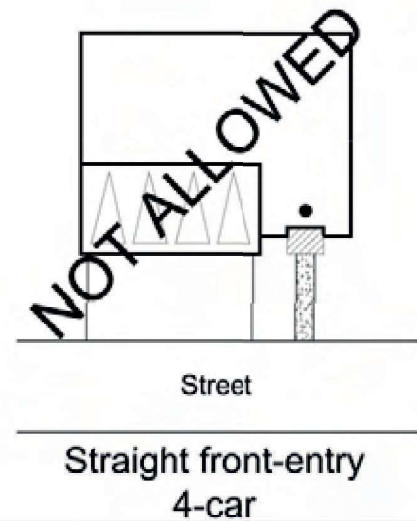
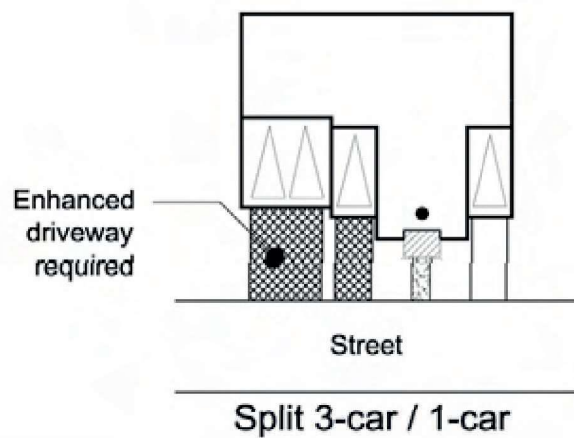
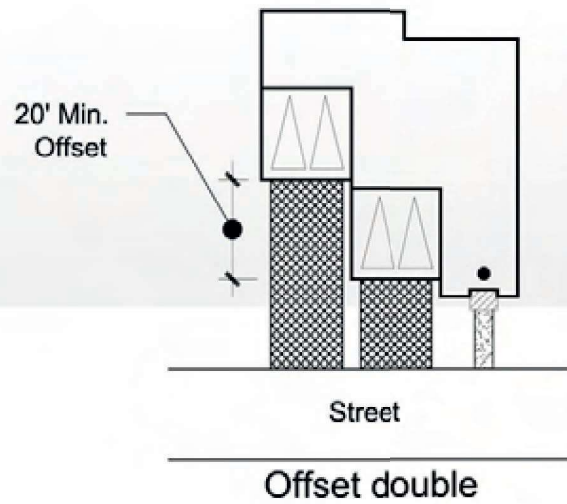
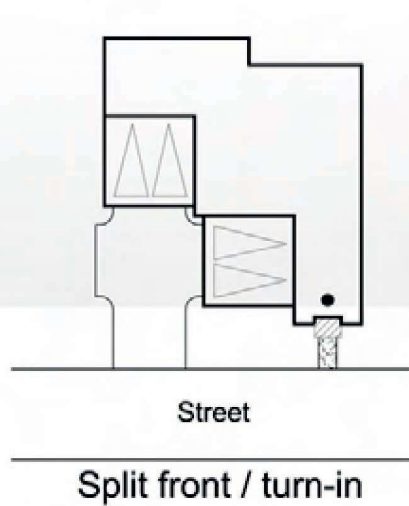
OR



### Exhibit 7.5.2 GARAGE CONFIGURATIONS



**Exhibit 7.5.3**  
**4-STALL GARAGES**

**Exhibit 7.5.4**  
**4-STALL GARAGES**

**Chimneys**

- Chimneys, when provided, shall be compatible in design, material, and color with the adjoining building.
- Chimney caps are required and shall be compatible with the architecture of the building.

**Exterior Lighting**

- The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of The City of Las Vegas. Energy conservation, safety and security shall be emphasized when designing any lighting system.
- Maximum 2700 Kelvin light temperature for all exterior fixtures.
- Coach lights on photo-cells are required on the front elevation. Minimum of (2) fixtures required.
- All light fixtures shall be compatible with the architectural style of the residence. The style of light fixtures shall vary per elevation and shall be consistent throughout the product line. Manufacturer's cut sheets must be submitted with the material and color sample boards.
- All exterior lighting locations must be noted on architectural plans.
- Light fixtures with cutoff or concealed light sources are preferred. Lighting which produces excessive glare or shines on an adjacent lot or neighborhood is not permitted.
- Soffit lighting is allowed only as accent lighting, limited primarily to doorways and garages. ***Continuous soffit lighting is prohibited. Color changing lighting is prohibited.***
- Bright brass fixtures are not allowed.
- Refer to **Section 5** for additional lighting requirements.

**Accessory Structures**

- Casitas, guest houses, detached garages, greenhouses, and other similar accessory structures shall be compatible in design, materials, and color as the main residence. Such structures must be visually related to the main residence through the use of courtyards, garden walls, or other landscape elements.



**Mechanical Equipment**

- Mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas, and other such devices shall not be mounted on any roof or property line wall.
- Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.
- Dormer style tile roof vents are not allowed.
- Ground mounted air conditioning units must be located behind side yard privacy return walls or screened from view of the street or open space element by a privacy wall.

**Resident Trash Receptacles**

Dedicated storage space for outdoor resident trash receptacles must be provided on each lot and be screened from view from any street or open space element.

**Prohibited Materials**

- Mill finished windows
- Gray cinder block walls
- Walls without caps
- Plastic/vinyl fencing, unless otherwise approved by ARC
- Clear sky lights

### 7.6 Craftsman/ Contemporary Craftsman

Originating in California the Craftsman style focused on exterior elements with tasteful and artful attention. The style is heavily influenced by the English Arts and Crafts movement of the late 19<sup>th</sup> century and was stylized by architects such as Bernard Maybeck in Berkeley and the Greene brothers in Pasadena. The style developed as a contradiction to the Victorian era, emphasizing simple, natural materials, and functionality. The style relies on the simple house tradition, combining hip and gable roof forms with wide, livable porches, and broad overhanging eaves.

**Table 7.6: Craftsman/ Contemporary Craftsman**

Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>Simple rectangular building form one (1) or two (2) stories.</li> <li>Home design may be symmetrical or asymmetrical.</li> <li>Wide, open front porches are held up by signature thick tapered columns.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Shallower pitch and exaggerated eaves.</li> <li>Side-to-side gable with cross gables.</li> <li>Often gable, hip, and shed roof combinations.</li> <li>Multiple roof planes.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Flat concrete tile or equal.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>Roof pitch ranges from 3:12 to 5:12 typically.</li> </ul> <p>Roof Overhang</p> <ul style="list-style-type: none"> <li>Twelve (12) inch minimum overhang with exposed rafter tails under eaves.</li> <li>Roof overhangs of twenty-four (24) inches or more supported by exposed structural elements and associated beams and rafter tails.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Wall materials may include stucco, horizontal siding (with materials appropriate for an arid climate), or stone.</li> <li>Siding or similar accents at gable ends are typical.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Windows are typically fully trimmed.</li> <li>Vertically proportioned windows with divided upper window lights.</li> <li>Window accents commonly include dormers or ganged windows with continuous head or sill trim.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Entries are typically sheltered by a front porch.</li> <li>Doors typically consist of wood materials and use rectangular windows and panels to establish depth.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Solid style garage doors or raised panel doors are often used.</li> <li>Rectangular windows may be used at the top of the garage door in a linear, horizontal manner.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>Columns with brick or stone bases.</li> <li>Battered columns with tapered posts.</li> <li>Decorative braces, beam ends, and rafter tails under gables.</li> </ul>



EXHIBIT 7.6.1: ARCHITECTURE CHARACTER - CRAFTSMAN/ CONTEMPORARY CRAFTSMAN

**7.7 Contemporary Farmhouse**

The Contemporary Farmhouse architectural style blends the comfortable, relaxed farmhouse style with smooth lines, neutral color schemes, and contemporary materials. The upright gable roof is likely one of the most recognizable features of the Contemporary Farmhouse style as the relatively steep roof emphasizes the height of the house.

<b>Table 7.7: Contemporary Farmhouse</b>	
<b>Style Elements</b>	<b>Architectural Features</b>
Building Form	<ul style="list-style-type: none"> <li>One (1) or two (2) story massing.</li> <li>Generous covered front porch.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Street/ side facing gable, shed or gable dormers, gables.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Standing seam metal roof material used as an accent.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>5:12 or greater roof pitch with the two sides creating a forty-five (45) degree angle.</li> </ul> <p>Roof Overhang</p> <ul style="list-style-type: none"> <li>Generally dependent on the proposed condition. In certain instances, a zero (0) inch overhang may be used often up to a twenty-four (24) inch overhang with larger roof expressions.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Lap, board and batten exterior siding, or other desert climate appropriate materials to achieve the same look.</li> <li>Vertical siding on all sides, horizontal siding as accents to add balance, metal or stone accents.</li> <li>Stucco may be used but not as a primary material.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Single hung windows or similar.</li> <li>Integrated window overhangs complimentary to the roof design.</li> <li>Metal awnings with metal brackets.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Front porches are used to create focus on the entry.</li> <li>Double or wider door with multi-paned glass accents on each door.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Carriage or barn style garage doors often used.</li> <li>Glass panel (frosted or opaque) accents in garage door.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>Modest ornamentation.</li> <li>Exposed beams.</li> <li>Barn style lighting or other farm inspired fixtures.</li> <li>Designed to allow for indoor/outdoor living.</li> <li>Open truss at porch entry area.</li> <li>Monochromatic color palette that relies on variation in material and texture to develop visual interest.</li> </ul>

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EXHIBIT 7.7.1 ARCHITECTURE CHARACTER - CONTEMPORARY FARMHOUSE



## 7.8 Contemporary Rambler

Homes designed in the Contemporary Rambler style are known for their long low profile and minimal exterior decorations. This architectural style is a fusion of modernist ideas with the American West period of working ranches resulting in a style that provide smooth indoor- outdoor transitions and a wide façade parallel to the street.

**Table 7.8: Contemporary Rambler**

Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>Wide, low, horizontal building form with single story massing.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>4:12 gable roofs may be slightly hipped.</li> <li>May have extended eaves.</li> <li>Post and beam ceilings.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Flat concrete tile.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>Low pitch but varies based on proposed roof form.</li> <li>2:12 minimum pitch at areas that are not the primary roof forms.</li> </ul> <p>Roof Overhang</p> <ul style="list-style-type: none"> <li>Generally dependent on the proposed condition. Overhangs may range from twelve (12) inches to an eighteen (18) inch overhang.</li> <li>May show exposed roof beams.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Stucco, brick or wood composite materials such as board and batten siding or similar.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Large windows which allow an abundance of natural light.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Front doors are simple in design and may be metal or wood, painted, and can include unique but subtle accent colors.</li> <li>Front doors may have windows.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Sectional flat or raised panel doors.</li> <li>Glass panel (frosted or opaque) accents in garage door.</li> </ul>
Detail Elements	Where porches are utilized, they are often quite extensive.

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EXHIBIT 7.8.1 ARCHITECTURE CHARACTER - CONTEMPORARY RAMBLER

### 7.9 Desert Contemporary

“Contemporary” design themes, in the general sense, often have a significantly broader palette of forms, shapes, elements, materials, and colors. The Contemporary architectural style may include various interpretations of contemporary design including Desert Contemporary, Western Regional, or any other contemporary style which generally meets the requirements described within this section. Unlike other architectural styles that are based on traditional, historic-based styles that have a long history of forms, shapes, elements, colors, materials, and details that are clearly identifiable, “contemporary” design themes do not follow the same references and design parameters.

Desert Contemporary architectural styles for the Site shall be appropriate to the character of the natural desert environment and to the climatic and environmental considerations of the Mojave Desert. The intent with this style is that the home blends appropriately with the natural desert instead of contrasting against it.

The Western Regional architecture style stems from the rustic territorial ranch compound comingled with the more agrarian country house. Dwellings in this style are distinguished by features such as generous roof overhangs, wide covered porches and large patios, shaded galleries, or large expressions with recessed windows. The roof overhang provides cooling shade in the warmer months and during the winter the lower angle of the sun helps to warm interior spaces. Other traditional characteristics include the incorporation of indigenous building materials. Unique to the western styles, these features build an ideal platform for embracing the outdoors and creating a wonderful environment perfect for entertaining and socializing.

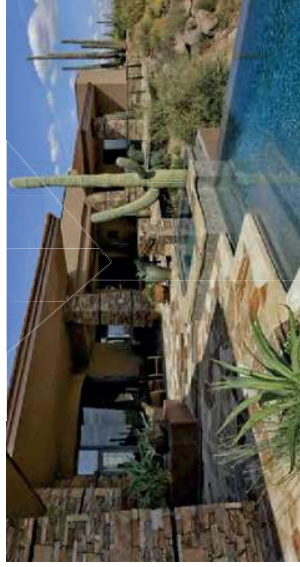
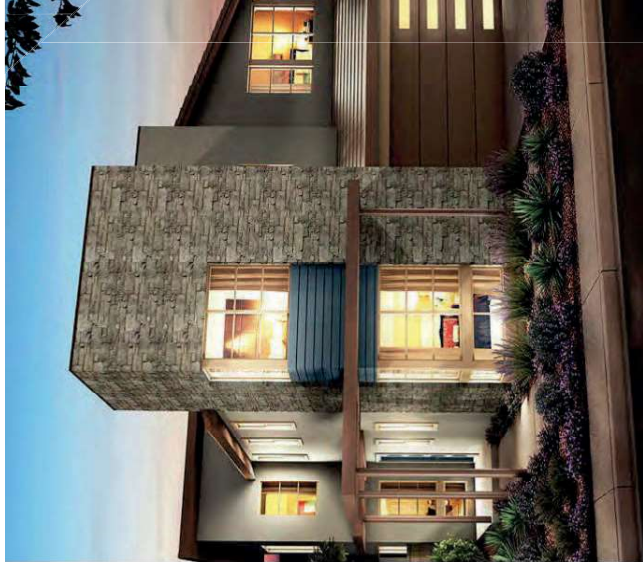
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**Table 7.9: Desert Contemporary**

Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>Asymmetrical combination of one (1) and two (2) story building forms.</li> <li>Low building mass lines with simple wide projecting roofs.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Predominantly gable roofs, with the use of shed or hip roofs over porches.</li> <li>Parapet roofs which accentuate the volume of a building mass. Massing of one plane not to exceed thirty (30) feet. Alternatives may be permitted by ARC.</li> <li>The overall form may incorporate flat or low-pitch wedge roofs for a more urban look and feel.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Typically includes flat concrete tile, standing seam metal as an accent, or other equal materials.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>Roof pitch ranges from 4:12 to 8:12, with occasional lower slopes at shed roofs, generally over terraces.</li> </ul> <p>Roof Overhang</p> <ul style="list-style-type: none"> <li>Zero (0) inches where a parapet is used.</li> <li>Twelve (12) inches minimum in all other conditions.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Stucco used as the primary exterior finish. Stucco expansion joints may be utilized to create relief from larger wall planes or to create visual interest.</li> <li>Stone or other accent material is used to create emphasis on predominant building features.</li> <li>Stone or other access material may also be utilized as an exterior wainscot.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Square or rectilinear window shapes.</li> <li>Windows generally present in gable ends.</li> <li>Window are arranged to be repeated for consistency.</li> <li>Group windows to create a more urban character. This can be achieved with trim, accent siding, or color blocking.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Rectilinear single or French door shapes.</li> <li>Entry door recessed or obscured.</li> <li>Front doors should employ simple designs to accentuate the entries of a building and may be metal or wood, painted or stained, and can include unique but subtle accent colors.</li> <li>Front doors have windows unless accompanied by a side lite.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Sectional flat or raised panel doors.</li> <li>Enhanced carriage style doors consistent with the building architecture.</li> <li>Window lites in garage doors are not required. If provided, window lites shall be square or rectangular in shape. No muntin patterns are allowed on window lites.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>May include metal roof awnings over windows or other metal accents.</li> <li>Elongated entry or concealed entry.</li> </ul>

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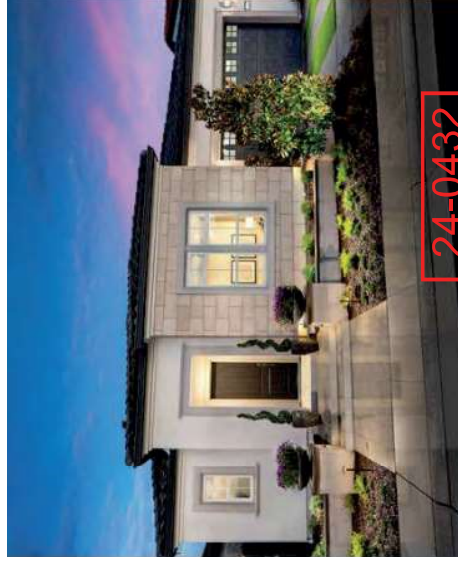
### 7.10 Italian/ Contemporary Italian

The Italian architectural style is similar to the Mediterranean style with low pitched-roofs, wide overhanging eaves, decorative stonework, and a symmetrical design. Houses designed in the Italian style drew inspiration from the grand Italian villas and began appearing in the United States around the 1840's. In this style, proportion was the main focus. Facades were typically symmetrical but could be asymmetrical so long as the proportions were harmonious. Straight walls, simple proportions, and a fine sense of balance draws on classical principles.

**Table 7.10: Italian/ Contemporary Italian**

Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>Formal massing of building forms.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Primarily hipped roofs.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Clay or concrete barrel shaped or S-tiles.</li> <li>Flat concrete tile on contemporary interpretations.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>Low pitched, 4:12 to 5:12.</li> </ul> <p>Roof Overhang</p> <ul style="list-style-type: none"> <li>Projecting eaves with decorative brackets or dentils.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Detail elements such as quoins, keystones, shutters, and palladian windows.</li> <li>Stucco or stone.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Vertically proportioned windows, often arched.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Entries articulated as a focal element through the use of porch, portico, tower element, or other element to accentuate the sense of arrival.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Sectional flat or raised panel doors.</li> <li>Enhanced carriage style doors, with decorative elements consistent with the building architecture.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>Use of pre-cast surrounds at feature windows and/or entries.</li> <li>Enhanced horizontal banding with smooth finish or pre-cast at first or second story plate heights.</li> <li>Use of quoins at outside corners.</li> <li>Square columns at front elevations.</li> <li>Wide overhangs with decorative brackets.</li> </ul> <p>Materials and Colors</p> <ul style="list-style-type: none"> <li>Tans, beige, and earth tones.</li> </ul>

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EXHIBIT 7.10.1: ARCHITECTURE CHARACTER - ITALIAN/ CONTEMPORARY ITALIAN

### 7.11 Mid Century Modern

Mid-Century Modern homes, unlike structures built in the popular preceding styles, exhibit little historic influence and lack visual formality. Geometric forms and asymmetrical compositions showcase the styles modernist approach to everyday architecture. Exteriors often feature monochromatic brickwork, pops of color, and a focus on flat planes, clean lines, and little ornamentation. Homes in this architectural style predominantly feature the presence of angular structures, an emphasis on bringing the outdoors in, and a clean minimalist aesthetic.

Table 7.11: Mid-Century Modern	
Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>One (1) story or two (2) story massing.</li> <li>Flat planes, clean lines, and little ornamentation.</li> <li>May include geometric forms or asymmetrical compositions in the design.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Angular, low pitched, gable, and flat roof forms. Can be a combination of pitched and flat roof forms.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Typically includes flat concrete tile or other equal materials.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>Varies based on proposed roof form.</li> </ul> <p>Roof Overhang</p> <ul style="list-style-type: none"> <li>Generally dependent on the proposed condition. In certain instances, a zero (0) inch overhang may be used often up to an eighteen (18) inch overhang with larger roof expressions.</li> <li>May show exposed roof beams.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Large, unadorned planes.</li> <li>Monochromatic brick or stonework.</li> <li>Lap siding or board and batten.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Use of larger window expressions which allow light from multiple angles.</li> <li>Geometric or angular windows.</li> <li>Metal awnings over windows.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Front doors often a vibrant color or have a large window within the door.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Simple and linear forms. The materials may be wood look or metal.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>Connection of interior space to exterior space. Exposed beams from inside of the house continue to exterior.</li> <li>Large, vaulted porch with porch columns.</li> </ul>

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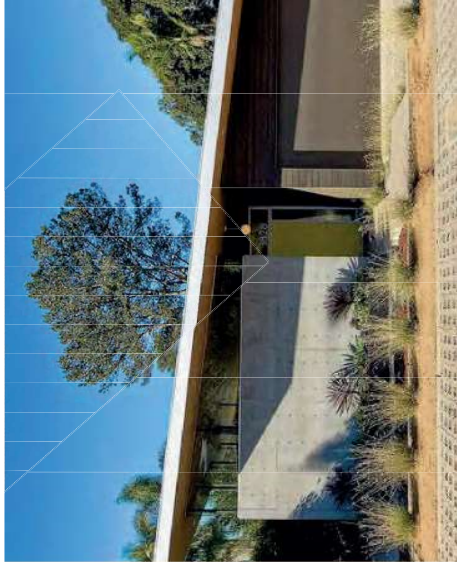


EXHIBIT 7.11.1: ARCHITECTURE CHARACTER - MID-CENTURY MODERN

## 7.12 Prairie/ Contemporary Prairie

Prairie style homes often employ large square or rectangular building forms which support porch roofs and complimentary hipped roof forms. The Contemporary Prairie character further simplifies the style with refined lines in the building forms which feature asymmetrical building masses with low pitched roofs that utilize materials such as wood elements, smooth stucco bands as accents and other linear building materials.

**Table 7.12: Prairie/ Contemporary Prairie**

Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>One (1) and two (2) story asymmetrical massing with one (1) story projections.</li> <li>Linear and low horizontal massing.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Typically hipped roof with broad eaves.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Flat concrete tile.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>Shallow pitch, 3:12 to 5:12</li> </ul> <p>Roof Overhang</p> <ul style="list-style-type: none"> <li>Deep overhangs twenty-four (24) inch minimum on primary roof. A minimum of eighteen (18) inches of overhang at all other roofs.</li> </ul>
Walls	<ul style="list-style-type: none"> <li>Stucco utilized for the primary building structure with horizontal materials such as brick or stone utilized to emphasize building planes in a horizontal form.</li> <li>Contrasting wall material and trim are common, particularly at the upper story.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Windows assembled into horizontal bands with well-defined vertical detail.</li> <li>Windows may be compressed above building masses or at the upper story.</li> <li>Window trims are often a third color, typically darker than the rest of the home.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Entries are often off center or hidden.</li> <li>Entry doors may be deep set and have decorative surrounds.</li> <li>Entry doors are often double hinged solid doors or glass with lights on the sides of the doors.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>May be solid, contemporary, or all glass.</li> <li>Horizontal windows which accentuate the linear form.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>Primary areas of elaboration are the entry, cornices, and windows.</li> <li>Eaves and cornices add embellishment and the horizontality of the style.</li> <li>Connection of interior space to exterior space.</li> </ul>

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EXHIBIT 7.12.1: ARCHITECTURE CHARACTER - PRAIRIE/ CONTEMPORARY PRAIRIE

### 7.13 Spanish/ Contemporary Spanish

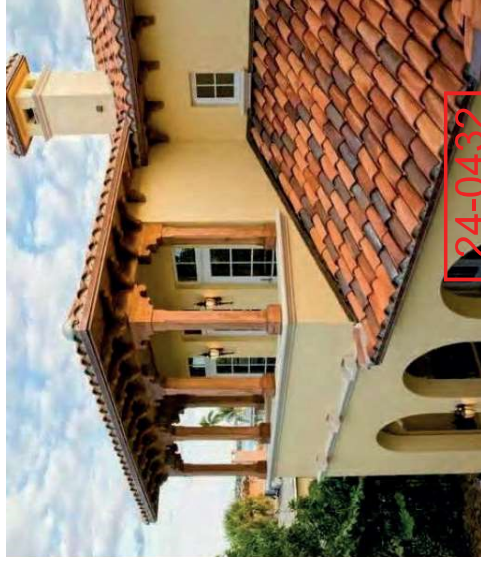
The Spanish style evolved as a blend of the Mission Revival style and elements and details from Latin America. Attaining widespread popularity after 1915, this architectural style was ideal for the hot, dry weather of the Southwest where locally available materials in desert areas such as stone, dirt, and clay were utilized. The architecture was often organized around a courtyard to create shade and encourage airflow. Homes designed in the Contemporary Spanish style have integrated more contemporary materials and simple forms with the Spanish style.

**Table 7.13: Spanish/ Contemporary Spanish**

Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>Building form is typically rectangular or “L” shaped.</li> <li>Vertical elements that have a separate roof.</li> <li>Two (2) story massing with a prominent one (1) story feature.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Typically comprised of a main front-to-back gable with front-facing gables. Round or half-round profiles are typical at front-facing gable ends.</li> <li>Some hip roof areas may be used.</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Predominantly concrete barrel or S-tiles.</li> <li>Flat concrete tile may be used.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>Shallow pitched roofs, 4:12 to 5:12.</li> </ul> <p>Roof Overhang</p> <p>Generally dependent on the proposed condition. Tightly raked roof will have a zero (0) inch overhang. Other roof expressions may overhang six (6”) to twelve (12) inches.</p>
Walls	<ul style="list-style-type: none"> <li>Typically stucco with a thick appearance, may be smooth or have a soft trowel pattern.</li> <li>The application of corbels, trim or other moldings shape appear at roof lines.</li> <li>Stone or tile work can be used as an accent.</li> </ul>
Windows	<ul style="list-style-type: none"> <li>Windows may be recessed, having projecting head or sill trim, or be flanked by plank-style shutters.</li> <li>Vertical divided light casement, single-hung, or double-hung windows.</li> <li>Windows may be various sizes and shapes, though generally rectangular.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Segmented, rounded corners, and full-arch elements are typical in conjunction with windows, entry, or the porch.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Sectional, flat, or raised panel doors.</li> <li>Window lites in garage doors are discouraged.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>Decorative wrought-iron accents, grille work, post or balcony railing may be used.</li> </ul>

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EXHIBIT 7.13.1: ARCHITECTURE CHARACTER - SPANISH/ CONTEMPORARY SPANISH

### 7.14 Tuscan/ Contemporary Tuscan

The Tuscan architectural style is characterized by a building that began as a simple main building that over time had additional components added on to meet the spatial needs of the resident. The villas in rural Tuscany in the 15<sup>th</sup> and 16<sup>th</sup> century were influenced by the informality of the rural farmhouse and buildings found in typical settlements, including their traditional square towers. Tuscan villas reflected a sophisticated complexity in the overall plan and individual details while incorporating the same appeal of the informal farmhouse character expressed through warm colors, textures, and materials.

**Table 7.14: Tuscan/ Contemporary Tuscan**

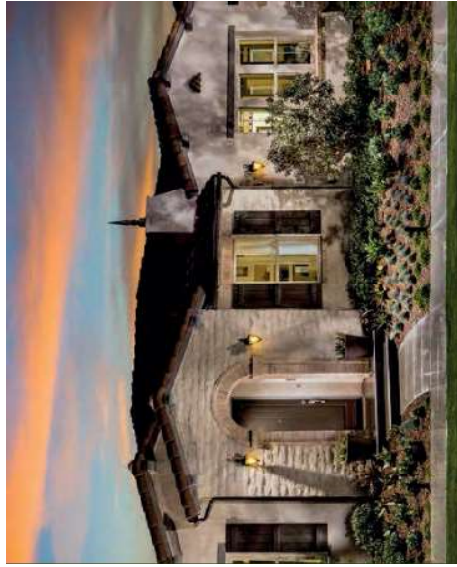
Style Elements	Architectural Features
Building Form	<ul style="list-style-type: none"> <li>Informal arrangement of building forms, typically asymmetrical.</li> </ul>
Roofs	<p>Roof Form</p> <ul style="list-style-type: none"> <li>Low-pitched hip roofs and occasionally gable or cross-gable</li> </ul> <p>Roof Material</p> <ul style="list-style-type: none"> <li>Predominantly concrete barrel or S-tiles. May have a blend of three compatible colors.</li> </ul> <p>Roof Slope</p> <ul style="list-style-type: none"> <li>4:12 to 5:12 but may vary and have areas of flat roof.</li> </ul> <p>Roof Overhang</p> <p>Typically twelve (12) inch overhangs.</p>
Walls	<ul style="list-style-type: none"> <li>Different building segments feature a mix of building materials to give the appearance of a rambling structure that was added to over time.</li> <li>Differing materials should be used to accentuate building massing rather than arbitrary material breaks.</li> <li>Stucco, stone, brick (as an accent or trim).</li> </ul>
Windows	<ul style="list-style-type: none"> <li>At least one feature window recessed a minimum of twelve (12) inches from the adjacent wall planes.</li> <li>Windows have tall and narrow proportions.</li> <li>Vertical or grid pattern muntins.</li> <li>Arched windows and/or other openings are encouraged with half-round or segmented arches.</li> </ul>
Entries and Doors	<ul style="list-style-type: none"> <li>Heavy plank doors encouraged.</li> <li>Entry is articulated through the use of porch, loggia, or tower element.</li> </ul>
Garage Doors	<ul style="list-style-type: none"> <li>Sectional, flat, or raised panel or enhanced carriage style garage doors consistent with the building architecture.</li> <li>Window lites in garage doors are not required. If provided, window lites shall be square or rectangular in shape. Muntins are not required but when provided shall have a grid pattern.</li> </ul>
Detail Elements	<ul style="list-style-type: none"> <li>May include embellishments such as accent stone and projecting overhead shutters. Where shutters are used, they should match the size and shape of the window opening.</li> <li>Decorative iron work with ornamental detailing.</li> </ul>

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EXHIBIT 7.14.1: ARCHITECTURE CHARACTER - TUSCAN/ CONTEMPORARY TUSCAN



## 8 LANDSCAPE DESIGN GUIDELINES

The guidelines for landscape architecture in SKYE SUMMIT provide a framework for how the landscape will look, feel, and function. The vision of SKYE SUMMIT is to utilize the landscape to create a unique character, logical spaces, and emphasize residential and recreational areas. When designing the landscape, consider factors such as color, variety, patterning, long-term maintenance, and proximity to the natural edge of the Red Rock National Conservation Area.

### 8.1 PUBLIC REALM GRADING AND DRAINAGE

- A. Planting areas shall be graded at a maximum of 3:1 to facilitate drainage away from buildings and hardscape.
- B. Hardscape areas shall be graded at a minimum of one (1) percent to facilitate drainage away from buildings, but in accordance with ADA guidelines for access/egress and path-of-travel.
- C. Subsurface drains shall be provided where minimum grades, as described herein, cannot be accommodated or where required by field conditions to prevent ponding or over saturation of surface or subsurface soils.

### 8.2 PUBLIC REALM IRRIGATION STANDARDS

- A. A permanent underground, automatic irrigation system shall be installed in all landscape areas throughout the public realm areas. Design shall incorporate water saving techniques and equipment and shall meet the requirements of SNWA.
- B. Irrigation design should maximize water efficiency by incorporating hydro-zoning techniques and the use of Remote Irrigation Control Systems (RICS) principles.
- C. Irrigation systems shall be valved separately depending on plant ecosystems and their orientation and exposure to sun, shade, and wind. Systems shall be sensitive to the water requirements of the plant material selected and similar water using plants grouped together.
- D. Systems should be efficiently designed to reduce overspray onto hardscape areas.
- E. Water efficient irrigation systems include pressure-controlled, matched precipitation rate nozzles, separation of irrigation zones by plant water requirements, and use of the newest technology to control the systems. Other considerations include the use of drip emitters, low volume bubblers, pop-up spiders, stream bubblers, and subsurface drip/agricultural micro-irrigation solutions.
- F. In some areas, erosion control measures may need to be implemented to reduce the loss of soil due to the action of water and / or wind in addition to prevent water pollution. Water shall be delivered in sufficient quantities and application/ precipitation rates adjusted to compensate for seasonal conditions and plant growth requirements.
- G. Irrigation equipment shall be located and installed to minimize visual impact, but easily reachable by maintenance personnel.

### 8.3 PUBLIC REALM MAINTENANCE STRATEGY

Maintenance is the care and nurturing of the landscape composition over time. It is regular and continual attention to the aesthetic and tasteful appearance of the prescribed character.

Maintenance involves developing and implementing programs and practices that become the foundation for sustaining the status quo over time. Standards for horticultural practices provide the framework for building a quality, timeless landscape expected at SKYE SUMMIT.

Adopting control programs which allow for a “least-toxic” treatment plan will minimize negative impacts to not only the environment but residents and guests. Maintenance operations should include but not be limited to providing labor, materials, equipment, and incidentals, for litter removal, drain cleaning, adequate seasonally altered watering schedules, fertilizing, pruning, replacing dead or dying plant material, weed abatement, integrated pest management, and mulching for water conservation.

## 8.4 PLANTING ZONES

Influenced by the nearby natural features of the Mojave Desert within the Red Rock Canyon National Conservation Area, the design utilizes a carefully selected plant palette to create transition between the built and natural environment. Plant choices prioritize sustainability, low-water use, shade, and proximity to natural areas. These categories include:

- **Western Trail/ Interior Trails**
  - Trees include:
    - Palo Verde
    - Acacia
    - African Sumac
    - Fruitless Olive
    - Mondell Pines
- **Monument Areas**
  - Trees Include:
    - Fruitless Olive
    - Bay Laurel
    - Red Push Pistache
    - Texas Mountain Laurel
    - Mondell Pines

Approved plant material can be found in **Exhibit 8.2.1: Acceptable Plant Palette** which has been developed based on the Regional Plant List created by the Southern Nevada Water Authority (SNWA) and the Southern Nevada Regional Planning Coalition to utilize plant material that is proven to be low-water use and drought tolerant.

SKYE SUMMIT is uniquely located in the north west portion of the Las Vegas Valley at approximately 2,950’ to 3,300’ in elevation, and adjacent to the Red Rock National Conservation Area (RRNCA). As a result of the elevation and proximity to the RRNCA (lack of urban development, therefore, reduced urban heat island) there exists a distinct microclimate that is cooler than most areas of the LV Valley (base elevation approximately 2,050’). With the exception of the jointly developed 20+/- acre park facility located in the southwest portion SKYE SUMMIT the remaining parks and common elements will be owned and maintained by the Home Owners Association(s). Therefore, given these unique and distinct conditions, Developer will be permitted to plant Mondell Pine (*Pinus Eldarica*), not to exceed 1/3 of species planted. To ensure tree counts meet the requirements of the DS/DG, the Developer/Master HOA acknowledge that if any of these species fail within the common element lots, they will be replaced.

### 8.4.1 Prohibited Plant Lists

The following plants are **prohibited** within SKYE SUMMIT:

- A. Baccharis sarothroides – Desert Broom
- B. Cortaderia selloana – Pampas Grass
- C. Cynodon dactylon – Common Bermuda Grass
- D. Olea europa – Olive (fruit producing)
- E. Pennisetum sataceum – Fountain Grass (green variety)
- F. Populus species – Cottonwood
- G. Populus nigra ‘Italica’ – Lombardy Poplar
- H. Morus alba – Mulberry Species
- I. Salix species – Weeping Willow
- J. Tamrix spp. – Tamarisk

In addition to this list, **Table 8.2.3: Prohibited / Invasive Plants** includes a list of plant species that have been deemed invasive and may not be used along the West Trail Corridor. Refer to **Exhibit 2.3.1: Trail & Park**.

## 8.5 GENERAL LANDSCAPE STANDARDS

### 8.5.1 Parcel and Gated Entries

Enhanced hardscape and landscape at the entry locations helps to establish the feel and character of the streetscape. These landscape entries include increased tree size and landscaping. An entry is defined as an area within fifty feet (50) on either side of the access drive and a minimum of one (1) lot depth. See **Section 8** for more requirements for entry locations.

Required Parcel Entry landscape improvements for primary parcel entries:

- A. Enhanced landscape including trees and shrubs to be installed based on approved landscape plans;
- B. Minimum of six (6) thirty-six (36) inch box or larger trees for the total landscape area (as defined above), arranged on both sides and median;
- C. Seventy-five (75) percent live coverage measured at one year’s growth.
  - 1. A minimum of fifty (50) percent of the required material are at least five (5) gallon, and all of the remaining material are at least one (1) gallon;
- D. Automatic irrigation System, meter, power source and/or irrigation controller (hidden from primary view);
- E. Low Voltage Lighting, a minimum of two (2) trees per side with one (1) light per tree with additional lighting to highlight the entry and exit gates and columns;
- F. Decorative pavers at the entry to the parcel;
- G. Parcel entries will be installed by the builder based on the approved landscape construction documents.
- H. The maintenance and irrigation will be the responsibility of the Homeowners association.
- I. The irrigation at the entries and common areas within the parcels shall be metered separately from the Master Association common areas.

### 8.5.2 Paseos

- A. Paseos shall be planted with a minimum of one (1) shrub per one hundred (100) square feet and one (1) tree provided per thirty (30) linear feet or per the mature tree canopy size so that the edges of the mature tree canopies do not overlap.
  - 1. Planting is subject to restrictions by utility easements.

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- B. Refer to **Exhibit 8.5.2: Paseos** for more information. Decomposed granite shall match the surrounding context.

### 8.5.3 Pedestrian Connection Areas and Cul-de-sacs

Unless otherwise state, a minimum of one (1) tree per forty (40) square feet of landscape area is to be planted in pedestrian connection areas and areas of cul-de-sacs that are not a part of a streetscape or lot. Four (4) shrubs shall be planted per tree. Decomposed granite shall match the surrounding context. Refer to **Exhibits 8.5.1 and 8.5.2.**

### 8.5.4 General Landscape Materials

#### 8.5.4.1 Decomposed Granite

- A. All shrub and ground cover areas shall be covered with a minimum of two (2) inches deep top dressing of gravel, stone, or decomposed granite mulch.  
The Master Developer is to establish the allowable granite colors. All entries need to match the common area granite. Internal granite may have additional options.
- B. River Rock beds are discouraged; use of alternates such as granite cobble is encouraged. The cobble should match with the rock mulch or granite selection for the Development.
- C. All granite areas must be treated with a pre-emergent weed control at regular intervals to retard weed growth.
- D. The use of landscape fabric under the granite is not allowed within the front yards.
- E. Only one color of decomposed granite is permitted to be installed on a lot. A community is limited to no more than two (2) colors of decomposed granite.
- F. Ground cover, inert material and other landscaping, softscape, or hardscape shall not be used to spell out or form words, images or symbols of any kind.

#### 8.5.4.2 Boulders

Use of boulders to create a natural setting is permitted subject to the following criteria:

- A. Boulders must be buried with one-third (1/3) of the boulder being underground.
- B. Boulders shall be installed in a naturalistic manner (groupings) and integrated within the landscape including other boulders or landscape materials such as plants, decomposed granite and contouring.
- C. Boulders are to match or contrast the selected decomposed granite within the location.
- D. Use of manufactured or faux boulders shall not be permitted.

#### 8.5.4.3 Mounding

- A. Mounding and other proposed grade changes should appear natural.
- B. Mounds should be a maximum of twenty-four (24) inches in height and have natural looking shapes.
- C. Berms must not impede drainage in any way.
- D. Maintain a minimum of twenty-four (24) inches from property lines and structures for all mounding.
- E. Maximum allowable slope on mounding to be 3:1.

**8.5.4.4 Pots and Planting Containers**

- A. Pots and planting containers are encouraged to provide additional color, accents and additional structure in the landscape.
- B. All pots and plant containers shall be selected in colors and materials that complement the architecture and hardscape forms.
- C. Irrigation must be provided to pot locations with the use of drip irrigation.
- D. Pots and planters must always have live foliage at all times.
- E. Potted planting shall be used as accent only, not as the primary method of adding landscape.

**8.5.4.5 Turf**

The use of turf is permitted only in active recreation areas. See **Section 8.6.1.1: Residential Turf** for more information on the use of turf in residential settings.

Turf included in areas such as parks for sports or open play, must meet the following Functional Turf requirements (or as prescribed by SNWA):

- A. Turf shall be counted as one contiguous area, areas with interruptions or breaks shall be counted as separate turf areas.
- B. A minimum dimension of thirty (30) feet in any direction.
- C. A minimum turf area of one thousand five hundred (1,500) square feet (Mounding not required).
- D. Turf is installed on a slope that is less than twenty-five (25) percent to ensure proper water retention and prevent runoff. Refer to **Section 2.2.1: General Park Requirements** for slope requirements in park areas.
- E. Turf must be located a minimum of ten (10) feet away from the back of the curb of any public or private street.

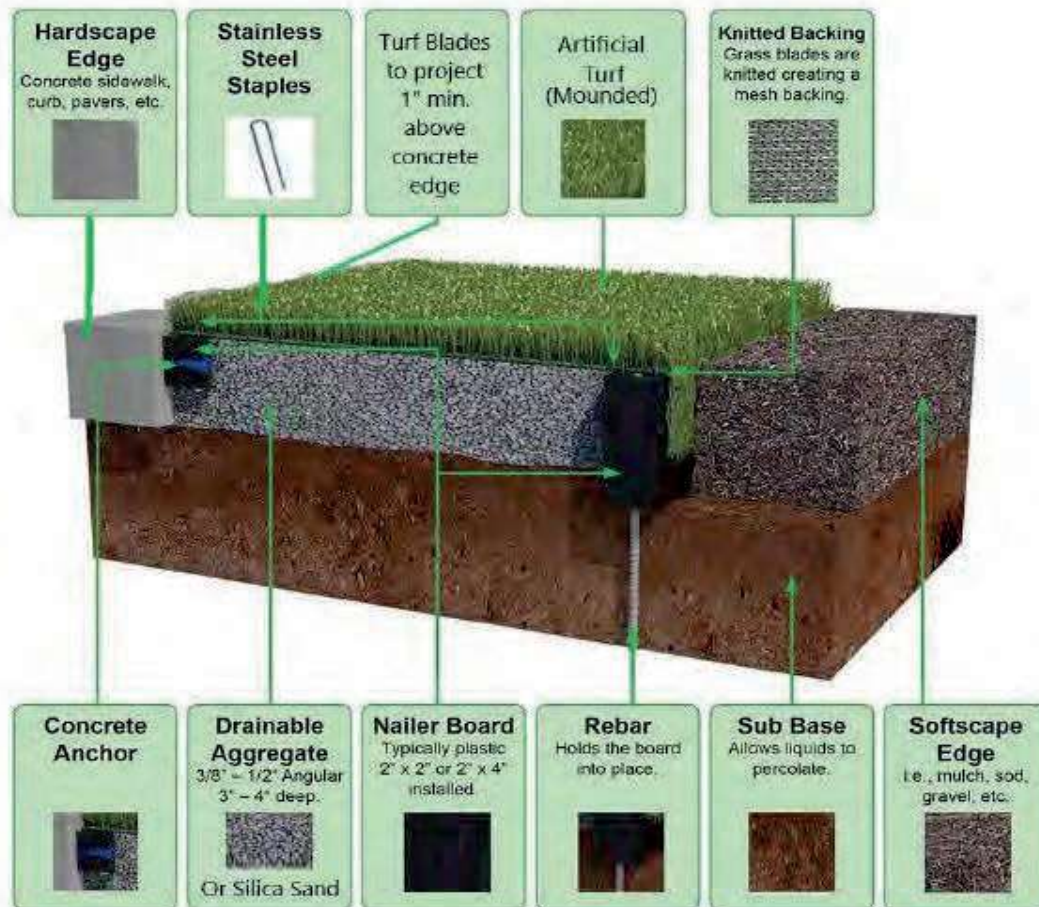
**8.5.4.6 Artificial Turf**

Artificial turf must meet or exceed the specifications included in **Table 8.5.2.6: Artificial Turf Specification** and **Figure 8.5.4.6: Artificial Turf** as approved by ARC:

Only the approved manufacturer of artificial / synthetic turf shall be accepted and installed. Turf shall be MG4000 by Mirage Putting Greens. Turf areas shall be a minimum of 40% of the non-paved front yard area (as defined above) and shall be limited to seventy-five percent (75%) of the non-paved front yard area (as defined above). Minimum width of turf area shall be six feet (6'). Turf shall be located a minimum of thirty inches (30") from the building face or wall. Turf area shall be with a 'product / edge' that ties into the architectural detailing, a minimum of four inches (4") in width of either concrete, grouted stone, other type masonry product, or steel that is flush to grade. Trees positioned within artificial / synthetic turf shall be planted within 'pockets' of the artificial / synthetic turf. Turf shall be anchored to hardscape such as the driveway or back of curb. Floating turf islands are discouraged. Turf shall be mounded. Flat turf areas are prohibited. Turf shall be mounded per **Section 8.4.5.3: Mounding**.



Figure 8.5.4.6: Artificial Turf



## 8.6 RESIDENTIAL LANDSCAPE

### 8.6.1 Single Family Residential Landscape

#### 8.6.1.1 Residential Turf

- A. Natural Turf in Single Family Residential Landscaping is not permitted in accordance with SNWA.
- B. Front yard turf is prohibited, with the exception of Artificial turf. Artificial turf in the front yard is subject to ARC approval.
- C. Xeriscape is an acceptable alternative to artificial turf.
- D. Artificial/ Synthetic Turf
  1. If artificial turf is proposed, the Owner must submit manufacturer sample and specifications for ARC review and approval prior to installation and must meet or exceed the specifications listed in **Section 8.5.2.6: Artificial Turf**.
  2. In the event of deterioration or fading, ARC reserves the right to require the Lot Owner to remove the artificial turf and replace it with ARC approved alternative at the Lot Owner's expense.
  3. Artificial turf must be installed in a manner consistent with natural turf installation.
  4. Combinations of grass and artificial turf will not be permitted, nor will combinations of different types of artificial turf be permitted.
  5. Where areas of natural turf is removed, a minimum of fifty (50) percent living plant cover shall be installed as a measured at full maturity. Of that fifty (50) percent, sixty (60) percent of the planting shall be evergreen planting where the natural turf is not fully replaced with artificial turf.
  6. Each application for installation must be supported by the specifications of the product and method of installation.
    - a. Minimum specifications must meet or exceed the requirements of **Section 8.5.2.6: Artificial Turf**:
    - b. Installation must follow the following requirements:
      - i. Turf must be placed over sand and other fine aggregate that measures two (2) inches in depth and it must be mechanically compacted.
        - (a) No concrete or reject sand will be permitted under the turf.
      - ii. Turf shall be mounded a minimum of six (6) inches.
      - iii. Trees and shrubs installed adjacent to or inside the artificial turf areas will be challenged for sufficient irrigation water therefore deep root or subsurface irrigation techniques should be incorporated into irrigation plans.
      - iv. Trees and shrubs installed inside the artificial turf areas must have tree rings that are a minimum of twelve (12) inches beyond the mature caliper of the tree. The rings must be covered with approved mulch.
      - v. Turf must be edged with a hard surface material such as pavers, flagstones, boulders, decorative or retention walls, mow curbs, steel, etc.
        - (a) A hardscape border of a neutral-colored concrete curbing or brick must separate turf and granite areas.
      - vi. A minimum of twelve (12) inches of separation treatment must be provided if artificial turf is adjacent to real grass or artificial turf in a neighboring landscape.

- vii. Drainage across the lot cannot be altered no impact a neighbor's lot.
- viii. Entire installation must be by a licensed contractor that has documented artificial turf experience and references.
- c. Turf must be anchored to adjacent walkways or curb. Turf blades shall project a minimum of one (1) inch above the adjacent walkway, curb, or hard surface.
  - i. To avoid "turf islands", all artificial turf areas in the front yard must have at least one edge adjacent to a sidewalk or patio surface.
- 7. Drainage should flow away from all walls and any structures.

#### **8.6.1.2 Border Material**

Skye Summit encourages the sharing of common granite colors between neighbors and therefore, the use of border material along property lines is prohibited.

- A. Brick, concrete, and flagstone borders are approved border materials for containing sod and granite areas.
- B. Bender Board or plastic edging is prohibited.
- C. The use of plant material to make a solid hedge along an adjacent property line is also prohibited.
- D. The selected plant material should blend and complement with the adjacent lot if it is installed.

#### **8.6.1.3 Irrigation**

- A. All landscape irrigation must be underground, automatic, and low water use drip systems, except for turf or flowerbed areas, which may use spray systems.
- B. Overspray onto sidewalks, walls and streets is strictly prohibited.
- C. Great care should be taken to avoid spraying walls, fences and other structures that may cause damage and void any warranty.
- D. Maintain a minimum of twenty-four (24) inches from the edge of the house and walls with all plant material and irrigation lines.

#### **8.6.1.4 Landscape at Residential Entries**

- A. Shrub species and planting density to match common areas.
- B. Decomposed granite at residential entries must tie into adjacent areas and match in color to common areas.

#### **8.6.1.5 Landscape at Crash Gates**

- A. If a crash gate is located where the adjacent decomposed granite is a different color and/or size, a concrete header is required.

#### **8.6.1.6 Front Yard Residential Landscape**

- A. The Parcel Developer is responsible for installing the initial front yard landscaping per the approved guidelines.
- B. All subsequent and future installation will be the responsibility of the Homeowner and adhere to the approved guidelines.
- C. Installation of all landscaping improvements, together with any underground drip irrigation systems to be sufficient to adequately water the landscaping Improvements in the front yard of their Lot.
- D. Two (2) inches deep decomposed granite to all landscape areas.
- E. All plants and irrigation must be set back a minimum of two (2) feet from all house foundations, concrete slabs including driveway, sidewalks and walls.

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- F. No plant material greater than twenty-four (24) inches in height to be planted within sight visibility zones.
- G. Artificial Turf (not to exceed thirty-three percent (33%) of the front yard) and must be attached to sidewalk or drive and must maintain a minimum of thirty-six (36) inches from side property line.
- H. Trees and Plants must be selected from the acceptable tree and plant lists, refer to **Exhibits 8.2.1: Acceptable Tree List and 8.2.2: Acceptable Plant List**.
1. For examples of planting the minimum requirements for front yards, refer to the following exhibits.
    - a. **Exhibit 8.6.1: Typical Front Yard –40’ Lot**
    - b. **Exhibit 8.6.2: Typical Front Yard –60’ Lot**
    - c. **Exhibit 8.6.3: Typical Corner Lot**
    - d. **Exhibit 8.6.4: Typical Corner Lot**
  2. Trees, shrubs or annuals selected from an approved plant list should complement the architecture elevation and enhance the aesthetic appeal of walls, planters, walks, etc. The landscape design should be designed to “flow” from one yard to the next allowing an open feel along the street frontage.
  3. Front yard planting standards shall be applicable to oversized, corner, and cul-de-sac lot conditions.
  4. The standard lot plant quantities shall increase at the oversized, corner, and cul-de-sac lot conditions to ensure that planting requirements are met, refer to the typical front yard exhibits.
  5. For cul-de-sac and oversized lots refer to **Section 8.6.1.5: Cul-de-sac and Oversized Lot Front Yard Landscape Requirements**.
- I. Total front yard landscape area is determined by measuring the area of the front yard and then excluding any walks, driveways, paved courtyards, and patios.
- J. Parcel Developers shall utilize **Table 8.6.1.4: Front Yard Planting Coverage Calculations** when calculating the front yard planting requirements for each product type to demonstrate conformance to the Design Guidelines.
1. Parcel Developers must include **Table 8.6.1.4: Front Yard Planting Coverage Calculations** as part of submittal to ARC.

**Table 8.6.1.4: Front Yard Planting Coverage Calculations**

Plant Type	Radius (ft)	Coverage Per Plant (SF)*	Size	Plant Quantities	Evergreen Plant Quantities	Evergreen Coverage (SF)	Total Coverage (SF)
Ex. Large Shrub	3.5	38.47	15 gal.				
L. Shrub	2.5	19.63	5 gal.				
Med. Shrub	1.75	9.62	5 gal.				
Small Shrub	1.25	4.91	5 gal.				
Ground Covers	1.75	9.62	5 gal.				
Accent	1.25	4.91	5 gal.				
Total Front Yard Coverage Provided						SF	SF
Total Front Yard Landscape Area							SF
Total Evergreen Coverage Required						30%	SF
Percentage of Coverage as Evergreen							%
Total Front Yard Coverage Required						50%	SF
Total Percentage of Front Yard Coverage							0.00%

\*Plant coverage calculated as an average mature size

\*\* Accents may count up to a maximum of 10% of total required coverage.

#### 8.6.1.6.1 Single Family Lot Tree Requirements

Trees planted in the front yards of homes in enhancing a neighborhood's character and appeal.

- A. Trees should be placed no closer than fifteen (15) feet apart unless they are of the same species.
- B. Trees shall not be planted closer than five (5) feet from any wall, structure, sidewalk, curb, driveway, fence, or utility lines.
  1. Any tree within six (6) feet of any wall, structure or hardscape shall be installed with a root barrier.
  2. Root barrier to be a minimum of three (3) times the width of the root ball or box size and must be centered on the tree.
- C. **Table 8.6.1.4.1: Single Family Lot Tree Requirements** list the minimum tree requirements base on single-family product lot width.

**Table 8.6.1.4.1: Single Family Lot Tree Minimum Requirements**

(1-24" Box tree is required for every 30 lineal feet of front yard and corner street frontage)

Lot Width	Shade Tree	Accent/ Evergreen Tree
Up to 50'	1-24" Box (street frontage may require more)	1-24" Box (street frontage may require more)
51'-75'	1-24" Box (street frontage may require more)	1-24" Box (street frontage may require more)
75' and larger	1-24" Box (street frontage may require more)	1-24" Box (street frontage may require more)

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**8.6.1.6.2 Single-Family Lot Shrub Requirements**

- A. Front yards shall be planted to maintain fifty (50) percent shrub coverage.
  - 1. Required plant material are at least five (5) gallon.
  - 2. Sixty (60) percent of shrubs shall be evergreens.
- B. Each front yard is to contain a maximum of four (4) different species as selected from the approved plant list. Plant massing shall be used in groupings of similar species to provide overall mass and structure to the yard.
- C. Foundation planting shall be used to screen visible portions of the house base, including backflow preventers at one (1) year's growth.

**8.6.1.7 Cul-de-sac and Oversized Lot Front Yard Landscape Requirements**

Cul-de-sac and oversized lot front yard landscape requirements include:

- A. Parcel Developers shall utilize **Table 8.6.1.4: Front Yard Planting Coverage Calculations** when calculating the front yard planting requirements for a typical cul-de-sac lot and/or oversized lot, where applicable, to demonstrate conformance to the Landscape Design Guidelines.
  - 1. Parcel Developers must include **Table 8.6.1.4: Front Yard Planting Coverage Calculations** as part of submittal to ARC.
- B. Refer to **Exhibit 8.6.1.4: Typical Front Yard – Cul-de-sac** for more information for cul-de-sac lots.
- C. If the cul-de-sac connects to a common area on a roadway with a different color and/or size decomposed granite, a concrete header is required.

**8.6.1.8 Corner Lot Front Yard Landscape Requirements**

Corner lot front yard landscape requirements include:

- A. Parcel Developers shall utilize **Table 8.6.1.4: Front Yard Planting Coverage Calculations** when calculating the front yard planting requirements for a typical corner lot to demonstrate conformance to the Development Standards and Design Guidelines.
  - 1. Parcel Developers must include **Table 8.6.1.4: Front Yard Planting Coverage Calculations** as part of submittal to ARC.
- B. Design of planting material in corner lots will observe all requirements and planting restrictions for sight visibility zones.
  - 1. Plant material within the sight visibility zone not to exceed twenty-four (24) inches.

**8.6.1.9 Private Alley and Cluster Lot Landscape Requirements**

- A. All areas outside of private alley right-of-way and between a product or retaining wall shall be planted using a palette consistent with the parcel theme.
- B. Screen planting shall be used whenever possible to hide expanses of walls with hedging and espaliers.
- C. Consideration should be taken in landscape designs to accommodate emergency vehicle maneuvering in the alleys.
- D. The lot owner must maintain landscape areas between walls and edge of pavement.
- E. This planting area must be irrigated by the individual lot irrigation system.
- F. All landscape in the Private Alley Zone must be installed on each lot prior to close of escrow.
- G. Minimum requirements for the Private Alley Zone are:

1. One (1) twenty-four (24) inch box tree or five (5) gallon large shrub per lot on one side of the alley only or staggered one side to the other;
  - a. These large shrubs must be five (5) gallon or larger and of the following approved shrub species: Tacoma, Arizona Rosewood, or Yellow Bird of Paradise. These shrubs must also be maintained as a tree.
2. Shrub density shall be one (1) plant per twenty-five (25) square feet;
3. Shrub materials sizes: required plant material are at least five (5) gallon
4. Living lawn is prohibited;
5. Eighteen (18) inch maximum height for groundcovers within the first three (3) feet of landscape area adjacent to pavement; and
6. Full coverage of gravel mulch.

#### **8.6.1.10 Flower and Vegetable Gardens**

- A. Flower or planting beds requiring overhead spray irrigation shall be limited to rear yards only or in pots with irrigation systems.
- B. Annual flower gardens not exceeding thirty (30) square feet in size are allowed in front yards.

#### **8.6.1.11 Model Complexes**

Landscape for model homes for both single-family private alley products and multi-family developments shall be consistent with these Standards.

- A. Enhanced landscape plantings must be installed.
- B. Larger sized (e.g.; box, caliper, gallon size) plant materials are required, with the model home landscape resembling the homeowner landscape package at maturity.

#### **8.6.1.11.1 Model complex landscape requirements:**

- A. Minimum of two (2) twenty-four (24) inch box tree for every seven hundred (700) square feet of landscape area;
- B. Seventy-five percent (75%) live coverage measured at one year's growth. Seventy-five percent (75%) of the required material are at least five (5) gallon and all of the remaining material are at least one (1) gallon;
- C. Parcel Developers shall utilize **Table 8.6.1.4: Front Yard Planting Coverage Calculations** when calculating the front yard planting requirements for model homes, where applicable, to demonstrate conformance to the Design Guidelines.
- D. Automatic underground irrigation system with backflow prevention device;
- E. Natural appearing grading;
- F. Boulders and inert groundcover under all planting;
- G. Must comply with minimum landscape requirements for front yard landscape;
- H. All trees, shrubs, groundcovers, accents, vines, or any other plant materials listed on the **Exhibit 8.2.1: Acceptable Tree List** and **Exhibit 8.2.3: Acceptable Plant List** are required to meet the Arizona Nurserymen's Association requirements for minimum plant size; and
- I. Landscape lighting for safety.

### 8.6.2 Cluster, Alley / Private Street-Loaded, and Attached Residential Landscape Standards

The intent of these residential streetscape and landscape guidelines is to encourage and aid in the thoughtful planning of outdoor spaces. Well-designed open spaces weave sites together, enhance pedestrian activity, and extend usable space to the outdoors. Site designs should pay careful attention to pedestrian circulation and strive to create convenient and hospitable connections to adjacent sites, indoor uses, and outdoor gathering spaces.

The landscape design for cluster, alley-loaded, and attached residential neighborhoods shall be focused towards paseos, common open space, and pedestrian access due to private usable open space within a multi-family development being limited. The design of landscape in an attached residential development shall create a hierarchy between primary spaces, circulation, and secondary spaces such as areas between garages or driveways. Refer to **Exhibit 8.6.1: Typical Attached Single Family Landscaping**.

- A. To ensure continuity and a smooth transition between streetscapes and residential landscape, the design palette shall require at minimum five (5) plant species from the recommended planting list from **Exhibit 8.2.2: Acceptable Plant List**.
- B. Common open space shall create a balance between hardscape and softscape by achieving thirty (30) percent plant coverage at the time of install with at least fifty (50) percent of plant coverage at full maturity.
- C. Accent trees should highlight entry areas and be augmented through a variety of planting techniques with the goal of providing privacy and variation in texture and color.
- D. Screen planting such as smaller trees and shrubs shall be located between garage doors and alley loaded neighborhoods where space allows.
  1. On-grade parking areas shall be adequately screened from open space areas to minimize the visibility of parked cars and headlights.

## 8.7 NON-RESIDENTIAL LANDSCAPE REQUIREMENTS

The incorporation of plant material in non-residential developments serve to soften the built environment through organic forms, providing contrast to the rigidity of structures. Plants offer shade, seasonal color, and human scale relate-ability which serve to enhance pedestrian experiences. Plant material in non-residential and mixed-use developments act as screening and visual breaks that enhance the sensory appeal of more dense spaces.

- A. Trees shall be spaced within required buffer zones in accordance with **Table 8.7: Non-Residential Landscape Buffer Tree Spacing**.

Table 8.7: Non-Residential Landscape Buffer Tree Requirements	
Use	Standard
Commercial	1-24" box tree per 20 linear feet (4) 5-gallon shrubs required for every tree
Parks	1-24" box tree per 20 linear feet of street frontage, perimeter length, and all planter areas. (4) 5-gallon shrubs required for every tree
Industrial	1-24" box tree per 20 linear feet (4) 5-gallon shrubs required for every tree

Note: Where adjacent to any other commercial or industrial lot or right-of-way classified as a freeway, the spacing maybe increased to 1-24" box tree per 30 linear feet.

- B. Groundcovers are required in all landscape areas, a minimum of (2) inches in depth.

## 8.8 STREETSCAPES AND VEHICULAR AREAS

The circulation system in Skye Summit is defined by a well-structures hierarchy of roadways and streetscapes. Arterial boulevards form the core network, linking a variety of frontage avenues and collector roads. This network is characterized by a design approach that uses walls, fencing, site furniture, and plant materials to create a cohesive community character.

The streetscape design includes:

- A. A balanced visual composition across primary, secondary, and tertiary circulation routes.
- B. A pattern of street trees that guides circulation, enhances vistas, and screens less appealing areas.
- C. Traffic calming measures such as expanded planting areas and enhanced paving at crosswalks shall be complemented by the inclusion of street furniture.
- D. All planting and landscape material within the streetscapes shall follow safety standards and plant height restrictions in sight visibility zones according to the City of Las Vegas standards.
- E. Streetscapes include sidewalks, multi-use trails, paths, buffers, bicycle lanes, and equestrian paths.
- F. Refer to Section 8 for exhibits for examples of streetscape planting within SKYE SUMMIT;  
**Exhibit 8.3.3 Streetscapes**

### 8.8.1 Street Trees

Street trees play a defining role in shaping the character of Skye Summit. Landscape material selected along local streets shall not obstruct pedestrian movement along paths and trails, nor shall they obstruct the sight lines of vehicles.

#### 8.8.1.1 Arterial Streetscapes

Along arterial roadways, the selection and placement of plant material play a vital role in establishing the character and identity of major thoroughfares. The species choice, scale, and density are strategically used to reflect the hierarchical significance of arterial roadways. Refer to **Exhibit 8.3.3: Streetscapes** for more information.

#### 8.8.1.2 Collector Streetscapes

The landscape strategy, particularly the use of trees, is key in defining the intermediate roles of collector roadways within SKYE SUMMIT. The species selection and arrangement of plant material along collector roadways not only enhances the beauty of the roadways, but also indicates the transition between the local road and arterial roads. Refer to **Exhibit 8.3.3 Streetscapes**.

### 8.8.2 Landscape within Parking Areas / Lots

- A. Trees within parking areas shall be a minimum of twenty-four (24) inch box and planted in accordance with City guidelines.
- B. Tree wells and / or strips shall be protected by curbs with a net inside curb face-to-curb face planting dimension of five (5) feet.
- C. Longer planting strips / islands shall have periodic openings for planting area to function as a bio-swale

- D. Any tree within five (5) feet of any wall, structure, hardscape or synthetic turf shall be installed with a root barrier. Linear root barriers shall be installed continuously along the edge of a wall, structure, or hardscape -extending a minimum of five (5) feet past the gallon/box edge.
- E. Where vehicular parking is headed into planted areas, parking space shall be so designed with an addition twenty-four (24) inches clearance from curb to plant, wheel stops are acceptable, in such a manner that no vehicle will overhang the curb and/ or be in a position to damage the planting area.
- F. Surface parking areas shall be provided with predominately large deciduous and evergreen canopy trees to reduce heat-island effect, glare, preserve site lines, and maintain cooler temperatures of the pavement during summer.
- G. Tree planting shall be coordinated with site lighting so minimum illumination levels are not compromised as trees mature.
- H. Plant material shall be selected for its seasonal color (flowers and / or leaves), sculptural forms, elegance, texture, and playfulness.
- I. The edge / peripheral treatment of parking lots shall be low profile hedge-like material that will visually screen the cars and especially the headlights at night.
- J. Accent trees in focal/ entry areas shall be of a flowering variety.
- K. Commercial properties defer to Section 3.20 of the SKYE SUMMIT Development Agreement wherein they are held to the C1 zoning district.

### 8.8.3 Streetscape at Utilities

- A. Along streets that border a residential subdivision, all utility boxes and above-ground utility installations, other than utility poles, that are in excess of twenty-seven (27) cubic feet in size and that are to be placed outside the right-of-way shall be installed with landscaping on two (2) sides, with one (1) side being available for access by utility companies.
- B. The landscape must include tall grasses and/or shrubbery which, at maturity, will provide adequate screening of the utility structures.



**Exhibit 8.2.1: Acceptable Tree List**

(The ARC will consider other species not listed or as otherwise approved)

<b>TREES</b>		
<b>Common Name</b>	<b>Botanical Name</b>	<b>Plant Coverage Value (Square Feet)</b>
African Sumac **	Rhus lancea	236
Bay Laurel Tree **	Laurus nobilis	100
Chaste Tree	Vitax agnus-castus	368
Chilean Mesquite **	Prosopis chilensis	530
Chinese Pistache	Pistacia chinensis	530
Desert Willow **	Chilopsis linearis	236
Mondell Pine *** (S)	Pinus eldarica	500
Golden Rain Tree	Koelreuteria paniculata	530
Heritage Oak **	Quercus virginiana 'Heritage'	236
Holly Oak **	Quercus ilex	236
Italian Stone Pine **	Pinus pinea	942
Japanese Privet **	Ligustrum japonicum	225
Olive (fruitless) **	Olea europaea 'Swan Hill'	530
Shademaster Honey Locust	Gleditsia triacanthos 'Shademaster'	530
Southern Live Oak **	Quercus virginiana	236
Strawberry Tree **	Arbutus unedo	59
Mastic Tree **	Pistacia lentiscus	314
Red Push Pistache	Pistacia chinensis	706

- Shallow rooted trees shall not be used in front yards

\*\* Evergreen

\*\*\* (S) This species shall not exceed 1/3 of all Common Element Tree Species.

**Exhibit 8.2.2: Acceptable Plant List**

<b>SHRUBS</b>		
<b>Common Name</b>	<b>Botanical Name</b>	<b>Plant Coverage Value (Square Feet)</b>
Arizona Rosewood	Vauquelinia californica	79
Autumn Sage	Salvia greggii	13
Burford Holly	Ilex cortuna 'Burfordii'	50
Bush Morning Glory	Convolvulus cneorum	13
Butterfly Iris	Dietes vegeta	3
Carolina Laurel Cherry	Prunus caroliniana	236
Carpet Rose	Rosa x 'noare' x 'noachnee'	25
Cassia	Cassia wislizeni	28
Compact Pfitzer Juniper	Juniperus chi. 'Pfitzerana Compacta'	79
Cotoneaster	Cotoneaster species	50
Crape Myrtle	Lagerstroemia indica	28
Day Lily	Heimerocalis (Hybrids)	3
Dwarf Myrtle	Myrtus comunis 'Compacta'	13
Dwarf Pomegranate	Puncia granatum 'Nana'	7
Dwarf Strawberry Tree	Arbutus unedo 'Compacta'	59
Ebbing Silverberry	Elaeagnus ebbingei	50
Feathery Cassia	Cassia artemisiodes	28
Fraser's Photinia	Photinia fraseri	28
Giant Liriope	Liriope gigantea	9
Glossy Privet	Ligustrum lucidum	50
Gold Coast	Juniperus chinensis 'Gold Coast'	20
Heavenly Bamboo	Nandina domestica	13
Iceberg Rose	Rosa floribunda 'Iceberg'	20
India Hawthorne	Raphiolepis indica	13
Japanese Boxwood	Buxus microphylla japonica	28
Japanese Evergreen Euonymus	Elaeagnus japonica	28
Japanese Privet	Ligustrum japonicum	50
Japanese Variegated Pittosporum	Pittosporum tobira 'Variegated'	25
Lantana 'New Gold'	Lantana x 'New Gold'	25
Pyracantha / Firethorn	Pyracanthus species	50
Rosemary	Rosemarinus officinalis	28
Shiny Xylosma	Xylsma congestum	79
Star Jasmine	Trachelospermum jasminoides	5
Texas Ranger	Leucophyllum species	28
Yaupon	Ilex vomitria	6

Yellow Bird of Paradise	Yucca pendula glauca	13
<b>VINES &amp; ESPALIERS</b>		
<b>Common Name</b>	<b>Botanical Name</b>	<b>Plant Coverage Value (Square Feet)</b>
Firethorn	Pyracantha coccinea lalandi	20
Hall's Japanese Honeysuckle	Lonicera japonica 'Halliana'	177
Lady Bank's Rose	Rosa banksiae	177
Star Jasmine	Trachelospermum jasminoides	28
Yellow Trumpet Vine	Macfadyena unguis-cati	177

<b>Exhibit 8.2.3: Prohibited Plants - Invasive</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Achnatherum capense	Cape ricegrass
Acroptilon repens	Russian knapweed
Ailanthus altissima	Tree-of-heaven
Arundo donax	Giant Reed
Alhagi pseudalhagi	Camelthorn
Avena fatua	Wild oat
Bassia hyssopifolia	Fivehook bassia
Bassia scoparia	Burningbush
Brassica tournefortii	Sahara mustard
Bromus diandrus	Ripgut brome
Bromus rubens	Red brome
Bromus tectorum	Cheat grass
Cardaria draba	Hoary cress/Whitetop
Carduus nutans	Musk thistle/ Nodding thistle
Centaurea calcitrapa	Purple starthistle
Centaurea diffusa	Diffuse knapweed
Centaurea iberica	Iberian starthistle
Centaurea maculosa	Spotted knapweed
Centaurea melitensis	Malta starthistle/ Tocalote
Centaurea solstitialis	Yellow starthistle
Centaurea stoebe ssp. Micranthos	Spotted knapweed
Centaurea virgata spp. Squarrosa	Squarrose knapweed

Chondrilla juncea	Rush skeletonweed
Cirsium arvense	Canada thistle
Cirsium vulgare	Bull thistle
Convolvulus arvensis	Field bindweed
Cortaderia selloana	Pampas grass
Crupina vulgaris	Common crupina
Cynodon dactylon	Bermudagrass
Cynoglossum officinale	Houndstongue
Elaeagnus angustifolia	Russian olive
Erodium cicutarium	Redstem filaree
Eruca vesicaria ssp. Sativa	Arugula
Euphorbia esula	Leafy spurge
Halogeton glomeratus	Saltlover
Hordeum spp.	Barley
Hydrilla verticillata	Hydrilla
Hypericum perforatum	St. Johnswort/ Klamath weed
Isatis tinctoria	Dyer's woad
Lactuca serriola	Prickly lettuce
Lantana camara	Common lantana
Lepidium latifolium	Perennial pepperweed/ Tall whitetop
Linaria dalmatica	Dalmatian toadflax
Linaria vulgaris	Yellow toadflax
Lythrum salicaria	Purple loosestrife
Malcolmia africana	African mustard
Myriophyllum spicatum	Eurasian watermilfoil

<i>Nicotiana glauca</i>	Tree tobacco
<i>Onopordum acanthium</i>	Scotch thistle
<i>Peganum harmala</i>	African Rue
<i>Pennisetum ciliare</i>	Buffelgrass
<i>Pennisetum setaceum</i>	Green fountain grass/ Fountain grass
<i>Phoenix dactylifera</i>	Date palm
<i>Polypogon monspeliensis</i>	Rabbitsfoot grass
<i>Potentilla recta</i>	Sulfur cinquefoil
<i>Rorippa austriaca</i>	Austrian fieldcress
<i>Saccharum ravennae</i>	Ravenna grass
<i>Salsola tragus</i>	Russian thistle
<i>Salvia aethiopis</i>	Mediterranean sage
<i>Salvinia molesta</i>	Giant salvinia
<i>Schismus spp.</i>	Mediterranean grass
<i>Sisymbrium altissimum</i>	Tall tumbled mustard
<i>Sisymbrium irio</i>	London rocket
<i>Sisymbrium orientale</i>	Indian hedgemustard
<i>Sonchus oleraceus</i>	Common sowthistle
<i>Sorghum halepense</i>	Johnson grass
<i>Spartium junceum</i>	Spanish Broom
<i>Taeniatherum caput-medusae</i>	Medusahead
<i>Tamarix aphylla</i>	Athel
<i>Tamarix ramosissima</i>	Saltcedar/Tamarisk
<i>Tribulus terrestris</i>	Puncturevine
<i>Vitex agnus-castus</i>	Lilac chastetree
<i>Washingtonia filifera</i>	California fan palm
<i>Zygophyllum fabago</i>	Syrian beancaper



## Exhibit 8.2.3: Tree / Plant Image Boards

# PLANT LIST - TREES

## TREE TYPE LEGEND

3 = 3 STARS

D = DECIDUOUS

E = EVERGREEN

S = SEMI-EVERGREEN

4 = 4 STARS

5 = 5 STARS

E5

ACACIA ANEURA  
MILGA ACACIA

E4

ACACIA GERRARDII  
COONAMITRA MIMBLE

E5

ACACIA PENDULA  
WEeping ACACIA

E4

ACACIA SALIGNA  
WILLOW ACACIA

E3

ACACIA STENOPHYLLA  
SHAGBERRY ACACIA

E3

ACACIA UNGUIS  
STRAWBERRY TREE

D5

BANKSIA LANTHANOIDES  
GROUND TREE

E4

BANKSIA LANTHANOIDES  
CAROB

D4

BANKSIA LANTHANOIDES  
CHIHUAHUA ORCHID TREE

D4

CELTIS OCCIDENTALIS  
COMMON HUCKLEBERRY

D4

CELTIS DENSATA  
MEXICAN REDBUD

D4

CHILOPSIS LINEARIS  
DESERT WILLOW

S5

CORDIA ALLIODORA  
TEXAS OLIVE

S4

ZINNIA MEXICANA  
TEXAS EDDY

D5

HUARQUIA MEXICANA  
MEXICAN EDDY

D3

KOEBERLINIA PANICULATA  
GOLDEN HAWK TREE

E4

LAURUS NOBILIS  
SAVY LAUREL

E5

LEUCAENA RETUSA  
GOLDEN LEAGUEBALL TREE

E5

LYSIDIUM WILSONII  
FERN OF THE DESERT

E5

OLEA EUROPAEA  
SWAN HILL WILLOW

S3

PARASPONCHIA DESERTI  
DESERT MUSEUM PALO VERDE

D5

PARASPONCHIA MICROPHYLLA  
FOOTHILL PALO VERDE

D5

PARASPONCHIA PRAECOX  
PALO BREA

E2

PINUS ELДАРICA  
MONTELL PINE

E3

PINUS PINASTER  
STONE PINE

D4

PINUS DENSATA  
RED PINE

E4

PISTACHIA LENTISCUS  
MEXICAN LENTIS

D3

PLATANUS MEXICANA  
MEXICAN STAGHOLE

S4

PROSOPIS JULIFLORA  
THORNLESS HYBRID MESQUITE

D4

PROSOPIS JULIFLORA  
TEXAS MONEY MESQUITE

D4

PROSOPIS JULIFLORA  
MESQUITE SPEEDIES

S5

PROSOPIS JULIFLORA  
VELVET MESQUITE

D3








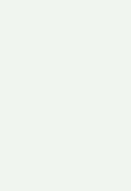

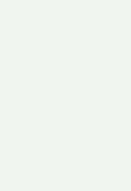

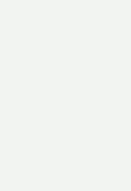

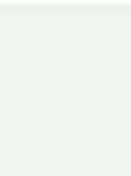














PUNGA GRANATUM  
POWERBARK

D3

QUERCUS BUCKLEYI  
BUCKLEY TEXAS RED OAK

E4

QUERCUS FUSIFORMIS  
ESCAPMENT OAK

TREE TYPE LEGEND		3 - 3 STARS	
D = DECIDUOUS		4 - 4 STARS	
E = EVERGREEN		5 - 5 STARS	
S = SEMI-EVERGREEN			
PLANT LIST - TREES CONTINUED			
	D3 QUERCUS LOBATA VALLEY OAK		S4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK
	E3 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK		S4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK
	S4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK		D4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK
	S4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK		D4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK
	S4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK		D4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK
	S4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK		D4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK
	S4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK		D4 QUERCUS AGRIFOLIA CALIFORNIA LIVE OAK
PLANT LIST - SHRUBS			
	ARTEMISIA TRIDENTATA DESERT SAGE		ARTEMISIA TRIDENTATA DESERT SAGE
	ARTEMISIA TRIDENTATA DESERT SAGE		ARTEMISIA TRIDENTATA DESERT SAGE
	ARTEMISIA TRIDENTATA DESERT SAGE		ARTEMISIA TRIDENTATA DESERT SAGE
	ARTEMISIA TRIDENTATA DESERT SAGE		ARTEMISIA TRIDENTATA DESERT SAGE
	ARTEMISIA TRIDENTATA DESERT SAGE		ARTEMISIA TRIDENTATA DESERT SAGE
	ARTEMISIA TRIDENTATA DESERT SAGE		ARTEMISIA TRIDENTATA DESERT SAGE
	ARTEMISIA TRIDENTATA DESERT SAGE		ARTEMISIA TRIDENTATA DESERT SAGE



# PLANT LIST - SHRUBS CONTINUED




































					
CAESAL PINA PLECCANA YELLOW BIRD OF PARADISE	CAESAL PINA PLECCANA DAMPANITA	DALIA PLECCANA PINK OYSTERSHELL	EREMOPHILA HYDROPHANAL BLUE BELLS	EREMOPHILA PLECCANA VALLENTINE	EREMOPHILA PLECCANA WHITE GARDEN
					
CAESAL PINA PLECCANA MEXICAN BIRD OF PARADISE	CAESAL PINA PLECCANA TEXAS OLIVE	CAESAL PINA PLECCANA PURPLE HURDLE	CAESAL PINA PLECCANA VALLENTINE	CAESAL PINA PLECCANA VALLENTINE	CAESAL PINA PLECCANA HOPBUSH
					
CAESAL PINA PLECCANA RED BIRD OF PARADISE	CAESAL PINA PLECCANA LITTLE LEAF CHINA	CAESAL PINA PLECCANA GREEN HURDLE	CAESAL PINA PLECCANA EASTERN BUSH	CAESAL PINA PLECCANA JAPANESE GARDEN JUMPER	CAESAL PINA PLECCANA JAPANESE GARDEN JUMPER
					
CAESAL PINA PLECCANA PINK FAIRY DUSTER	CAESAL PINA PLECCANA RED CLUSTERBERRY	CAESAL PINA PLECCANA EBONY SILVERBERRY	CAESAL PINA PLECCANA EBONY SILVERBERRY	CAESAL PINA PLECCANA EBONY SILVERBERRY	CAESAL PINA PLECCANA EBONY SILVERBERRY
					
CAESAL PINA PLECCANA PINK FAIRY DUSTER	CAESAL PINA PLECCANA SILVER DALLA	CAESAL PINA PLECCANA PORPHYREAN	CAESAL PINA PLECCANA TURPENTINE BUSH	CAESAL PINA PLECCANA TURPENTINE BUSH	CAESAL PINA PLECCANA TURPENTINE BUSH
					
CAESAL PINA PLECCANA MOUNTAIN PARROTT	CAESAL PINA PLECCANA BLACK DALLA	CAESAL PINA PLECCANA MOUNTAIN PARROTT	CAESAL PINA PLECCANA MOUNTAIN PARROTT	CAESAL PINA PLECCANA MOUNTAIN PARROTT	CAESAL PINA PLECCANA MOUNTAIN PARROTT
					
CAESAL PINA PLECCANA LITTLE JONAHWARR	CAESAL PINA PLECCANA BLACK DALLA	CAESAL PINA PLECCANA MOUNTAIN PARROTT	CAESAL PINA PLECCANA MOUNTAIN PARROTT	CAESAL PINA PLECCANA MOUNTAIN PARROTT	CAESAL PINA PLECCANA MOUNTAIN PARROTT







# PLANT LIST - ACCENTS CONTINUED

						
FOUQUIERIA SPLENDENS DOCTULLO	HESPERALOE PLANIFLORA GIANT SWORDFLOWER	HESPERALOE ADCHITORNIA NIGHT BLOOMING YUCCA	HESPERALOE PARVIFLORA RED/YELLOW YUCCA	HESPERALOE PARVIFLORA BRACKET LIGHTS	HESPERALOE SP. PINK PARADE PINK PARADE HESPERALOE	PALE/NEBULA CAPILLARIS REAL MIST PESAL MIST MIMULY GRASS
						
MUHLENBERGIA FILIFOLIA BAMBOO MIMULY PARRY BAMBOO	MUHLENBERGIA LINDSEYERII GIANT SWORDFLOWER	MUHLENBERGIA LINDSEYERII NIGHT BLOOMING YUCCA	MUHLENBERGIA LINDSEYERII DEER GRASS	MUHLENBERGIA LINDSEYERII BEAR GRASS	OPUNTIA BASILARIS BEAR TAIL CACTUS	OPUNTIA SANTA ROSA TIGER PURPLE BRICKY PEAR PURPLE PINEAPPLE
						
OPUNTIA SP. KELLY'S CHOICE KELLY'S CHOICE PROCKLY PEAR	OPUNTIA SP. PROCKLY PEAR	OPUNTIA SP. NIGHT BLOOMING YUCCA	OPUNTIA SP. DEER GRASS	OPUNTIA SP. BEAR GRASS	OPUNTIA SP. BEAR TAIL CACTUS	OPUNTIA SP. TIGER PURPLE BRICKY PEAR PURPLE PINEAPPLE
						
PENSTEMON PARRYI CANYON PENSTEMON	PENSTEMON STAMINATUS ROCKY MOUNTAIN PENSTEMON	PENSTEMON STAMINATUS NIGHT BLOOMING YUCCA	PENSTEMON STAMINATUS DEER GRASS	PENSTEMON STAMINATUS BEAR GRASS	PENSTEMON STAMINATUS BEAR TAIL CACTUS	PENSTEMON STAMINATUS TIGER PURPLE BRICKY PEAR PURPLE PINEAPPLE
						
YUCCA ELATA DOGTREE YUCCA	YUCCA FLORENTINA PALM YUCCA	YUCCA FLORENTINA NIGHT BLOOMING YUCCA	YUCCA FLORENTINA DEER GRASS	YUCCA FLORENTINA BEAR GRASS	YUCCA FLORENTINA BEAR TAIL CACTUS	YUCCA FLORENTINA TIGER PURPLE BRICKY PEAR PURPLE PINEAPPLE



# PLANT LIST - GROUND COVER



**SKYE SUMMIT**

Development Standards and Design Guidelines  
August 29, 2024

24-0432  
09/24/2024

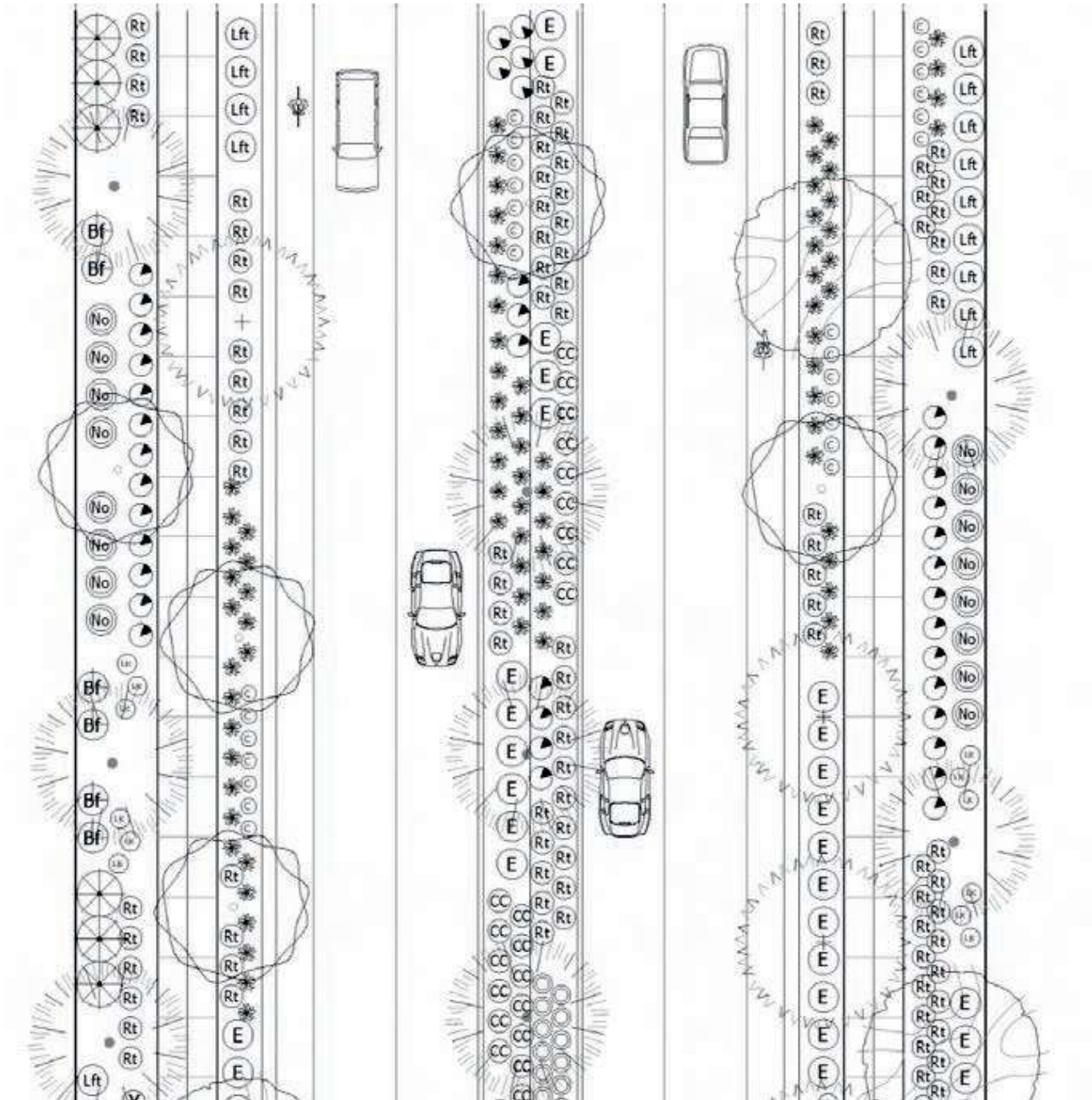
## PLANT LIST - VINES



**Exhibit 8.3.1: Streetscapes – 78'**

(Modell Pines shall not exceed 1/3 of all Common Element Tree Species)

Trees in medians are subject to underground separation requirements  
and Site Visibility Zone requirements.

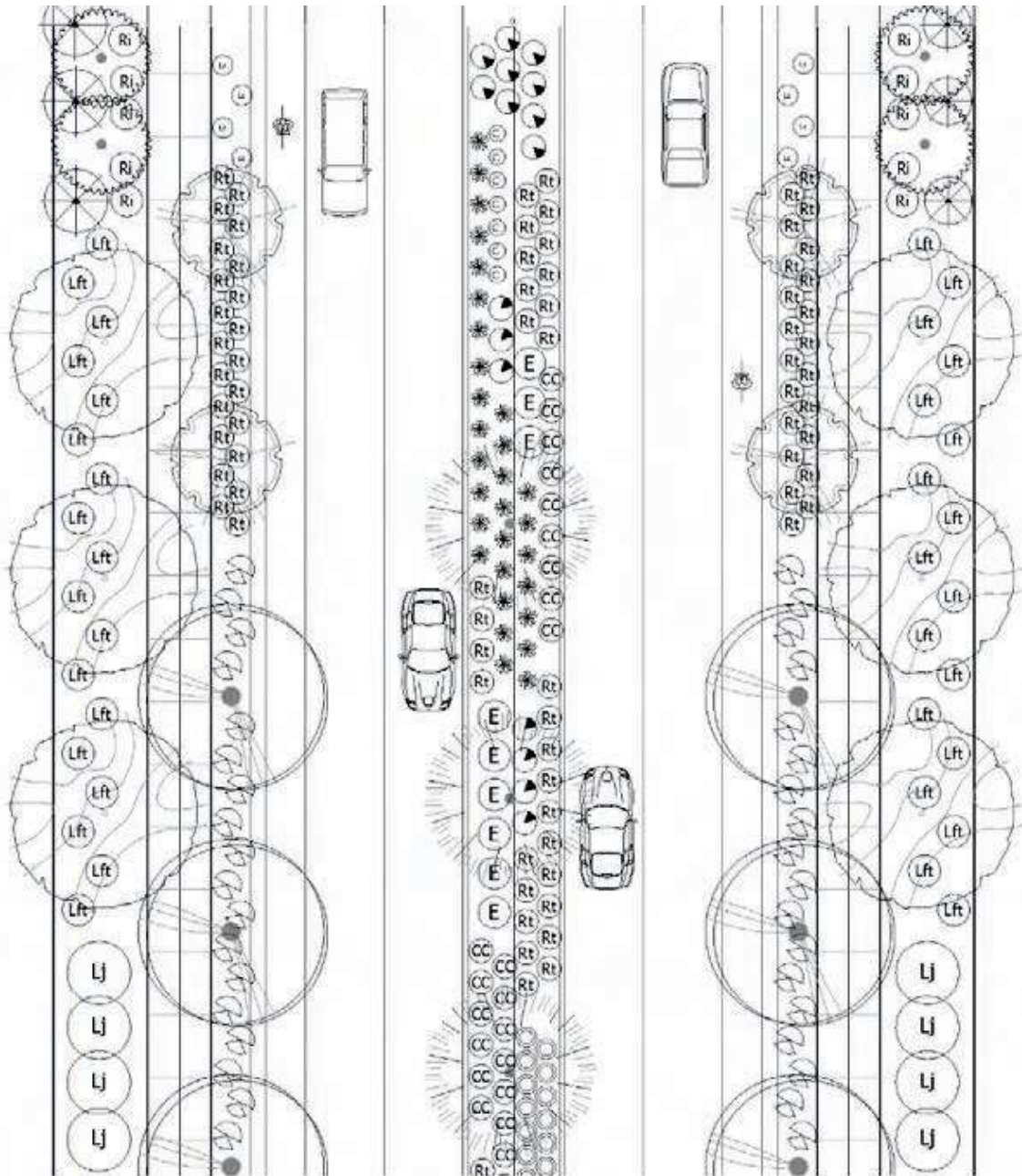




**Exhibit 8.3.2: Streetscapes – 70'**

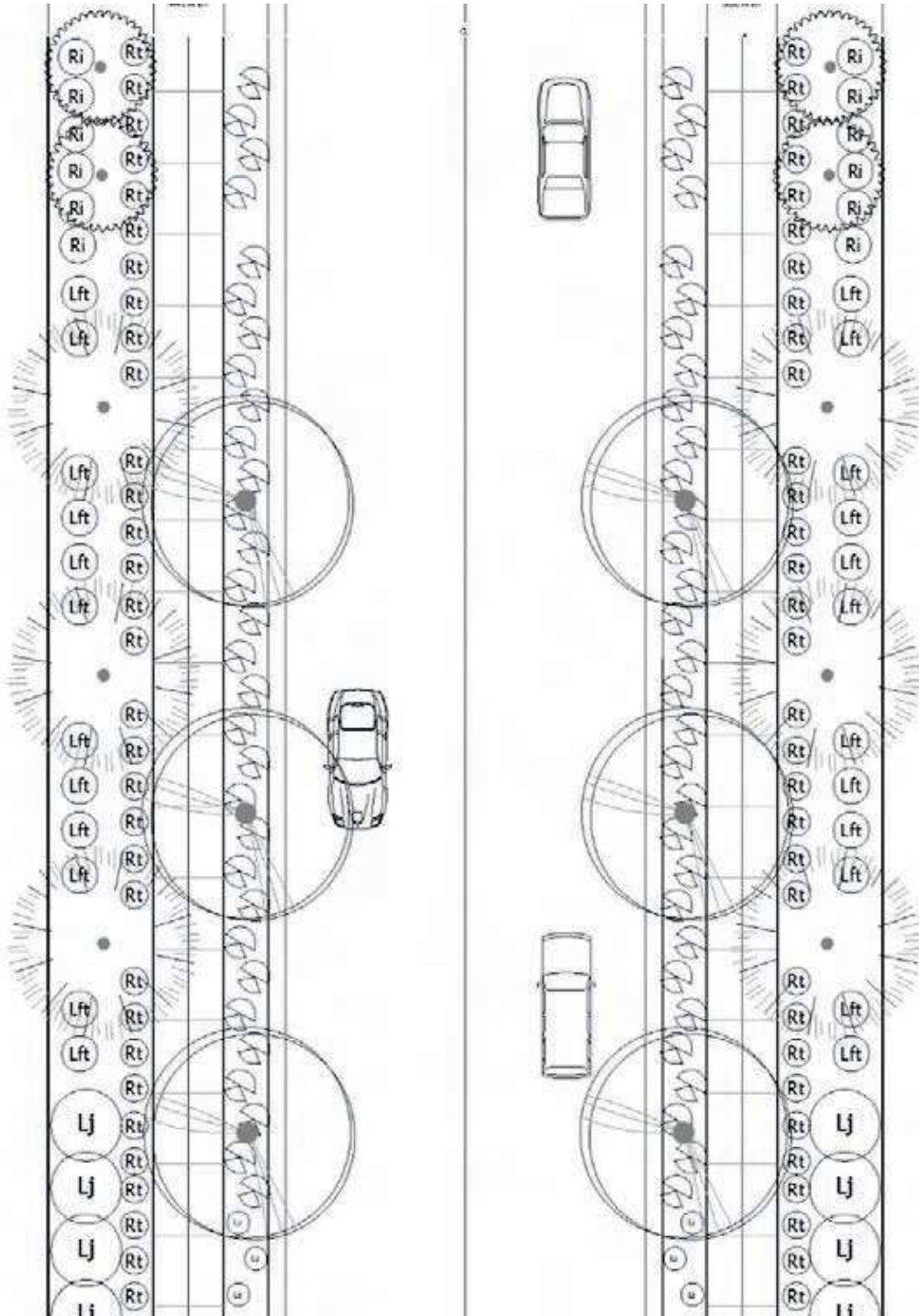
(Modell Pines shall not exceed 1/3 of all Common Element Tree Species)

Trees in medians are subject to underground separation requirements  
and Site Visibility Zone requirements.



**Exhibit 8.3.3: Streetscapes – 47'**

(Modell Pines shall not exceed 1/3 of all Common Element Tree Species)

**SKYE SUMMIT**

Development Standards and Design Guidelines  
August 29, 2024

**24-0432**

09/24/2024

8-30



**Exhibit 8.3.4: Streetscape Plant Materials Legend**

(Modell Pines shall not exceed 1/3 of all Common Element Tree Species)

Tree	Cal (in.)	Height (Ft.)	Width (Ft.)	Box Qty
Acacia aneura	x"	Ft.	Ft.	x" -
Mulga Acacia				
Acacia stenophylla	x"	Ft.	Ft.	x" -
Shoestring Acacia				
Bauhinia lunarioides	x"	Ft.	Ft.	x" -
Anacacho Orchid Tree				
Chelopsis linearis	x"	Ft.	Ft.	x" -
Desert Willow				
Ebenopsis elbano	x"	Ft.	Ft.	x" -
Texas Ebony				
Laurus nobilis	x"	Ft.	Ft.	x" -
Bay Laurel				
Lysiloma watsonii	x"	Ft.	Ft.	x" -
Desert Fern				
Parkinsonia hybrid 'Desert Museum' x"		Ft.	Ft.	x" -
Desert Museum Palo Verde				
Parkinsonia microphylla	x"	Ft.	Ft.	x" -
Foothills Palo Verde				
Parkinsonia praecox	x"	Ft.	Ft.	x" -
Palo Brea				
Pistacia chinensis	x"	Ft.	Ft.	x" -
Chinese Pistache				
Pistacia lentissus	x"	Ft.	Ft.	x" -
Mastic Tree				
Pinus eldarica	x"	Ft.	Ft.	x" -
Modell Pine				
Prosopis hybrid	x"	Ft.	Ft.	x" -
Thornless Mesquite				
Prosopis velutina	x"	Ft.	Ft.	x" -
Velvet Mesquite				
Prosopis glandulosa	x"	Ft.	Ft.	x" -
Thornless Honey Mesquite				
Quercus buckleyi	x"	Ft.	Ft.	x" -
Texas Red Oak				
Quercus fusiformis	x"	Ft.	Ft.	x" -
Escarpment Oak				
Quercus virginiana 'Cathedral'	x"	Ft.	Ft.	x" -
Cathedral Live Oak				
Quercus virginiana	x"	Ft.	Ft.	x" -
Southern Live Oak				
Rhus lancea	x"	Ft.	Ft.	x" -
African Sumac				
Sophora secundiflora	x"	Ft.	Ft.	x" -
Texas Mountain Laurel				

Extra Large Shrubs	Size	Qty.	Small Shrubs	Size	Qty.
⊕ Tecoma Stans	15 gal.	-	⊕ Callistemon viminalis 'Little John'	5 gal.	-
⊕ Yellow Belts			⊕ Little John Bottle Brush		
⊕ Tecoma x 'Bells of Fire'	5 gal.	-	⊕ Convolvulus oneorum	1 gal.	-
⊕ Bells of Fire			⊕ Bush Morning Glory		
⊕ Vauquelinia californica	15 gal.	-	⊕ Lantana sp.	1 gal.	-
⊕ Arizona Rosewood			⊕ New Gold Lantana		
Large Shrubs	Size	Qty.	⊕ Lantana sp.		
⊕ Ligustrum japonicum	5 gal.	-	⊕ New Red Lantana	1 gal.	-
⊕ Japanese Privet			⊕ Rosmarinus officinalis 'Prostratus'	1 gal.	-
Medium Shrubs	Size	Qty.			
⊕ Eremophila glabra spp. camosa	5 gal.	-	⊕ Russelia equisetiformis	5 gal.	-
⊕ Winter Blaze			⊕ Coral Fountain		
⊕ Eremophila hygrophena Blue Bells	5 gal.	-	<b>Cacti/ Accents</b>	<b>Size</b>	<b>Qty.</b>
⊕ Blue Bells			⊕ Chrysactinia mexicana	1 gal.	-
⊕ Eremophila maculata 'Valentine'	5 gal.	-	⊕ Damiana		
⊕ Valentine Bush			⊕ Euphorbia rigida	5 gal.	-
⊕ Leucophyllum candidum 'Thunder Cloud'	5 gal.	-	⊕ Gopher Plant		
⊕ Thunder Cloud Sage			⊕ Hesperaloe parviflora 'Brakelights'	3 gal.	-
⊕ Leucophyllum zygophyllum	5 gal.	-	⊕ Brakelights Red Yucca		
⊕ Cimarron Sage			⊕ Muhlenbergia capillaris	5 gal.	-
⊕ Nandina domestica	15 gal.	-	⊕ Regal Mist		
⊕ Heavenly Bamboo			⊕ Yucca pallida	5 gal.	-
⊕ Perovskia atriplicifolia	5 gal.	-	⊕ Pale Leaf Yucca		
⊕ Russian Sage					
⊕ Rhipidopsis indica 'Pink Lady'	5 gal.	-			
⊕ Indian Hawthorn					

**LANDSCAPE****STREET FRONTAGE**

TREES IN CLUSTERED LAYOUT ON AVERAGE OF ONE (1) TREE PER EVERY 30' LINEAR FEET WITH MAXIMUM SPACE BETWEEN CLUSTERS TO BE LESS THAN 45'. ALTERNATE DRIFTS OF EVERGREEN AND DECIDUOUS TREES IN LAYERS TREE SIZES TO BE A MINIMUM OF THE FOLLOWING:

- 25% - 24" BOX
- 40% - 36" BOX
- 35% - 48" BOX OR LARGER

SHRUBS TO BE PLANTED AS 5-GALLON SHRUBS MINIMUM WITH FIVE (5) SHRUBS PER TREE. GROUND COVERS TO BE 1 GALLON MINIMUM AND USED AS SUPPLEMENTAL PLANTS FOR LOW FLOWERING ACCENTS ALONG INTERSECTIONS AND SVZ'S.

ALL DISTRIBUTED LANDSCAPE AREAS TO RECEIVE A MINIMUM OF TWO (2) INCHES DEEP DECOMPOSED GRAVITE WITH A SIZE NO LESS THAN 3/4" SCREENED (COLOR TO MATCH ADJACENT NATIVE AREAS)

ALL LANDSCAPE TO BE ON AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

TREES AND SHRUBS TO BE SELECTED FROM APPROVED SUNSTONE PLANT LIST OR SOUTHERN NEVADA REGIONAL PLANNING COALITION REGIONAL PLANT LIST.

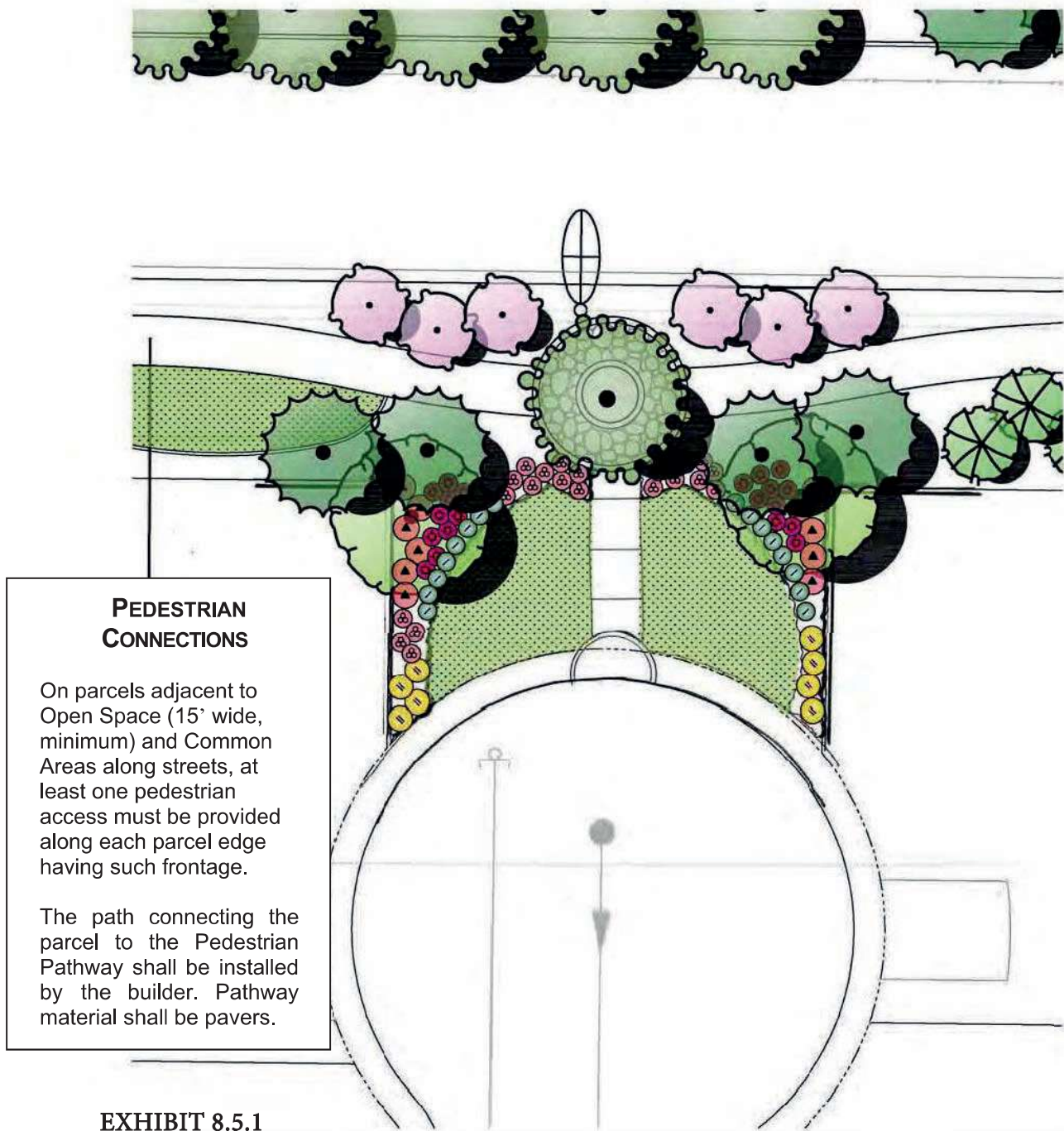
**SKYE SUMMIT**

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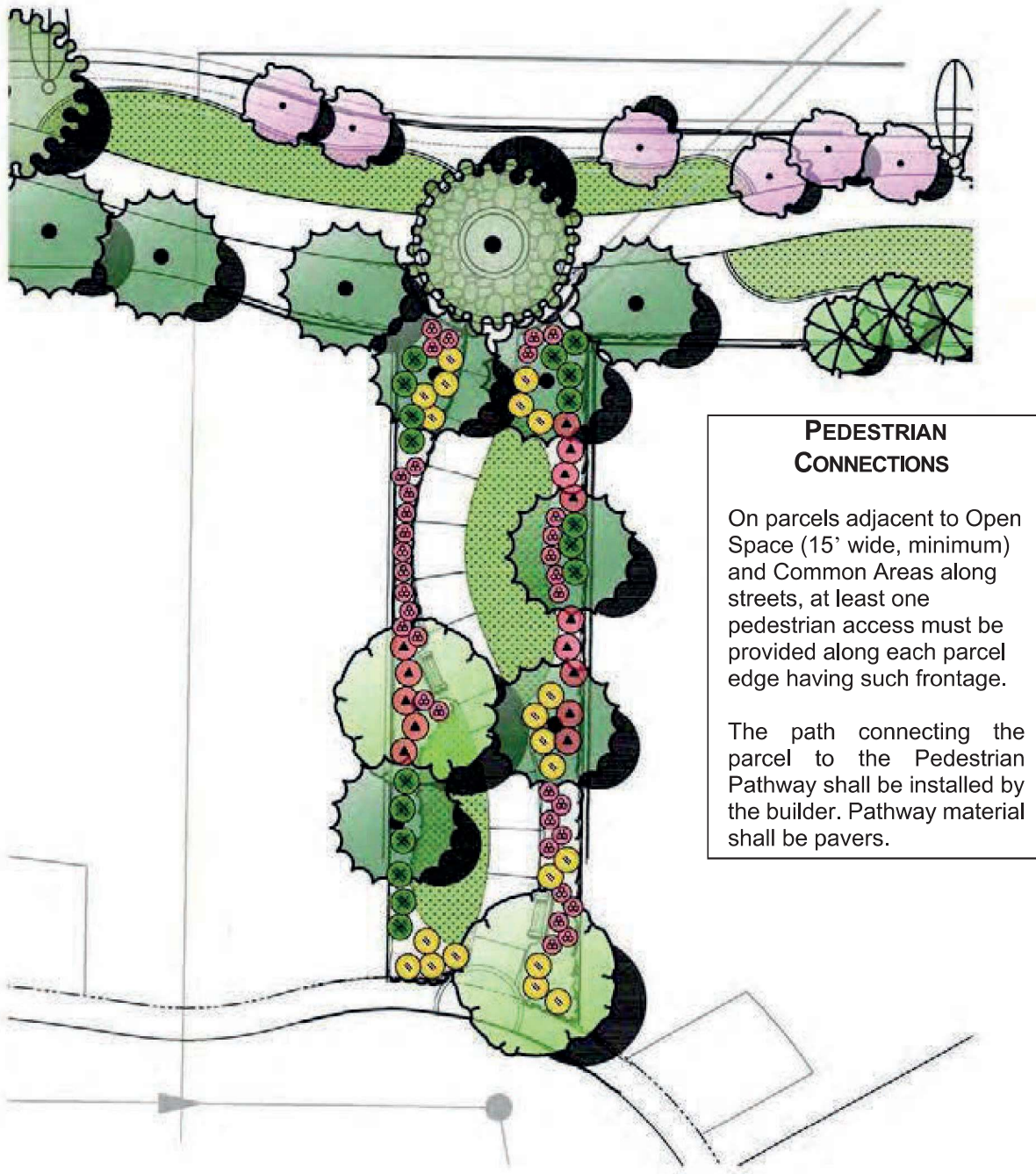
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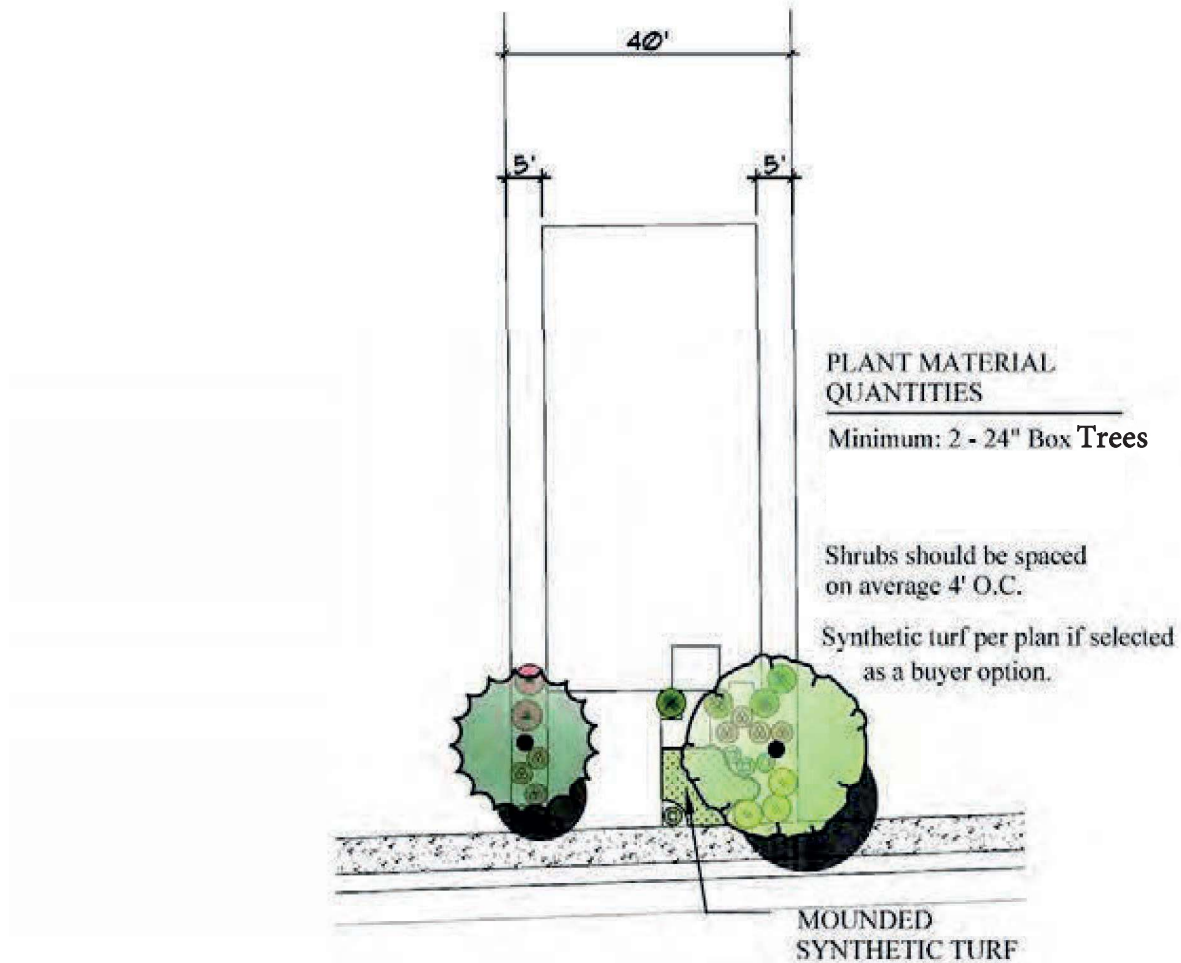


**EXHIBIT 8.5.1  
PEDESTRIAN REALM  
ACCESS POINT**

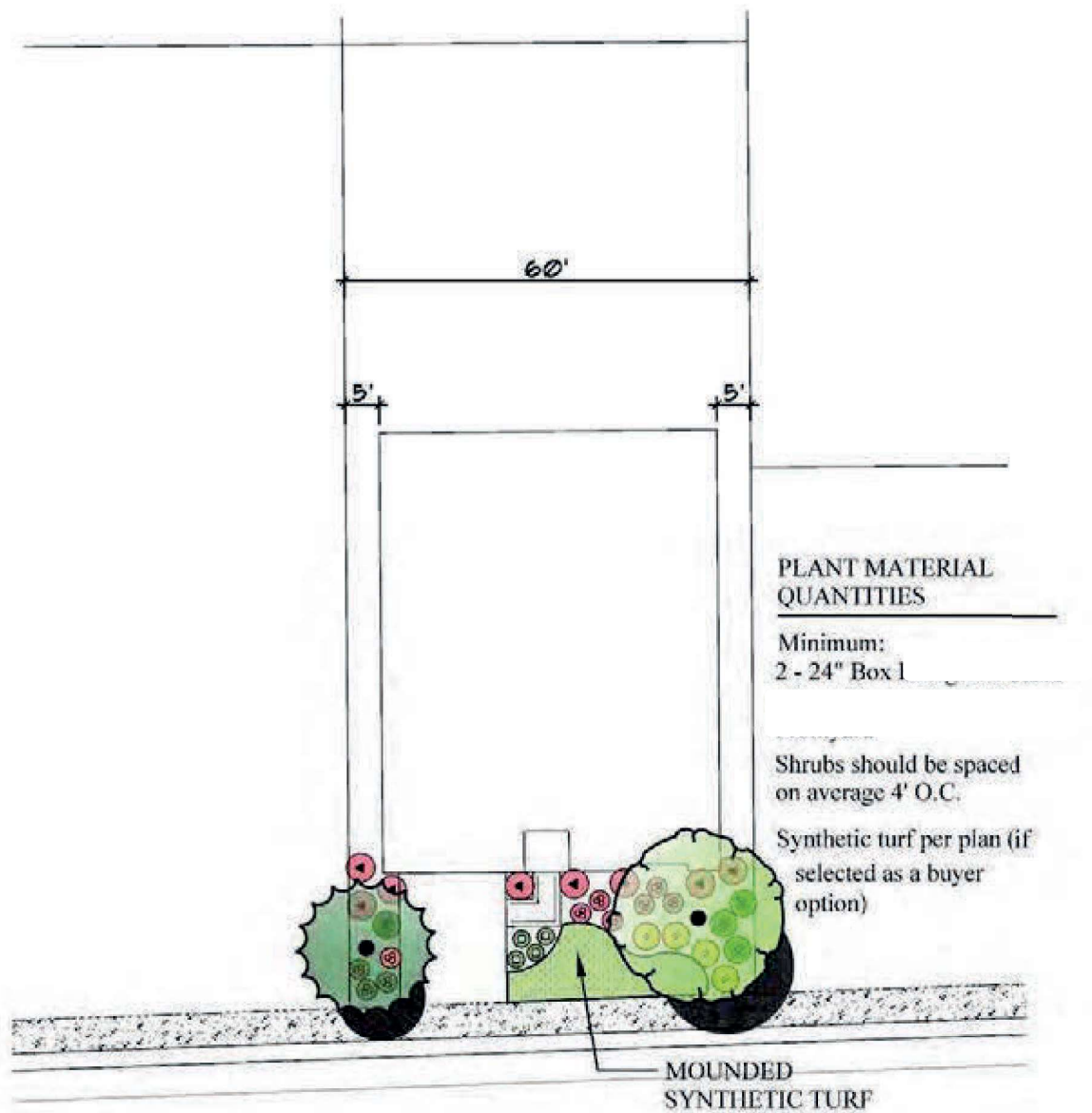


**EXHIBIT 8.5.2 PEDESTRIAN CONNECTION**



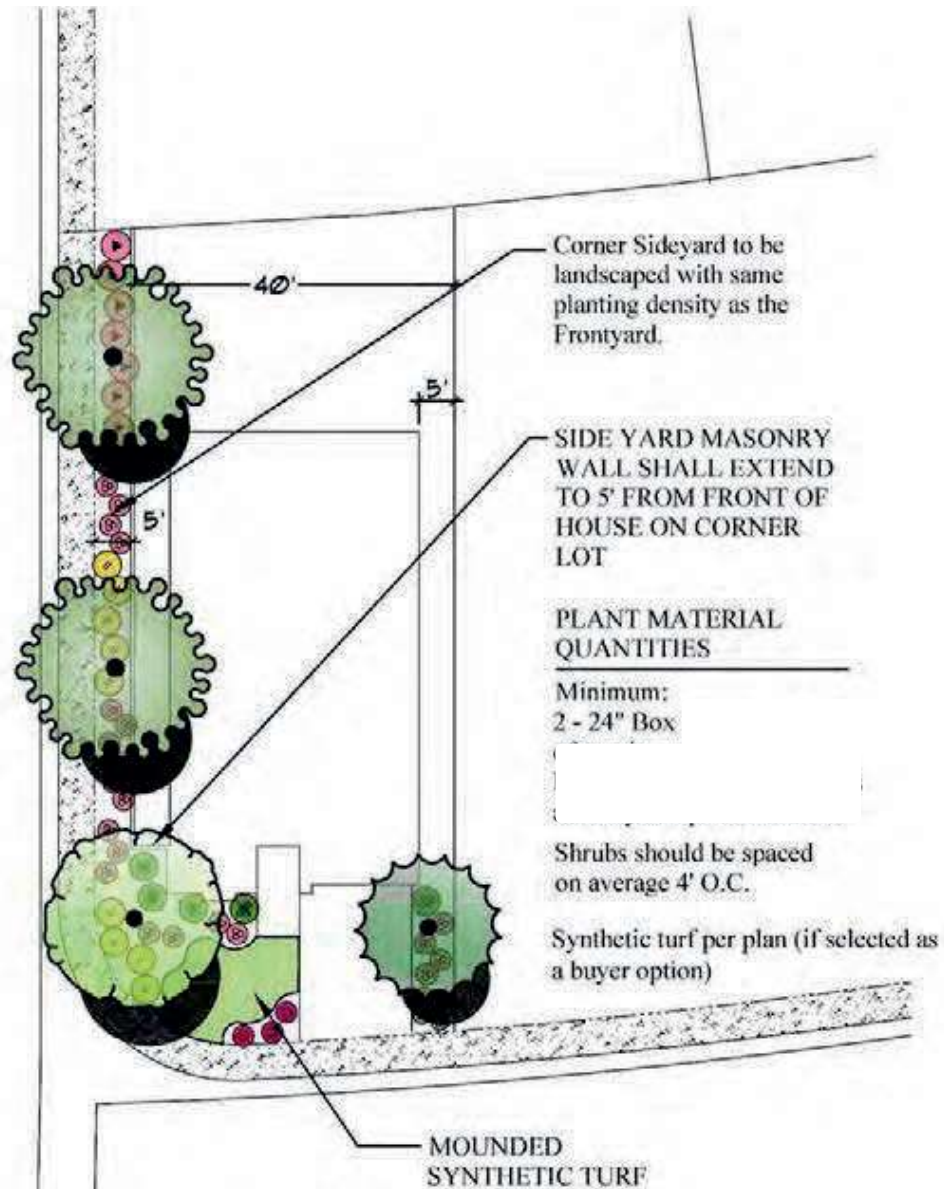


**EXHIBIT 8.6.1**  
**TYPICAL FRONT YARD, 40' LOT**

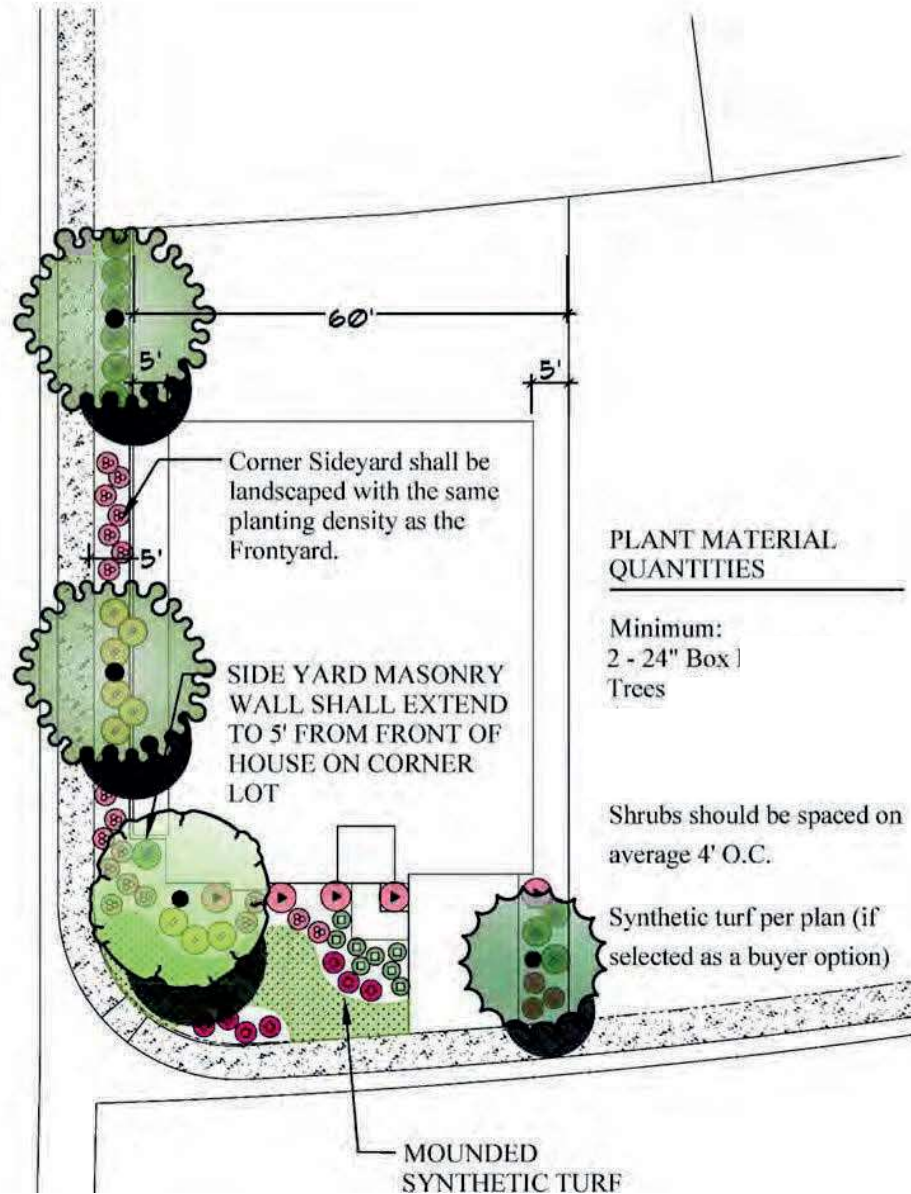


**EXHIBIT 8.6.2**  
**TYPICAL FRONT YARD, 60' LOT**



**EXHIBIT 8.6.3****TYPICAL CORNER LOT, 40' LOT**

(TREES SHALL NOT OCCUR IN SITE VISIBILITY ZONE)

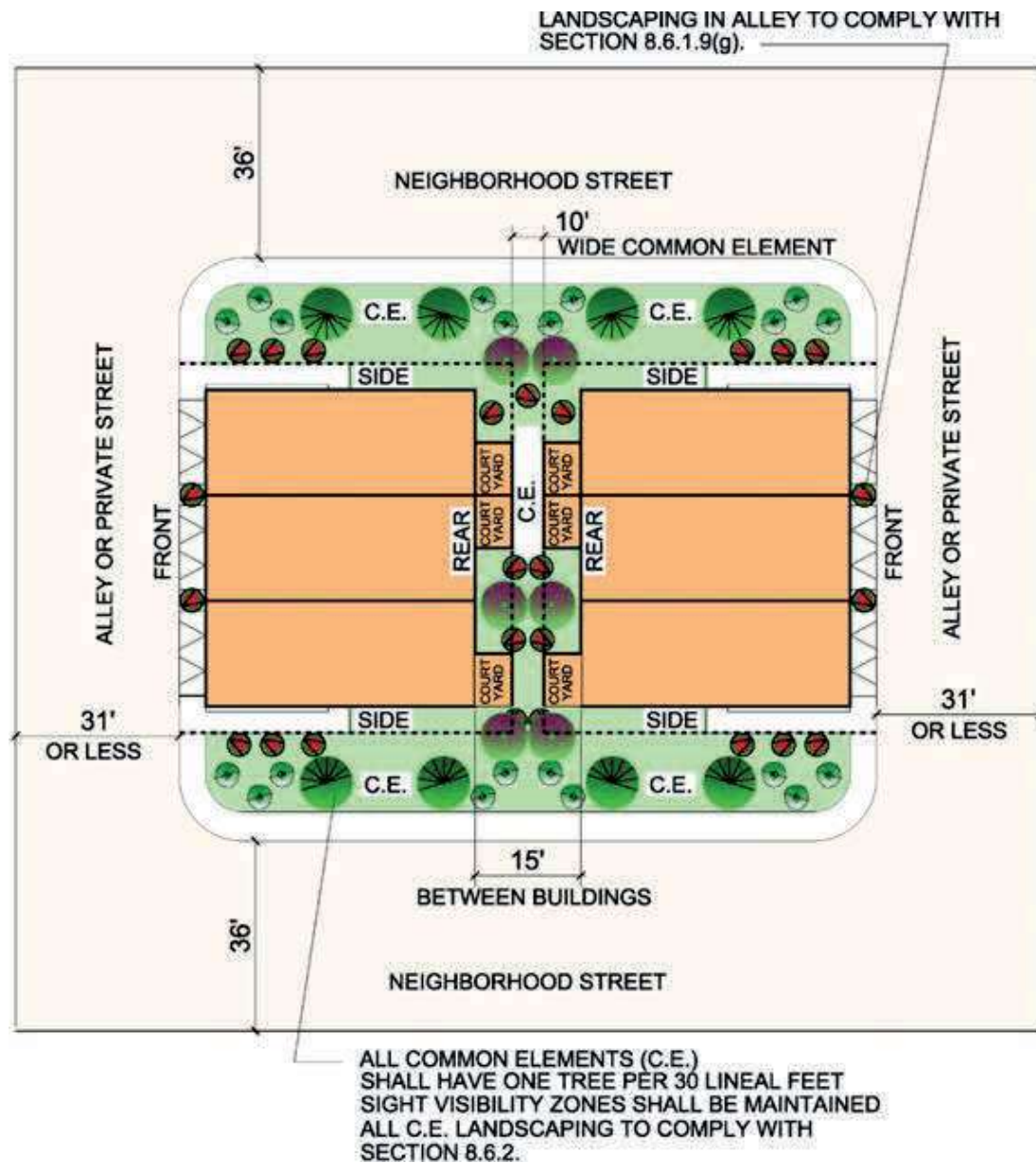
**EXHIBIT 8.6.4****TYPICAL CORNER LOT, 60' LOT**

(TREES SHALL NOT OCCUR IN SITE VISIBILITY ZONE)

**SKYE SUMMIT**Development Standards and Design Guidelines  
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### EXHIBIT 8.6.5

## TYPICAL ATTACHED SINGLE FAMILY LANDSCAPING

(TREES SHALL NOT OCCUR IN SITE VISIBILITY ZONE)

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**9.1 DESIGN REVIEW PROCESS**

The Master Declarant shall administer all project submittals and approvals for development within SKYE SUMMIT regarding the implementation of the Development Standards and Design Guidelines. The procedure described in this section shall be used to administer the implementation process.

As an expression of the Master Declarant's requirements and vision for SKYE SUMMIT, the Development Standards and Design Guidelines are intended to provide builders, architects, civil engineers, and others overall direction in the Development and Design process. The Design Guidelines contained herein provides examples of ways in which the vision can be achieved, however, the Master Declarant strongly encourages creativity, innovation, and variety throughout SKYE SUMMIT. Builders may suggest other design solutions to project development, as long as the overall intent of the community vision and Design Guidelines is achieved.

All project submittals, whether designed in strict accordance with the design criteria contained herein or with other design solutions not specifically addressed in the Design Guidelines, will be reviewed by the Master Declarant to ensure that all projects achieve the goals and objectives of the Master Declarant's vision as expressed throughout the Development Standards and Design Guidelines document.

**9.2 IMPROVEMENTS REQUIRING REVIEW**

All parcel improvements by the builder will require review and approval by the Master Declarant. Improvements requiring review include but are not limited to residential product including new construction, landscape, signage, and amenities such as parks, open play areas or community facilities and ancillary structures.

Non-residential uses are subject to ARC Review & Approval and must be compatible with these guidelines.

**9.3 ARCHITECTURAL REVIEW COMMITTEE**

The Master Declarant shall establish an Architectural Review Committee (ARC) to review each project submittal. The ARC shall consist of representatives from the Master Declarant along with an architectural consultant, landscape consultant, and civil engineering consultant. In addition, the ARC may consult with other professional advisors as deemed appropriate. Projects for design review shall be submitted to the Architectural Review Committee at the address listed below. Complete submissions are required in order for the ARC to make an expeditious review.

**ARCHITECTURAL REVIEW COMMITTEE**

**Canyon Walk, LLC**  
11411 SOUTHERN HIGHLANDS PARKWAY, SUITE 300  
LAS VEGAS, NV 89141

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## 9.4 SUBMITTAL REQUIREMENTS

The following items are required for submittal of production residential development plans prior to submittal to the City of Las Vegas. All submittal documents shall be submitted to the ARC in a pdf electronic file format. Autocad drawings may be requested by the ARC for more detailed review, as necessary.

### **Preliminary Concept Site Plan** (Per Production Neighborhood)

The purpose of this submittal is to ensure that the overall concept of the neighborhood design, particularly regarding the layout of proposed streets and lots, is consistent with the intent of the design guidelines *before* the builder begins preparation of tentative tract maps. The following are required elements of the Preliminary Concept Site Plan submittal:

- Conceptual street layout
- Conceptual lot layout
- Proposed pedestrian connections
- Adjacent streets and open space

### **Detailed Development Plan** (Per Production Phase)

- Proposed street locations and dimensions
- Proposed lot lines and dimensions
- Proposed pedestrian connections
- Building footprints (Model and elevation must be specified)
- Driveway and/or alley placement
- Site Plan showing Enhanced Elevation Locations
- Wall Plans
- Wall and Fence locations and heights
- Adjacent street(s) and open space
- Lot Fit

### **Architectural Plans**

- Floor plans with dimensions
- Elevations for all four sides with dimensions. Material call-outs and depth of recesses or pop-outs shall be identified
- Floor area calculations including 1st floor living area, 2nd floor living area, and garage, and Outdoor Living Space square footage
- Typical lot for each floor plan indicating building footprint, setback requirements, driveway locations and slope, and sidewalk locations.



**Material and Color Package** (Maximum Size of Board(s): 11" x 17")

- Noted or color coded elevations
- Primary stucco color(s) (Actual paint chip)
- Secondary stucco color(s) (Actual paint chip)
- Accent and trim colors (Actual paint chip)
- Accent material samples (Stone, Brick, Etc.) (Manufacturer's printed picture)
- Roof tile (Actual material and color sample)

**Landscape Plan**

- Model complex landscaping
- Street tree species, size and location celebratory
- Neighborhood entries
- Planting and fencing details
- Marketing / community signage
- Monumentation
- Common open space landscape

**9.5 PLAN CHECK FEES**

The following plan check fees shall apply to the design review process:

- Preliminary Concept Site Plan: No fee for the first two reviews.
- Initial Full Submittal including: No fee for the first two reviews
  - Detailed Development Plan
  - Architectural Plans
  - Material and Color Sample Board
  - Landscape Plan
- Subsequent Submittal (if necessary): \$1,000 per submittal

Upon review of the submittal, additional fees may be required to cover expenses incurred by the ARC. The plan check fee shall be submitted to the following:

**CANYON WALK, LLC**  
11411 SOUTHERN HIGHLANDS PARKWAY, SUITE 300  
LAS VEGAS, NV 89141

**9.6 PLAN CHECK FEES**

The Architectural Review Committee (ARC), established by the Master Declarant, shall review each project submittal. Within 30 business days of receipt of a complete submittal, the ARC shall recommend **"approved"**, **"approved with conditions"**, or **"denied"**. Failure to approve is denial. The ARC shall summarize its finding in a written response letter to the Declarant. The Declarant shall make the final decision regarding approval of the submittal.

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The ARC shall review each submission for the design's commitment to overall community development and adherence to these Development Standards and Design Guidelines. The ARC is not responsible for the review of submissions to determine conformance to any applicable codes and standards established by public agencies.

Submittals that are “Approved” by the ARC may then be submitted to the City of Las Vegas, if required. Submittals that are “Approved with Conditions” or “Denied” shall be revised as necessary and re-submitted to the ARC for approval. All submittals must be approved by the ARC prior to submission to the City of Las Vegas or other public agencies.

## **9.7 ADMINISTRATION**

### **9.7.1 AMENDMENT**

The Design Guidelines may be amended from time to time as described in the Development Agreement.

### **9.7.2 PREVALENCE OF DECLARATION**

In the event of any conflict between the provisions of the Development Standards and Design Guidelines and the Master CC&Rs for SKYE SUMMIT, the most restrictive shall prevail.

### **9.7.3 MISCELLANEOUS**

All items submitted during the review process shall become the property of the Master Declarant. Changes to the approved plans shall be re-submitted to the ARC for approval and shall clearly identify the revision(s).

### **9.7.4 PROSECUTION OF WORK AFTER APPROVAL**

After approval of the final plans by the Master Declarant, the construction, alteration or other work described therein shall be commenced and completed in accordance with the rules set forth in these Development Standards and Design Guidelines and the Declarations. The Master Declarant or its representative has the right to enter the lot or premises and to inspect the project for compliance with the Development Standards and Design Guidelines or Declarations at any time, without advance notice to the lot owner nor fear of trespass and liability.

### **9.7.5 VIOLATIONS**

Construction deemed by the Master Declarant to be in violation of approved drawings, the Development Standards and Design Guidelines, or the Master CC&Rs shall be corrected as described in the Declarations.

**9.7.6 RECORDATION OF NOTICE**

Upon approval of the final plans, the Master Declarant shall, upon written request from the applicant, provide a statement of approval.

**9.7.7 RULE MAKING AUTHORITY**

The Master Declarant adopts these Development Standards and Design Guidelines for the purpose of interpreting, applying, supplementing and implementing the provisions of the Master CC&Rs pertaining to the design of site improvements. A copy of the Development Standards and Design Guidelines as from time to time adopted, amended or repealed, shall be maintained in the office of the Master Declarant and shall be available for inspection during normal business hours by any applicant or any architect or agent of any such applicant. It shall be the responsibility of the applicant or architect or agent of any such applicant to inform themselves as to any and all such changes of these Development Standards and Design Guidelines.

**9.7.8 MODIFICATIONS**

The Master Declarant has the authority to deviate from the requirements contained in these Development Standards and Design Guidelines in extenuating circumstances if following the requirements would create an unreasonable hardship or burden for a Builder. Modifications will be processed in accordance with Section 3.04 of the Development Agreement for SKYE SUMMIT.

**9.7.9 SKYE SUMMIT COMMUNITY ASSOCIATION DESIGN REVIEW**

Any subsequent additions or remodels to any home by a private homeowner shall be subject to design review and approval as administered through the SKYE SUMMIT Community Association. Refer to supplemental Homeowner Design Manual.

**9.7.10 LIABILITY OF COMMITTEE**

Provided that the Master Declarant acts in good faith, neither the Master Declarant nor any representative thereof shall be liable to any applicant or any other person for any damage, loss or prejudice suffered or claimed on account of the review of any plans, specifications or materials. The review and delivery of a form of approval or disapproval is not to be considered an opinion as to whether or not the plans are defective or whether the construction methods or performance of the work proposed therein is defective, or whether the facts therein are correct or meet The City of Las Vegas Building Codes.

**9.7.11 PROFESSIONAL ADVICE**

The Master Declarant may employ the services of an architect, attorney, land planner, landscape architect or engineer to render professional advice and may charge the cost for services of such a professional to the applicant, but only after the applicant has been informed in advance such compensation shall be so charged.

**PROJECT INFORMATION**

Submittal Date	Parcel No.
Project Name	Home Site Size
Number of Plans	Square Footage

**APPLICANT INFORMATION**

Applicant	Telephone
Contact	Email

**Submittal List****• Preliminary Concept Site Plan (Per Production Neighborhood)**

- ☐ Conceptual Street Layout (minimum scale 1"=50')
- ☐ Conceptual Lot Layout
- ☐ Proposed Pedestrian Connections
- ☐ Adjacent Streets and Open Space

**• Detailed Development Plan (Per Production Phase)**

- ☐ Proposed street locations and dimensions
- ☐ Proposed lot lines and dimensions
- ☐ Proposed pedestrian connections
- ☐ Building footprints (Model and elevation must be specified)
- ☐ Driveway and/or alley placement
- ☐ Site Plan showing Enhanced Elevation Locations
- ☐ Wall Plans
- ☐ Wall and Fence locations and heights
- ☐ Adjacent street(s) and open space
- ☐ Lot Fit
- ☐ Individual Plat Maps are required for review prior to each lot permit submittal

***SKYE SUMMIT***

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Appendix 1-1



**SUBMITTAL LIST (CONT'D)**

- **Architectural Plans (minimum scale: 1/8" = 1'0")**
  - Floor plans with dimensions
  - Elevations for all four sides with dimensions. Material call-outs and depth of recesses or pop-outs shall be identified
  - Floor area calculations including 1st floor living area, 2nd floor living area, garage, and Outdoor Living square footage
  - Typical lot for each floor plan indicating building footprint, setback requirements, driveway slope and locations, and sidewalk locations.
- **Material and Color Package (Maximum Size of Board(s): 11" x 17")**
  - Noted or color coded elevations
  - Primary stucco color(s) (Actual paint chip)
  - Secondary stucco color(s) (Actual paint chip)
  - Accent and trim colors (Actual paint chip)
  - Accent material samples (Stone, Brick, Etc.) (Manufacturer's printed picture)
  - Roof tile (Actual material and color sample)
- **Landscape Plan**
  - Model complex landscaping
  - Street tree species, size and location celebratory
  - Neighborhood entries
  - Planting and fencing details
  - Marketing / community signage
  - Monumentation
  - Common open space landscape
- **Plan Check Fees (If Applicable, See Section 9.5)**



# Exhibit “G”

## Unified Development Code

# Exhibit “H”

## Development Impact Notice and Assessment

24-0432  
09/24/2024



## DEPARTMENT OF PLANNING

### DEVELOPMENT IMPACT NOTICE AND ASSESSMENT (DINA) PROJECT OF REGIONAL SIGNIFICANCE (PRS)

Pursuant to Las Vegas Municipal Code (LVMC) Section 19.16.010(E) and Ordinance No. 5477 (May 1, 2002), the City of Las Vegas has determined that your project is subject to a Development Impact Notice and Assessment (DINA) and/or meets the criteria for a Project of Regional Significance as established by the Southern Nevada Regional Policy Plan.

#### Applicant Information

The following Environmental Impact Assessment is being submitted for consideration for the proposed project known as SKYE SUMMIT, located at the west end of Centennial Parkway, west of Shaumber Road .

This document is being prepared by:

Company Name: Ninety Five Management, LLC a Nevada limited liability company in its capacity as authorized Manager of Canyon Walk, LLC

Address: 11411 Southern Highlands Pkwy #300  
Las Vegas NV 89141

Contact Person:

Name: Marc A. Bulduc

Title: Senior Vice President

Telephone: (702) 220-6565

Fax: (702) 220-6566

E-mail: mbolduc@olympiacompanies.com

I certify that the statements made by me on this Environmental Impact Assessment represent my best professional judgment and are, to the best of my knowledge, true and complete and correct.

I understand that any misrepresentation or material omission of fact on this document may be considered as constituting grounds for an incomplete application and may uphold processing of the application until complete information is provided.

Signature: \_\_\_\_\_

Name: Marc A. Bulduc  
Title: Senior Vice President

Date: \_\_\_\_\_

10/15/24

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**CITY OF LAS VEGAS**  
**DEVELOPMENTAL IMPACT NOTICE AND ASSESSMENT (DINA)**  
**PROJECT OF REGIONAL SIGNIFICANCE (PRS)**

**1 Project Description**

Project Name: SKYE SUMMIT  
APN #: 126-26-101-003, and a portion of 126-23-699-002  
Project location: West of the Shaumber Rd. and Centennial Pkwy intersection

General Plan Designation:  
Current: DR & PF Proposed: PCD

Zoning:  
Current: U & C-V Proposed: PD

Project Details (complete all that apply):

Gross Site Acreage: 515

Net Site Acreage: N/A

i) Residential

Total # Units: 3500

Density: 6.8 Dwelling Units / Acre

Total Open Space: 698,266.8 SF

ii) Hospitality

Total # Rooms: N/A

Total Gaming Area: N/A SF

Total Other Area: N/A SF

iii) Commercial

Total Building Area: Unknown SF

Total Open Space  
and/or Plaza Areas: 501.5 SF

Total Lot Coverage: 50 %

Briefly describe the project's surrounding land use and setting:

North: VACANT LAND (DETENTION BASIN)

East: EXISTING SINGLE FAMILY RESIDENTIAL

South: VACANT LAND

West: VACANT LAND

Project Narrative (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach exhibits if necessary):

3500 Residential Unit Master Planned Community in the growing Northwest Part of the Las Vegas Valley that will be built out over the next 10 years.

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**CITY OF LAS VEGAS**  
**DEVELOPMENTAL IMPACT NOTICE AND ASSESSMENT (DINA)**  
**PROJECT OF REGIONAL SIGNIFICANCE (PRS)**

## **2 Transportation and Traffic**

Insert a Table (attach additional sheets if necessary), indicating the number of vehicle trips that the proposal will generate, estimated by applying to the proposal the average trip rates for the peak days and hours established by the Institute of Transportation Engineers (or its successor).  
SEE ATTACHED

## **3 Schools**

Based upon the student generation factors utilized by the Clark County School District (see exhibit 1) what is the estimated number of pupils for each elementary school, junior high or middle school, and high school that the project will cause to be enrolled in local schools?

ELEMENTARY SCHOOL - 682 PUPIL  
JUNIOR HIGH/MIDDLE SCHOOL - 357 PUPIL  
HIGH SCHOOL - 472 PUPIL

## **4 Emergency Services**

Provide the distance from the site of the proposal to the nearest facilities from which firefighting, police and emergency services will be provided, including without limitation, facilities of a local government that are planned but not yet constructed, and facilities that have been included in a local government's plan for capital improvements prepared pursuant to NRS 278.0226.

Current Fire Station is under 3 miles from site.

## **5 Housing, Mass Transit, Open Space and Recreation**

Provide a brief statement setting forth the anticipated effects of the proposal on housing, mass transit, open space and recreation.

Housing will be provided for full spectrum of homes from entry level up. Will coordinate with RTC on mass transit. Open space and recreation are addressed in the development agreement

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**CITY OF LAS VEGAS**  
**DEVELOPMENTAL IMPACT NOTICE AND ASSESSMENT (DINA)**  
**PROJECT OF REGIONAL SIGNIFICANCE (PRS)**

**EXHIBIT 1**

Clark County School District

Valley-wide Student Yields

Grade	Student Yield	
	Single-Family	Multi-Family
PK	0.008	0.008
K-5	0.195	0.135
6-8	0.102	0.056
9-12	0.135	0.062
13	0.001	0.001

Single-Family units include mobile homes and townhouse.

Multi-Family units include a combination of apartments, multiplexes, and condominiums.

P & 13: Pre-school and Sunset School.

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BLIM 505 - Addendum

06/03/2024 Site Plan

\*Rounding may occur in calculations\*

TRIP GENERATION														
PARCEL	ACRES	LAND USE	AVERAGE DENSITY D.U.	ROUNDED UNITS D.U.	NON-RESIDENTIAL VARIABLE	ITE LAND USE CODE	DAILY		AM PEAK HOUR			PM PEAK HOUR		
							In	Out	In	Out	Total	In	Out	Total
1.1	20.39	ML	8	162		210	764	764	28	85	113	96	56	152
1.2	17.18	ML	8	136		210	642	642	24	72	96	81	47	128
1.3	10.1	COM			F/A 0.2, GFA	88.00	4,158	4,158	193	118	311	382	413	795
1.4	17.07	L	6.5	111		210	524	524	20	59	78	66	38	104
1.5	14.54	L	6.5	95		210	448	448	16	50	67	56	33	89
1.6	21.84	L	6.5	142		210	670	670	25	76	101	84	49	133
1.8	14.09	MLA	16	225		215	810	810	27	81	108	76	52	128
Phase 1 Total	115.21			871			8,016	8,016	333	541	874	841	688	1,528
2.1	20.24	L	6.50	132		210	623	623	23	69	92	78	46	124
2.2	17.46	ML	8	140		210	661	661	25	74	98	83	48	131
2.3	18.75	WATER	--	0					NO TRIPS GENERATED					
2.4	17.65	L	6.5	115		210	543	543	20	61	81	68	40	108
2.5	25.65	ML	8	205		210	967	967	36	108	144	122	71	193
2.6	26.7	ML	8	214		210	1,010	1,010	38	113	150	127	74	201
2.7	20.94	ML	8	168		210	793	793	30	89	118	99	58	157
2.8	10	WATER	--	0					NO TRIPS GENERATED					
2.9	17.44	L	6.5	113		210	533	533	20	59	79	67	40	107
2.11	19.87	ML	8	159		210	750	750	28	84	112	95	56	150
Phase 2 Total	165.95			1246			5,880	5,880	220	657	874	739	433	1,171
3.1	31.11	ML	8	249		210	1,175	1,175	43	131	174	148	87	235
3.2	25.21	ML	8	202		210	953	953	35	106	141	120	70	190
3.3	13.38	ML	8	107		210	505	505	19	56	74	64	37	101
3.4	15.6	MLA	16	250		215	900	900	30	90	120	84	58	142
3.5	13.43	MLA	16	215		215	774	774	26	78	104	73	50	123
3.6	11.63	MLA	16	186		215	670	670	23	68	90	63	44	107
Phase 3 Total	110.36			1209			4,977	4,977	176	529	703	552	346	898
Total	391.52			3326			18,873	18,873	729	1,727	2,451	2,132	1,467	3,597

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# Exhibit “I”

## Right-of-way Encroachment License

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**RIGHT-OF-WAY ENCROACHMENT LICENSE  
TERMS AND CONDITIONS**

1. GRANT OF LICENSE. The City hereby grants to Master Developer a revocable and non-exclusive permission to enter upon a portion of the City's right-of-way (the "**License Area**") for the planning, installation, operation, maintenance, and replacement of landscaping, irrigation, community signing, and related appurtenances (collectively, the "**Encroachments**").

The City is not granting a building permit or other authorization that would otherwise be required from any department of the City or any other regulatory authority to plan, install, operate, maintain, and replace the Encroachments.

2. TERM. This License shall commence as of the effective date of the Fifth Amendment and Restatement to the Development Agreement for Skye Canyon Master Planned Community and shall continue until terminated in accordance with the terms hereunder.

3. LICENSE FEE. Master Developer shall have the right to use the License Area at no cost to Master Developer.

4. NOT A REAL PROPERTY INTEREST. It is expressly understood that this License does not in any way whatsoever grant or convey any easement, lease, fee of any kind, or other interest in the License Area to Master Developer. The City specifically reserves the right to grant other rights to the License Area that do not unreasonably conflict with the rights granted herein.

5. PRIOR CONTRACTS AND CONDITION OF TITLE. Master Developer's rights hereunder are subject to all covenants, conditions, restrictions, easements, agreements, liens, reservations, and encumbrances upon, and all other recorded or unrecorded matters or conditions of title to or agreements or documents regarding the License Area. The City does not warrant title to the License Area.

6. CONDITION OF LICENSE AREA. Master Developer acknowledges that it has had full opportunity to examine, study, and inspect the License Area and hereby waives any claim for damages that may arise from any of Master Developer's activities in the License Area. Master Developer's use of the Licensed Area shall be conclusive evidence of Master Developer's acceptance of the condition of the License Area and Master Developer hereby accepts the Licensed Area in its present "AS IS, WHERE IS, WITH ALL FAULTS CONDITION" as suitable for the Encroachments. Master Developer accepts the Licensed Area with the full knowledge, understanding, and agreement that the City disclaims any warranty of suitability for Master Developer's intended purposes.

7. USE RESTRICTIONS. Master Developer shall conform to and shall cause its employees, business invitees, guests, contractors, and other persons using the Licensed Area pursuant to this License to conform to all and each of the following provisions:

A. Master Developer shall use the Licensed Area solely for the planning, installation, operations, maintenance, and replacement of the Encroachments and no other activities shall be conducted at, on, or from the License Area.

8. MAINTENANCE OF LICENSE AREA. Master Developer shall have all responsibility for operation, maintenance, and replacement of the Encroachments on the License Area during the term of this License. Master Developer shall maintain the License Area in a first-class, sound, clean, and attractive manner. If any damage to the License Area occurs, Master Developer shall promptly notify the City.

In the event Master Developer fails or refuses to maintain the Encroachments and the License

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Area in a manner reasonably satisfactory to the City, and further fails or refuses to take corrective action within forty-eight (48) hours after its receipt of written notice from the City to so do, the City, at its option, may perform or cause to be performed any repair or maintenance that may be necessary, and the Master Developer shall reimburse the City within thirty (30) calendar days after receipt of reasonable costs related to said repair or maintenance.

9. PUBLIC SAFETY. If the City, in its sole discretion, determines that the Encroachments present a hazard to the public or to the City, to the City's facilities or to the City's ability to safely and conveniently operate the License Area or the adjacent public right-of-way, Master Developer shall cooperate with the City and immediately remedy the hazard at no cost to the City.

10. TERMINATION/DEFAULT. This License may be terminated by the City, at any time, by serving thirty (30) business days written notice (the "**Termination Period**"). The City covenants to coordinate as necessary with Master Developer to facilitate the removal of the Landscape Improvements. Upon expiration of the Termination Period, this License and all rights of Master Developer shall absolutely cease.

If Master Developer fails to surrender to the City the Licensed Area upon any termination of this License, all liabilities and obligations of Master Developer hereunder shall continue in effect until the License Area is surrendered. Termination shall not release Master Developer from any liability or obligation, whether of indemnity or otherwise, resulting from any events happening prior to the date of termination.

Enforcement of the provisions of this License may be sought by the City, by any proceeding at law or in equity, against any person or entity violating or attempting to violate any provision of this License, either to restrain violation, to compel action, or to recover damages. The foregoing enforcement remedy shall be in addition to any fines or penalties provided by law, including the City's Municipal Code Chapter 9.04, Nuisances.

Failure to maintain the Encroachments may be a violation of the City's Municipal Code, Title 19, and may subject Master Developer, its successors and assigns, to civil penalties under the City's Municipal Code Chapter 9.04, Nuisances.

11. RESTORATION OF LICENSE AREA. No later than thirty (30) calendar days after any termination of this License, Master Developer shall, at its own cost and expense, remove the Encroachments and personal property and restore the License Area for its intended public use (the "**Restoration Work**"). Master Developer shall promptly notify City in writing upon completion of the Restoration Work. City shall notify Master Developer within five (5) business days if the Restoration Work is unacceptable to City. In the event the City fails to do so within said five (5) business day period, City shall be deemed to have approved the Restoration Work. If City reasonably objects to any portion of the Restoration Work, within said five (5) business day period, then Master Developer shall have fifteen (15) business days to cure such defects after receipt of City's written objection. If it is not possible to cure such defects within said fifteen (15) business day period, Master Developer shall nevertheless commence such cure work within said fifteen (15) business day period and diligently prosecute same to completion.

Any of Master Developer's Encroachments remaining on the License Area after thirty (30) calendar days after termination of this License may be removed and the License Area restored to its original condition by the City, and Master Developer shall reimburse the City within thirty (30) calendar days after receipt of reasonable costs related to said removal of the Encroachments and restoration of the License Area by the City.

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12. RESERVATIONS. The City specifically reserves to itself and excludes from this License a non-exclusive delegable right (the “**Reserved Right**”) over the entire License Area, including any area that may otherwise be for Master Developer’s exclusive use, if any, as follows:

A. The City shall have the right to use and allow others to use the License Area and to construct, open, repair, use, and otherwise deal with all manner of improvements at any location on, over and under the License Area, including any uses that may materially and substantially impair Master Developer’s ability to use the License Area for a certain period of time under the terms of this License. By way of example and not limitation, the City may construct additional utilities upon the License Area and may perform work related to public health, safety or welfare; traffic, street or utility improvement construction or repair; change of street grade; and installation or other work relating to sewers, storm drains, water lines, power lines, landscaping, or any other types of structure, work or improvements of any description, whether or not included within or related in any manner to any of the foregoing.

B. Neither the City nor any of its agents or contractors shall be liable to Master Developer or any third party for any disruption to the Encroachments due to any exercise by the City or its agents and contractors of their rights under this License.

C. The City shall have the unilateral right to modify the entirety of the License Area from time to time during the term of this License. Upon the City’s request, Master Developer, at its own expense, shall remove, relocate, or protect in place the Encroachments upon thirty (30) calendar days’ notice from the City or such shorter notice, or no notice, as the City may determine to be practical under the circumstances. Upon completion of the City exercising its Reserved Right, Master Developer shall replace, at its sole cost and expense, any item temporarily relocated or removed.

D. Master Developer shall actively cooperate with the City to facilitate the City’s exercise of the Reserved Right.

E. Except in an emergency, entries by the City or its agent and contractors shall be made only after reasonable notice to Master Developer. Any damage to the Master Developer Encroachments or the License Area or to any part thereof resulting from entry by the City or any third parties shall be promptly repaired or replaced at the sole expense of the party causing said damage.

13. COMPLIANCE WITH LAWS/PERMITS/HOLDS. Master Developer shall, in all activities undertaken pursuant to the License, comply and cause its employees, agents, contractors and subcontractors to comply with all federal, state and local laws, statutes, codes, ordinances, rules, regulations, plans, orders, policies and decrees. Without limiting the generality of the foregoing, Master Developer, at its sole cost and expense, shall obtain any and all approvals and permits which may be required by any law, regulation, or ordinance for any activities Master Developer desires to conduct or have conducted pursuant to this License.

14. INSPECTION. The City and its employees, agents, or contractors may enter and inspect the License Area or any portion thereof or any improvements thereon at any time and from time to time at reasonable times to verify Master Developer’s compliance with the terms and conditions of this License.

15. INDEMNIFICATION. To the fullest extent permitted by law, Master Developer shall, and shall cause its contractors, agents, and representatives to release, indemnify, defend, and hold harmless the City, its elected officials, officers, employees, and agents (collectively, “**Indemnitees**”) for, from, and against any and all claims, liabilities, fines, penalties, costs, damages, losses, liens, causes of action, suits, demands, judgments, and expenses, including, without limitation, court costs, attorney’s fees, and costs of investigation (collectively, “**Liabilities**”) of any nature, kind or description directly or indirectly arising out of, resulting from or related to, in whole or in part:

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- A. this License;
- B. any rights or interests granted pursuant to this License;
- C. Master Developer's occupation and use of the License Area; or
- D. any act or omission of Master Developer or Master Developer's officers, agents, business invitees and guests, employees, contractors, or anyone directly or indirectly employed by any of them, or anyone they control or exercise control over;

The only Liabilities with respect to which Master Developer's obligation to indemnify the Indemnitees does not apply are Liabilities to the extent caused by or arising from the negligence or willful misconduct of any Indemnatee.

Upon written notice from the City, Master Developer agrees to assume the defense, with counsel reasonably approved by the City, of any lawsuit or other proceeding brought against any Indemnatee by any entity, relating to any matter covered by this License for which Master Developer has an obligation to assume liability for and/or save and hold harmless any Indemnatee. Master Developer shall pay all costs incident to such defense, including without limitation, attorney's fees, investigators' fees, litigation, and appeal expenses, settlement payment and amounts paid in satisfaction of judgments.

#### 16. INSURANCE.

A. GENERAL. Master Developer shall purchase and continuously maintain in full force and effect for the policy periods specified below the insurance policies specified in this Section. If any work authorized under this License is performed by a contractor or subcontractor hired by Master Developer, then these insurance requirements shall also be met by said contractor or subcontractor. The insurance required hereunder shall not be interpreted to relieve Master Developer of any indemnity or obligation under this License. Master Developer shall remain fully liable for all deductibles and amounts in excess of the coverage actually realized. All insurance and requirements in any form or manner is subject to approval and acceptance by the City.

If Master Developer utilizes umbrella or excess policies to meet limit requirements, these policies must "follow form" and afford no less coverage than the primary policy. If utilized, Master Developer shall waive all rights of recovery and its insurers also waive all rights of subrogation of damages against the City for damages covered by Umbrella or Excess Liability obtained by Master Developer as required by City.

B. COMMERCIAL GENERAL LIABILITY INSURANCE. Master Developer shall provide and maintain Commercial General Liability Insurance (broad form coverage) insuring against claims for bodily injury, property damage, personal injury and advertising injury that shall be no less comprehensive and no more restrictive than the coverage provided by Insurance Services Office (ISO) form for Commercial General (CG 00-01-10-01). By its terms or appropriate endorsements such insurance shall include the following coverage: Bodily Injury, Property Damage, Fire Legal Liability (not less than the replacement value of the portion of the premises occupied), Personal Injury, Blanket Contractual, Independent Contractor, Premises Operations, Products and Completed Operations (for a minimum of two (2) years following final completion of the Project). The policy cannot be endorsed to exclude the perils of explosion (x), collapse (c) and underground (u) exposures without the approval of the City.

If Commercial General Liability Insurance or other form with a general aggregate limit and products and completed operations aggregate limit is used, then the aggregate limits shall apply separately, or Master Developer may obtain separate insurance to provide the required limit which shall not be subject to depletion because of claims arising out of any other projects or activities of Master

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Developer. Any such excess insurance shall be at least as broad as Master Developer's primary insurance.

Type of Coverage:	Occurrence Basis
Amount of Coverage:	\$1,000,000 per occurrence; \$2,000,000 annual aggregate
Policy Period:	Annual Policy. Effective for the duration of this License
Name Insured:	Master Developer
Additional Insured Parties:	City of Las Vegas (its elected officials, officers, employees, and agents)

C. MISCELLANEOUS.

1). ACCEPTABLE INSURANCE COMPANY. The insurance company providing any of the insurance coverage required herein shall have a Best's Key rating of A VII or higher, (i.e., A VII, A VIII, A IX, A X, etc.) and shall be subject to approval by City. Each insurance company's rating as shown in the latest Best's Key Rating Guide shall be fully disclosed and entered on the required certificate of insurance.

2) PREMIUMS, DEDUCTIBLES AND SELF-INSURED RETENTIONS. Master Developer shall be responsible for payment of premiums for all of the insurance coverages required under this Section. Master Developer further agrees that for each claim, suit or action made against insurance provided hereunder, with respect to all matters for which Master Developer are responsible hereunder, Master Developer shall be solely responsible for all deductibles and self-insured retentions.

3). CERTIFICATES OF INSURANCE. Master Developer will deliver to the City a certificate of insurance with respect to each required policy to be provided by Master Developer under this Section. The required certificates must be signed by the authorized representative of the insurance company shown on the certificate with proof that such person is an authorized representative thereof, and is authorized to bind the named underwriter(s) and their company to the coverage, limits and termination provisions shown thereon. A certified, true and exact copy of each of the project specific insurance policies (including renewal policies) required under this Section shall be provided to the City if so requested.

4). RENEWAL POLICIES. Master Developer shall promptly deliver to the City and each additional insured listed above a certificate of insurance with respect to each renewal policy, as necessary to demonstrate the maintenance of the required insurance coverage for the terms specified herein. Such certificate shall be delivered to City and each additional insured listed above not less than thirty (30) calendar days prior to the expiration date of any policy and bear a notation evidencing payment of the premium thereof.

5). CANCELLATION OR MODIFICATION. Each insurance policy supplied by Master Developer must be endorsed to provide that the coverage shall not be suspended, voided, canceled or reduced in coverage or in limits except after fourteen (14) calendar days written notice in the case of non-payment of premiums, or thirty (30) calendar days written notice in all other cases, has been given to the City and each additional insured listed above and such notice is by certified mail, return receipt requested. This notice requirement does not waive the insurance requirements contained herein.

6). NO RECOURSE. There shall be no recourse against City for the payment of premiums or other amounts with respect to the insurance required from Master Developer under this Section 17.

7). ENDORSEMENTS AND WAIVERS. All insurance policies required hereunder shall contain or be endorsed to contain the following provisions:

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i. For claims covered by the insurance specified herein, said insurance coverage shall be primary insurance with respect to the insured, additional insured parties, and their respective members, directors, officers, employees and agents and shall specify that coverage continues notwithstanding the fact that Master Developer has left the Licensed Area. Any insurance or self-insurance beyond that specified in this License that is maintained by an insured, additional insured, or their members, directors, officers, employees, and agents shall be in excess of such insurance and shall not contribute with it.

ii. Any failure on the part of a named insured to comply with reporting provisions or other conditions of the policies, any breach of warranty or any action or inaction of a named insured or others shall not affect coverage provided to the other insured or additional insured parties or their respective members, directors, officers, employees, and agents.

iii. The insurance shall apply separately to each insured and additional insured party against whom a claim is made or suit is brought, except with respect to the limits of the insurer's liability.

iv. Master Developer shall also provide a waiver of subrogation for the General Liability policy. This waiver must be given by endorsement.

17. ATTORNEY'S FEES. In the event of a dispute between the Parties with respect to the terms or conditions of this License, the prevailing party shall be entitled to collect from the other its reasonable attorneys' fees as established by the judge or arbitrator presiding over such dispute.

18. CONTINUING LIABILITY. No termination of this License shall release Master Developer from any liability or obligation hereunder resulting from any acts, omissions or events happening prior to the termination of this License and restoration of the License Area.

19. SUCCESSOR AND ASSIGNS. The conditions and restrictions of this License shall be a covenant running with the land and shall be binding upon and inure to the benefit of the Master Developer, its administrators, executors, heirs, and any other successors and or assigns, including any or homeowner's association.

20. SURVIVAL. Termination shall not release either party from any liability or obligation under this License, whether indemnity or otherwise, resulting from the acts, omissions or events happening prior to the date of termination, or, if later, the date when the Encroachments are removed and the Licensed Area is restored for its intended public use.

21. CHOICE OF LAW/VENUE/ATTORNEY'S FEES. Any litigation related to this License shall be brought and prosecuted exclusively in the Eighth Judicial District Court of Clark County, Nevada. The governing law shall be the laws of the State of Nevada. In the event that at any time either party institutes any action or proceeding against the other relating to the provisions of this License or any termination or default hereunder, then the unsuccessful party shall be responsible for the reasonable expenses of such action including attorneys' fees, incurred therein by the successful party. To the extent such waiver is permitted by law, the Parties shall waive trial by jury in any action or proceeding brought in connection with this License.

22. NO THIRD-PARTY BENEFICIARIES. Nothing expressed or implied in this License is intended, or should be construed, to confer upon or give any person or entity not a party to this License any third-party beneficiary rights, interests, or remedies under or by reason of any term, provision, condition, undertaking, warranty, representation, or agreement contained in this License.

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23.     **FORCE MAJEURE.** The occurrence of any of the following events shall excuse such obligations of the Parties as are thereby rendered impossible or reasonably impracticable for so long as such event continues: strikes; lockouts; labor disputes; acts of God; inability to obtain labor, materials, or reasonable substitutes therefor; governmental restrictions, regulations, or controls; judicial orders; enemy or hostile governmental action; civil commotion; fire or other casualty; and other causes beyond the reasonable control of the party obligated to perform (excluding financial inability or hardship). Notwithstanding the foregoing, the occurrence of such events shall not excuse such obligations as this License may otherwise impose on the party to obey, remedy, or avoid such event.

24.     **NO CLAIMS OF ADVERSE POSSESSION/PRESCRIPTIVE EASEMENT/ABANDONMENT.** Master Developer acknowledges and agrees that it does not have and will not assert at any time any claim of adverse possession or prescriptive easement with respect to the License Area or any portion of the Right-of-Way nor any claim that by granting the License, the City has abandoned or vacated the Right-of-Way.

25.     **TIME CALCULATIONS.** All references to “days” herein shall mean calendar days unless otherwise stated. The terms “business days” shall mean Monday thru Friday, exclusive of holidays observed by the State of Nevada. Should the calculation of any of the various time periods provided for herein result in an obligation becoming due on a Saturday, Sunday or legal holiday, then the due date of such obligation or scheduled time of occurrence of such event shall be delayed until the next business day.

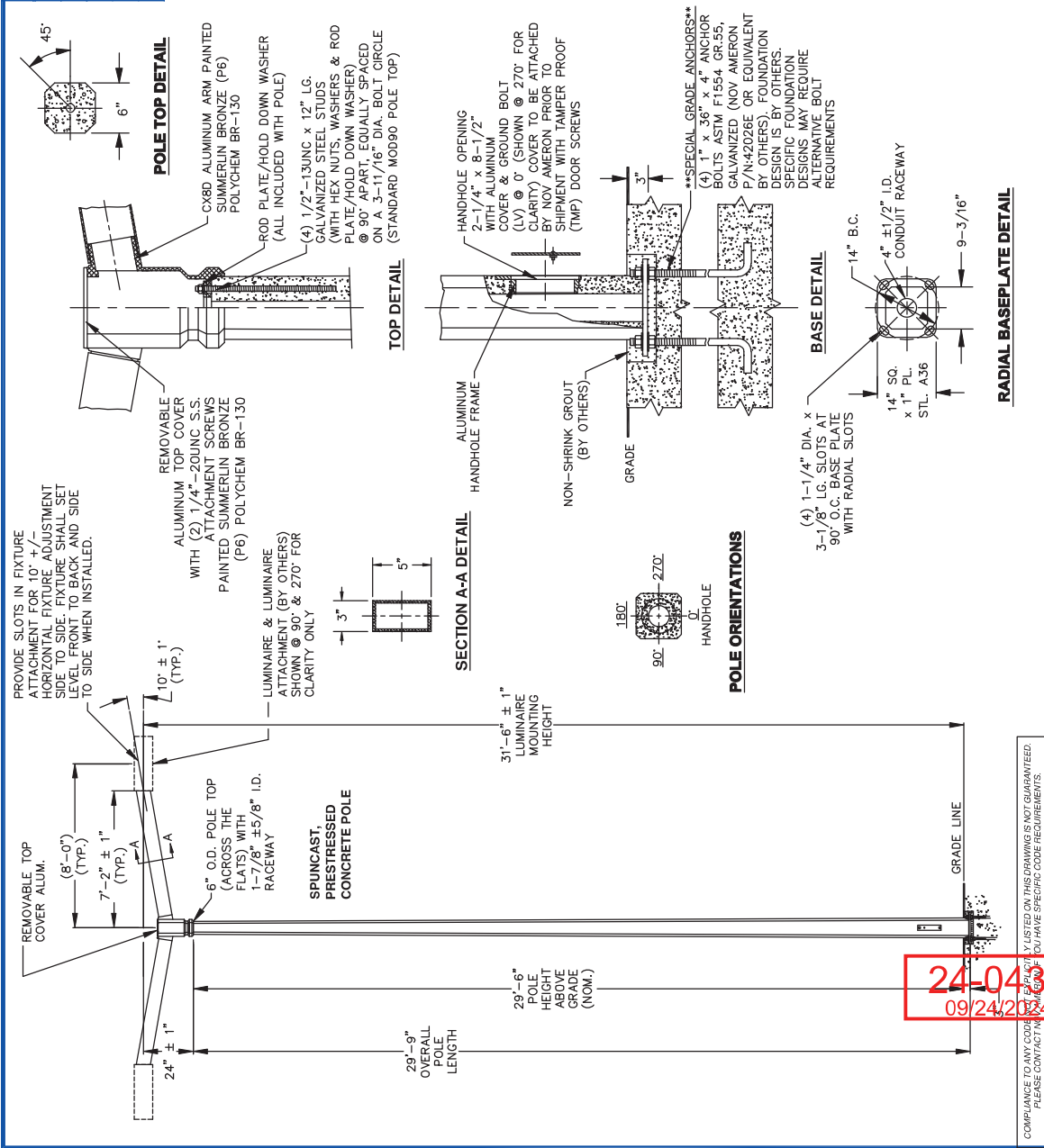
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# Exhibit “J”

## Skye Summit Street Light Design

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REV.	DATE	DESCRIPTION	DRN.	APPR.
A	03/07	1C529 POLE WAS 1C530 UPDATED FOR ORACLE	A.C.	
B	01/08	CHANGED BP 45145 TO 45250 PER MFG	A.C.	
C	03/08	ADDED CLARK COUNTY TYPE-2A-D TO TITLE BLOCK	L.P.	
D	08/08	ADDED TAMPER PROOF SCREWS & WRENCH	L.P.	
E	07/13	ADDED LOADING & UPDID DETAILS ON B.P.	J.C.	



<b>NOV Ameron Pole Products</b>	
SUMMERLIN / CLARK COUNTY TYPE-2A-D	
LAS VEGAS, NV	
1C529 POLE WITH 8' LMA	
THIS DOCUMENT CONTAINS INFORMATION WHICH IS PROPRIETARY TO NOV AMERON. IT SHALL NOT BE REPRODUCED, USED OR DISCLOSED TO ANYONE WITHOUT THE PRIOR WRITTEN PERMISSION OF NOV AMERON.	
DRAWN: G.C.	6/03
CHK'D:	N.T.S.
DWG. NO.	SK065003
REV	E

# AREA & ROADWAY LIGHTING



## Luminaire

Heavy cast low copper aluminum assembly (A356 alloy, <0.2% copper). Housing attaches to pole via a one piece, extruded aluminum arm with centering guides for internal draw bolts. Housing/pole junction is gasketed. All exposed hardware is stainless steel. Internal protected hardware is electro-zinc plated.

## PLED™ Optics

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. In asymmetric distributions, a micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded optical acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard and specialized street, site, and area distributions. All distributions are Zero Uplight (U0), Full-Cutoff dark sky friendly. Panels are field replaceable and field rotatable in 90° increments.

## LED Emitters

High Power White LED's are driven between 350mA and 1050mA for a maximum output of 3 Watts nominal each. LED's are available in standard Neutral White (4000K), Cool White (5000K), or Warm White (2700K & 3000K). All Standard LED's have a minimum of 70 CRI. Consult Factory for other LED options. Lumen Maintenance of L94 at 60,000 hours (TM-21 calculated at 6x Test Time).

**True Amber LED's** TRA-True Amber LED's emit light in the amber spectral bandwidth centered on 585-590nm. True Amber has negligible blue light and is suitable for wildlife.

## LED Driver

Constant current electronic with a power factor of >0.90, THD less than 10% and a minimum operating temperature of -40°F/-40°C. Driver(s) is/are UL and cUL recognized. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. 0-10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field installation.

## Finish

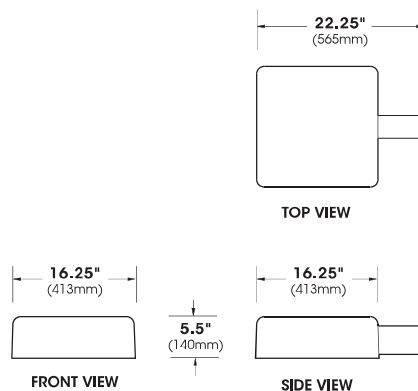
Polyester powder coat incorporates four step iron phosphate process to pretreat metal surface for maximum adhesion. Top coat is baked at 400°F for maximum hardness and exterior durability.

PROJECT NAME: \_\_\_\_\_

PROJECT TYPE: \_\_\_\_\_



**LUM PLED**



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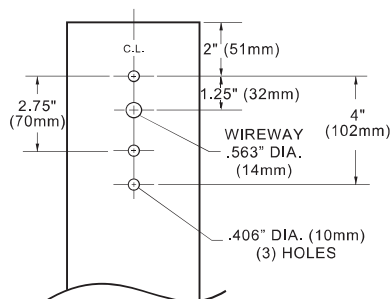
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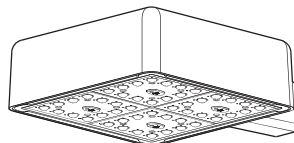
# LUM SERIES - LED

## SPECIFICATIONS

### POLE DRILLING TEMPLATE

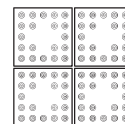


### EPA & WEIGHT



**LUM**  
Max Weight = 35 lbs  
Max EPA = 1.12  
80 LED Max

### PLED™ MODULES



80 LED Module



40 LED Module

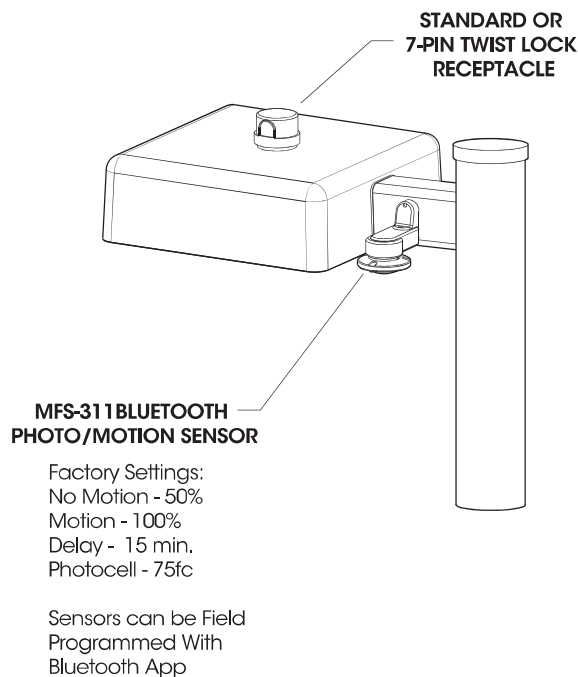
## ORDERING INFORMATION

Spec/Order Example: LUM/PLED-II-ML/80LED-700mA/40K/347/4-90/RAL-8019-S

Luminaire	Optics	LED Mode			Voltage	Mounting	Finish	Options
Luminaire	Optics	LED			Voltage	Mounting	Finish	Options
<input type="checkbox"/> LUM	<b>PLED™</b> Distribution Type <input type="checkbox"/> Type II <b>PLED-II</b> <input type="checkbox"/> Type II Front Row <b>PLED-II-FR</b> <input type="checkbox"/> Type III Median Illuminator <b>PLED-III-ML</b> <input type="checkbox"/> Type III Med. <b>PLED-III-M</b> <input type="checkbox"/> Type III Wide <b>PLED-III-W</b> <input type="checkbox"/> Type IV <b>PLED-IV</b> <input type="checkbox"/> Type IV <b>PLED-IV-FT</b> <input type="checkbox"/> Type V Narrow <b>PLED-VSQ-N</b> <input type="checkbox"/> Type V Med. <b>PLED-VSQ-M</b> <input type="checkbox"/> Type V Wide <b>PLED-VSQ-W</b>	<input type="checkbox"/> 80LED <input type="checkbox"/> 40LED	<input type="checkbox"/> 1050mA <sup>1</sup> <input type="checkbox"/> 875mA <sup>1</sup> <input type="checkbox"/> 700mA <input type="checkbox"/> 525mA <input type="checkbox"/> 350mA	<input type="checkbox"/> 27K (2700K) <input type="checkbox"/> 30K (3000K) <input type="checkbox"/> 40K (4000K) <input type="checkbox"/> 50K (5000K) <input type="checkbox"/> TRA <sup>2</sup> True Amber Consult Factory for Other LED Color, CCT, & CRI Options	<input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 347 <input type="checkbox"/> 480	<input type="checkbox"/> 1 <input type="checkbox"/> 2-180 <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-90 <input type="checkbox"/> 3-120 <input type="checkbox"/> 4-90 <input type="checkbox"/> Universal Pole Adaptor <b>UPA</b>  <b>Wall Mount</b> <input type="checkbox"/> WM WM - Wall Mount provided with mounting bracket and cover.	<input type="checkbox"/> Black <b>RAL-9005-T</b> <input type="checkbox"/> White <b>RAL-9003-T</b> <input type="checkbox"/> Grey <b>RAL-7004-T</b> <input type="checkbox"/> Dark Bronze <b>RAL-8019-T</b> <input type="checkbox"/> Green <b>RAL-6005-T</b>  For smooth finish replace suffix "T" with suffix "S" (Example: RAL-9500-S)  Consult factor for custom colors	<input type="checkbox"/> Internal House Side Shield inc. LED Count (Example: HS-PLED/48) <b>HS-PLED</b> <input type="checkbox"/> External Glare Shield 4 Sided <b>EGS4</b> <input type="checkbox"/> External Glare Shield 3 Sided Rear Wedge <b>EGS3W</b> <input type="checkbox"/> Twist Lock Receptacle Only <b>TPR</b> <input type="checkbox"/> 7-Pin Twist Lock Receptacle Only <b>TPR7</b> <input type="checkbox"/> High-Low Dimming for Switch by Others/Select Levels 50/100 or 25/100 (Example: HLSW/25) <b>HLSW</b> <input type="checkbox"/> Photo Cell + Voltage (Example: PC120V) <b>PC+V</b> <input type="checkbox"/> Single Fuse (120V, 277V) <b>SF</b> <input type="checkbox"/> Double Fuse (120V, 277V) <b>DF</b> <input type="checkbox"/> Photo/Motion Sensor (Factory - Motion 50/100; Photo 75(c)) <b>MS-F311</b>

# LUM SERIES - LED

## OPTIONS



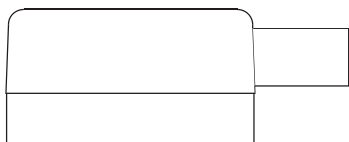
### High Low Dimming For Switches (HLSW)

The HLSW is a Small Electronic Switch which Provides High Low Dimming Control Through the LED Driver's 0-10V Control. Switching is Done by Adding a Secondary AC Switched Hot Trigger Line to the HLSW in Addition to the Normal AC Power Line. When the Secondary Trigger Line is Powered, the Fixture will go to 100% Dimming. With no Power to the Trigger, the Fixture will operate at 50% or 25% Dimming. Switches for the Trigger Line can be a Normal AC Switch/Breaker or Timed Switch/Breaker.

### Wireless and Other Fixture Controls

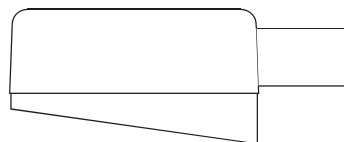
Contact Factory for Wireless and Other Fixture Controls and Recommendations. Most Controls Can be Integrated and Factory Installed.

## EXTERNAL GLARE SHIELDS



### EGS4 - 4 Sided Shield

Minimum Cutoff = 12°  
Average Cutoff = 23°



### EGS3W - 3 Sided Shield

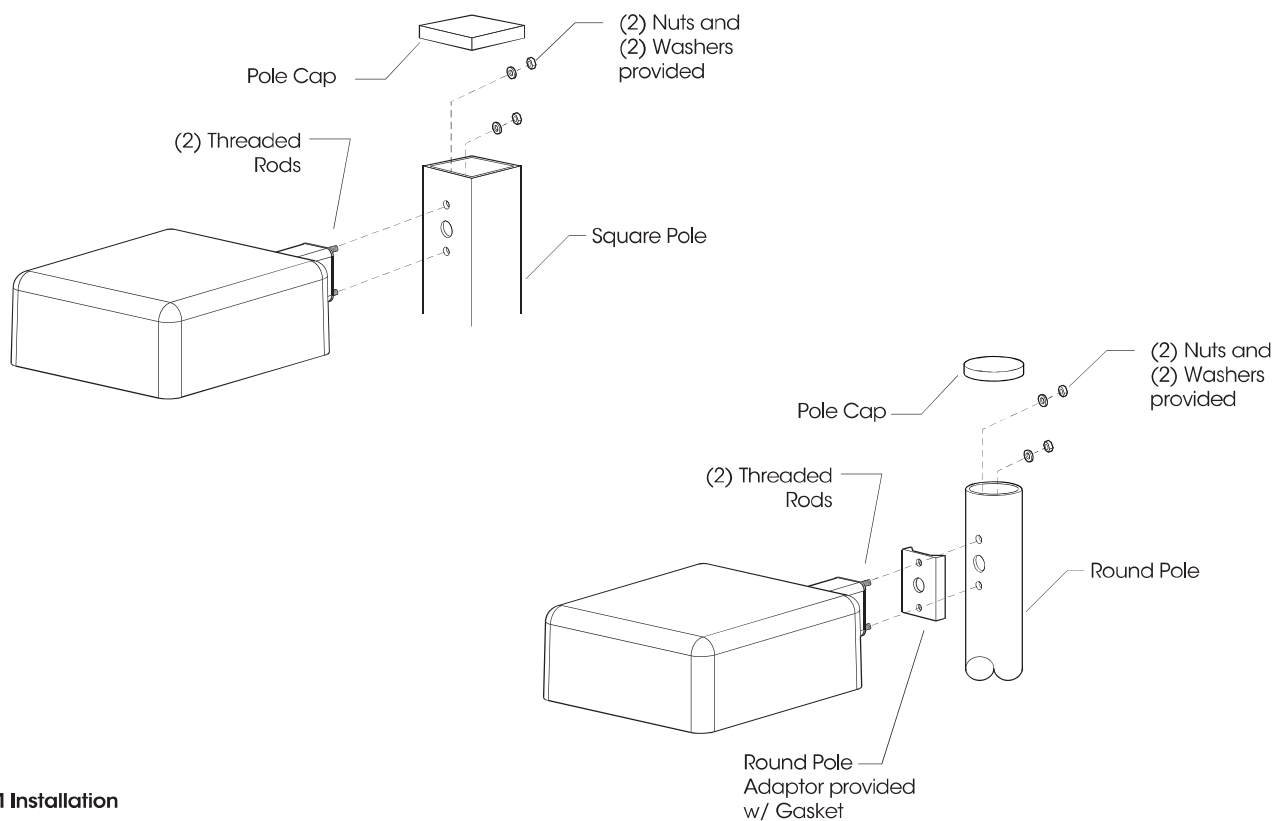
Minimum Rear Cutoff = 12°  
Average Rear Cutoff = 23°  
Minimum Side Cutoff = 4°  
Average Side Cutoff = 16°

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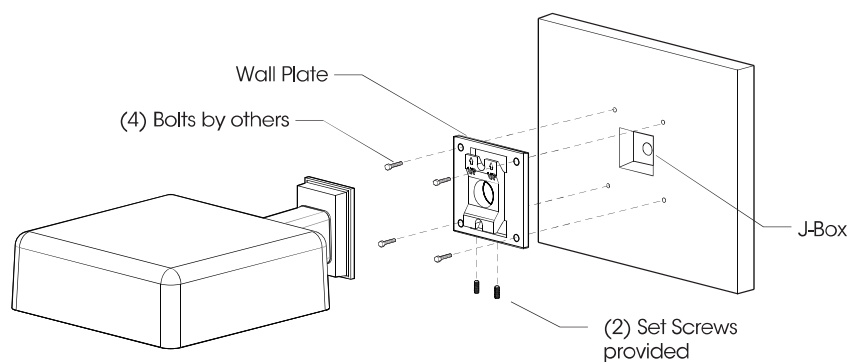
Glare Shields are rotatable. Consult factory for custom applications.

# LUM SERIES - LED

## INSTALLATION DETAIL



LUM Installation



LUM-WM Installation

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# LUM SERIES - PLED

## PHOTOMETRIC DATA GUIDE - LM80 LUMENS MAINTENANCE

LED Life / Operating Hours	Lumen Depreciation	Lumen Depreciation Scale Factor
60,000 (10x Test Time Calculated)	L94	0.94x
100,000 (Theoretical Calculated)	L92	0.92x
150,000 (Theoretical Calculated)	L89	0.89x

Lumen Depreciation Calculations Done in Accordance With IESNA TM-21 & LM-80 (25°C Ambient  
TM-21 6x Test Time Dictates that L94 > 60,000 Hour

## ELECTRICAL DATA GUIDE - AMPERAGE CHARTS

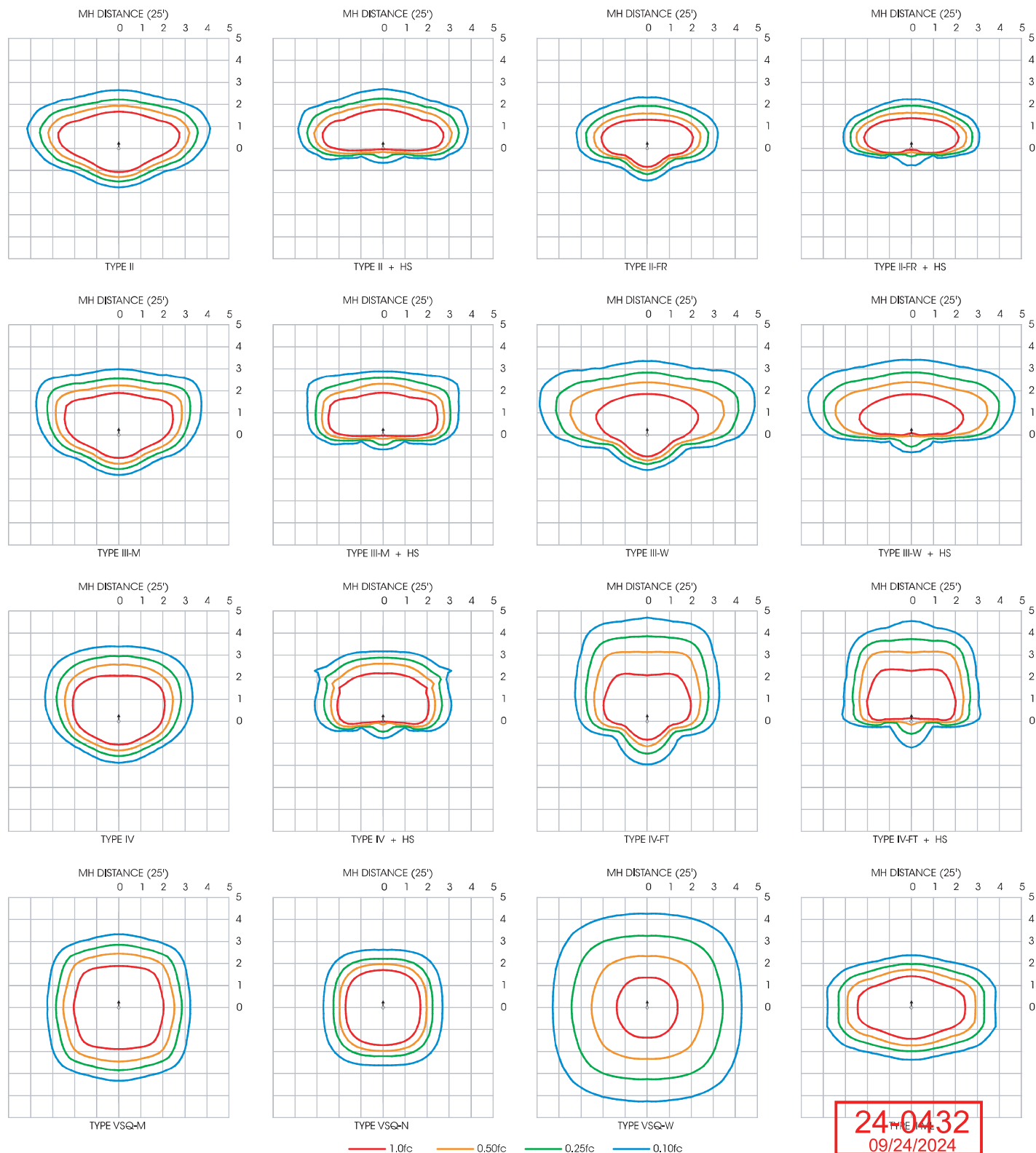
# of LEDs	mA	System Watts	120V	208V	277V	347V	480V
40	350	43	0.36	0.21	0.15	0.12	0.09
40	525	65	0.54	0.31	0.23	0.19	0.13
40	700	87	0.72	0.42	0.31	0.25	0.18
40	875	108	0.90	0.52	0.39	0.31	0.23
40	1050	128	1.07	0.62	0.46	0.37	0.27
80	350	85	0.71	0.41	0.31	0.25	0.18
80	525	129	1.08	0.62	0.47	0.37	0.27
80	700	174	1.45	0.83	0.63	0.50	0.36

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# LUM SERIES - PLED

## PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

### LUM-PLED-80LED-700mA-40K - 25' Pole Height



IES File downloads for this product can be found at [www.usalig.com/downloads/asr.html](http://www.usalig.com/downloads/asr.html)

U.S. Pole Company Inc.  
An Employee Owned Company

660 West Avenue O, Palmdale, CA 93551  
Phone (661) 233-2000 [www.usalig.com](http://www.usalig.com)

MADE IN THE  
USA

U.S. ARCHITECTURAL  
LIGHTING



LUM SERIES - PLED

PHOTOMETRIC DATA GUIDE - LUMEN TABLES

LUM-PLED																			
LED Count	Drive Current (mA)	System Watts	Dist'n Type	27K (2700K - 70CRI)			30K (3000K - 70CRI)			40K (4000K - 70CRI)			50K (5000K - 70CRI)			System Watts	TRA (590nm)		
				LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING		LUMENS	LPW	BUG RATING
40	350	42.7	II	5470	128	B1-U0-G1	5904	138	B2-U0-G1	6215	146	B2-U0-G1	6526	153	B2-U0-G2	33.0	2170	66	B1-U0-G1
			II-FR	5506	129	B1-U0-G1	5944	139	B2-U0-G1	6257	147	B2-U0-G1	6570	154	B2-U0-G1		2185	66	B1-U0-G0
			II-ML	5469	128	B2-U0-G2	5905	138	B3-U0-G3	6215	146	B3-U0-G3	6526	153	B3-U0-G3		2170	66	B1-U0-G1
			III-M	5566	130	B1-U0-G1	6008	141	B1-U0-G2	6325	148	B2-U0-G2	6641	156	B2-U0-G2		2208	67	B1-U0-G1
			III-W	5167	121	B1-U0-G2	5579	131	B1-U0-G2	5872	138	B1-U0-G2	6166	144	B1-U0-G2		2051	62	B1-U0-G1
			IV	5524	129	B1-U0-G1	5963	140	B1-U0-G2	6277	147	B2-U0-G2	6590	154	B2-U0-G2		2192	66	B1-U0-G1
			IV-FT	5031	118	B1-U0-G2	5432	127	B1-U0-G2	5718	134	B1-U0-G2	6004	141	B1-U0-G2		1996	60	B1-U0-G1
			VSQ-N	5773	135	B2-U0-G1	6232	146	B2-U0-G1	6560	154	B2-U0-G1	6888	161	B2-U0-G1		2291	69	B1-U0-G0
			VSQ-M	5661	133	B3-U0-G1	6112	143	B3-U0-G1	6433	151	B3-U0-G1	6755	158	B3-U0-G1		2247	68	B2-U0-G1
			VSQ-W	5526	129	B3-U0-G2	5966	140	B3-U0-G2	6280	147	B3-U0-G2	6594	154	B3-U0-G2		2193	66	B2-U0-G1
			II-HS	4000	94	B0-U0-G1	4318	101	B0-U0-G1	4546	106	B0-U0-G1	4773	112	B1-U0-G2		1587	48	B0-U0-G0
			II-FR-HS	4069	95	B0-U0-G1	4393	103	B0-U0-G1	4624	108	B0-U0-G1	4856	114	B0-U0-G1		1615	49	B0-U0-G0
			III-M-HS	4047	95	B0-U0-G1	4369	102	B0-U0-G2	4599	108	B0-U0-G2	4829	113	B0-U0-G2		1606	49	B0-U0-G1
			III-W-HS	3961	93	B0-U0-G2	4277	100	B0-U0-G2	4501	105	B0-U0-G2	4727	111	B0-U0-G2		1572	48	B0-U0-G1
			IV-HS	4181	98	B0-U0-G1	4513	106	B0-U0-G1	4750	111	B0-U0-G2	4988	117	B0-U0-G2		1658	50	B0-U0-G0
			IV-FT-HS	3950	93	B0-U0-G2	4264	100	B0-U0-G2	4489	105	B0-U0-G2	4714	110	B0-U0-G2		1568	48	B0-U0-G1
40	525	64.7	II	7892	122	B2-U0-G2	8520	132	B2-U0-G2	8968	139	B2-U0-G2	9416	146	B2-U0-G2	51.0	2552	50	B1-U0-G1
			II-FR	7945	123	B2-U0-G1	8577	133	B2-U0-G1	9029	140	B2-U0-G1	9480	147	B2-U0-G1		2569	50	B1-U0-G1
			II-ML	7892	122	B3-U0-G3	8520	132	B3-U0-G3	8969	139	B3-U0-G3	9417	146	B3-U0-G3		2552	50	B1-U0-G1
			III-M	8031	124	B2-U0-G2	8669	134	B2-U0-G2	9126	141	B2-U0-G2	9582	148	B2-U0-G2		2596	51	B1-U0-G1
			III-W	7456	115	B1-U0-G2	8049	124	B2-U0-G2	8473	131	B2-U0-G2	8896	137	B2-U0-G3		2411	47	B1-U0-G1
			IV	7970	123	B2-U0-G2	8603	133	B2-U0-G2	9056	140	B2-U0-G2	9509	147	B2-U0-G2		2577	51	B1-U0-G1
			IV-FT	7260	112	B1-U0-G3	7838	121	B2-U0-G3	8250	128	B2-U0-G3	8663	134	B2-U0-G3		2347	46	B1-U0-G1
			VSQ-N	8329	129	B3-U0-G1	8992	139	B3-U0-G1	9465	146	B3-U0-G1	9939	154	B3-U0-G1		2694	53	B1-U0-G0
			VSQ-M	8169	126	B3-U0-G2	8818	136	B3-U0-G2	9282	143	B3-U0-G2	9747	151	B3-U0-G2		2641	52	B2-U0-G1
			VSQ-W	7974	123	B3-U0-G2	8608	133	B4-U0-G2	9061	140	B4-U0-G2	9514	147	B4-U0-G3		2578	51	B2-U0-G1
			II-HS	5772	89	B1-U0-G2	6231	96	B1-U0-G2	6559	101	B1-U0-G2	6887	106	B1-U0-G2		1866	37	B0-U0-G1
			II-FR-HS	5871	91	B1-U0-G1	6338	98	B1-U0-G1	6672	103	B1-U0-G1	7005	108	B1-U0-G1		1899	37	B0-U0-G0
			III-M-HS	5840	90	B0-U0-G2	6304	97	B0-U0-G2	6636	103	B0-U0-G2	6968	108	B0-U0-G2		1888	37	B0-U0-G1
			III-W-HS	5716	88	B0-U0-G2	6170	95	B0-U0-G2	6495	100	B0-U0-G2	6820	105	B0-U0-G2		1848	36	B0-U0-G1
			IV-HS	6032	93	B0-U0-G2	6511	101	B0-U0-G2	6854	106	B0-U0-G2	7197	111	B0-U0-G2		1951	38	B0-U0-G1
			IV-FT-HS	5700	88	B0-U0-G2	6153	95	B0-U0-G2	6477	100	B0-U0-G2	6801	105	B1-U0-G2		1843	36	B0-U0-G1
40	700	86.8	II	10029	116	B2-U0-G2	10827	125	B2-U0-G2	11396	131	B2-U0-G2	11966	138	B2-U0-G2	N/A	N/A		
			II-FR	10096	116	B2-U0-G1	10899	126	B2-U0-G1	11472	132	B3-U0-G1	12046	139	B3-U0-G1				
			II-ML	10029	116	B3-U0-G3	10827	125	B3-U0-G3	11397	131	B3-U0-G3	11967	138	B3-U0-G3				
			III-M	10204	118	B2-U0-G2	11016	127	B2-U0-G2	11596	134	B2-U0-G2	12175	140	B2-U0-G2				
			III-W	9474	109	B2-U0-G3	10228	118	B2-U0-G3	10766	124	B2-U0-G3	11304	130	B2-U0-G3				
			IV	10127	117	B2-U0-G2	10933	126	B2-U0-G2	11508	133	B2-U0-G2	12084	139	B2-U0-G2				
			IV-FT	9225	106	B2-U0-G3	9959	115	B2-U0-G3	10483	121	B2-U0-G3	11008	127	B2-U0-G3				
			VSQ-N	10585	122	B3-U0-G1	11427	132	B3-U0-G1	12028	139	B3-U0-G1	12629	145	B3-U0-G1				
			VSQ-M	10379	120	B3-U0-G2	11205	129	B4-U0-G2	11795	136	B4-U0-G2	12385	143	B4-U0-G2				
			VSQ-W	10132	117	B4-U0-G3	10937	126	B4-U0-G3	11513	133	B4-U0-G3	12089	139	B4-U0-G3				
			II-HS	7335	84	B1-U0-G2	7918	91	B1-U0-G2	8335	96	B1-U0-G2	8751	101	B1-U0-G2				
			II-FR-HS	7461	86	B1-U0-G1	8054	93	B1-U0-G1	8478	98	B1-U0-G1	8902	103	B1-U0-G1				
			III-M-HS	7420	85	B0-U0-G2	8010	92	B1-U0-G2	8432	97	B1-U0-G2	8853	102	B1-U0-G2				
			III-W-HS	7262	84	B0-U0-G2	7840	90	B0-U0-G2	8253	95	B1-U0-G2	8665	100	B1-U0-G2				
			IV-HS	7664	88	B1-U0-G2	8274	95	B1-U0-G2	8709	100	B1-U0-G2	9145	105	B1-U0-G2				
			IV-FT-HS	7243	83	B1-U0-G3	7819	90	B1-U0-G3	8231	95	B1-U0-G3	8642	100	B1-U0-G3				
40	875	108.0	II	11624	108	B2-U0-G2	12548	116	B2-U0-G2	13209	122	B2-U0-G2	13869	128	B2-U0-G2	N/A	N/A		
			II-FR	11701	108	B3-U0-G1	12632	117	B3-U0-G1	13297	123	B3-U0-G1	13962	129	B3-U0-G1				
			II-ML	11624	108	B3-U0-G3	12548	116	B3-U0-G3	13209	122	B3-U0-G3	13869	128	B3-U0-G3				
			III-M	11826	110	B2-U0-G2	12767	118	B2-U0-G2	13439	124	B2-U0-G2	14111	131	B2-U0-G2				
			III-W	10981	102	B2-U0-G3	11854	110	B2-U0-G3	12478	116	B2-U0-G3	13102	121	B2-U0-G3				
			IV	11737	109	B2-U0-G2	12671	117	B2-U0-G2	13338	123	B2-U0-G2	14005	130	B2-U0-G2				
			IV-FT	10692	99	B2-U0-G3	11543	107	B2-U0-G3	12150	113	B2-U0-G3	12758	118	B2-U0-G3				
			VSQ-N	12268	114	B3-U0-G1	13243	123	B3-U0-G1	13941	129	B3-U0-G1	14638	136	B3-U0-G1				
			VSQ-M	12030	111	B4-U0-G2	12987	120	B4-U0-G2	13670	127	B4-U0-G2	14354	133	B4-U0-G2				
			VSQ-W	11743	109	B4-U0-G3	12677	117	B4-U0-G3	13344	124	B4-U0-G3	14010	130	B4-U0-G3				
			II-HS	8501	79	B1-U0-G2	9177	85	B1-U0-G2	9660	89	B1-U0-G2	10143	94	B1-U0-G2				
			II-FR-HS	8647	80	B1-U0-G1	9334	86	B1-U0-G1	9826	91	B1-U0-G1	10317	96	B1-U0-G1				
			III-M-HS	8600	80	B1-U0-G2	9284	86	B1-U0-G2	9772	90	B1-U0-G2	10261	95	B1-U0-G2				
			III-W-HS	8418	78	B1-U0-G2	9087	84	B1-U0-G2	9565	89	B1-U0-G3	10044	93	B1-U0-G3				
			IV-HS	8883	82	B1-U0-G2	9589	89	B1-U0-G2	10094	93	B1-U0-G2	10599	98	B1-U0-G2				
			IV-FT-HS	8395	78	B1-U0-G3	9063	84	B1-U0-G3	9540	88	B1-U0-G3	10017	93	B1-U0-G3				
40	1050	128.2	II	13360	104	B2-U0-G2	14423	113	B3-U0-G2	15182	118	B3-U0-G2	15941	124	B3-U0-G2	N/A	N/A		
			II-FR	13450	105	B3-U0-G1	14520	113	B3-U0-G1	15284	119	B3-U0-G2	16048	125	B3-U0-G2				
			II-ML	13361	104	B3-U0-G3	14423	113	B4-U0-G4	15183	118	B4-U0-G4	15942	124	B4-U0-G4				
			III-M	13594	106	B2-U0-G2	14675	114	B2-U0-G2	15447	120	B3-U0-G2	16220	127	B3-U0-G3				
			III-W	12622	98	B2-U0-G3	13626	106	B2-U0-G3	14343	112	B2-U0-G3	15060	117	B2-U0-G3				
			IV	13491	105	B2-U0-G2	14564	114	B2-U0-G2	15331	120	B3-U0-G2	16097	126	B3-U0-G2				
			IV-FT	12290	96	B2-U0-G3	13268	103	B2-U0-G3	13966	109	B2-U0-G3	14665	114	B2-U0-G3				
			VSQ-N	14101	110	B3-U0-G1	15223	119	B3-U0-G1	16024	125	B4-U0-G1	16825	131	B4-U0-G2				
			VSQ-M	13827	108	B4-U0-G2	14927	116	B4-U0-G2	15712	123	B4-U0-G2	16499	129	B4-U0-G2				
			VSQ-W	13497	105	B4-U0-G3	14571	114	B4-U0-G3	15338	120	B4-U0-G3	16104	126	B4-U0-G3				
			II-HS	9771	76	B1-U0-G2	10549	82	B1-U0-G2	11104	87	B1-U0-G2	11659	91	B1-U0-G2				
			II-FR-HS	9939	78	B1-U0-G1	10729	84	B1-U0-G1	11294	88	B1-U0-G2	11859	93	B1-U0-G2				
			III-M-HS	9885	77	B1-U0-G2	10671	83	B1-U0-G2	11232	88	B1-U0-G2	11794	92	B1-U0-G3				
			III-W-HS	9675	75	B1-U0-G3	10445	81	B1-U0-G3	10994	86	B1-U0-G3	11544	90	B1-U0-G3				
			IV-HS	10210	80	B1-U0-G2	11022	86	B1-U0-G2	11602	91	B1-U0-G2	12182	95	B1-U0-G2				
			IV-FT-HS	9650	75	B1-U0-G3	10417	81	B1-U0-G3	10965	86	B1-U0-G3	11513	90	B1-U0-G3				

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# LUM SERIES - PLED

## PHOTOMETRIC DATA GUIDE - LUMEN TABLES

LUM-PLED																			
LED Count	Drive Current (mA)	System Watts	Dist'n Type	27K (2700K - 70CRI)			30K (3000K - 70CRI)			40K (4000K - 70CRI)			50K (5000K - 70CRI)			System Watts	TRA (590nm)		
				LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING	LUMENS	LPW	BUG RATING		LUMENS	LPW	BUG RATING
80	350	85.4	II	10600	124	B2-U0-G2	11443	134	B2-U0-G2	12046	141	B2-U0-G2	12648	148	B2-U0-G2	67.0	4207	63	B1-U0-G1
			II-FR	10671	125	B2-U0-G1	11520	135	B3-U0-G1	12126	142	B3-U0-G1	12733	149	B3-U0-G1		4234	63	B1-U0-G1
			II-ML	10600	124	B3-U0-G3	11444	134	B3-U0-G3	12046	141	B3-U0-G3	12648	148	B3-U0-G3		4207	63	B2-U0-G2
			III-M	10785	126	B2-U0-G2	11643	136	B2-U0-G2	12256	144	B2-U0-G2	12869	151	B2-U0-G2		4280	64	B1-U0-G1
			III-W	10014	117	B2-U0-G3	10811	127	B2-U0-G3	11380	133	B2-U0-G3	11949	140	B2-U0-G3		3974	59	B1-U0-G2
			IV	10705	125	B2-U0-G2	11556	135	B2-U0-G2	12164	142	B2-U0-G2	12772	150	B2-U0-G2		4247	63	B1-U0-G1
			IV-FT	9751	114	B2-U0-G3	10527	123	B2-U0-G3	11081	130	B2-U0-G3	11635	136	B2-U0-G3		3870	58	B1-U0-G1
			VSQ-N	11188	131	B3-U0-G1	12078	141	B3-U0-G1	12714	149	B3-U0-G1	13350	156	B3-U0-G1		4440	66	B2-U0-G1
			VSQ-M	10971	128	B4-U0-G2	11844	139	B4-U0-G2	12467	146	B4-U0-G2	13091	153	B4-U0-G2		4353	65	B3-U0-G1
			VSQ-W	10709	125	B4-U0-G3	11561	135	B4-U0-G3	12169	142	B4-U0-G3	12778	150	B4-U0-G3		4249	63	B3-U0-G2
			II-HS	7752	91	B1-U0-G2	8369	98	B1-U0-G2	8809	103	B1-U0-G2	9250	108	B1-U0-G2		3076	46	B0-U0-G1
			II-FR-HS	7886	92	B1-U0-G1	8513	100	B1-U0-G1	8961	105	B1-U0-G1	9409	110	B1-U0-G1		3129	47	B0-U0-G0
			III-M-HS	7843	92	B1-U0-G2	8467	99	B1-U0-G2	8913	104	B1-U0-G2	9358	110	B1-U0-G2		3113	46	B0-U0-G1
			III-W-HS	7677	90	B0-U0-G2	8288	97	B1-U0-G2	8724	102	B1-U0-G2	9160	107	B1-U0-G2		3046	45	B0-U0-G1
			IV-HS	8101	95	B1-U0-G2	8745	102	B1-U0-G2	9206	108	B1-U0-G2	9666	113	B1-U0-G2		3215	48	B0-U0-G1
			IV-FT-HS	7656	90	B1-U0-G3	8265	97	B1-U0-G3	8700	102	B1-U0-G3	9135	107	B1-U0-G3		3038	45	B0-U0-G1
80	525	129.4	II	15265	118	B3-U0-G2	16479	127	B3-U0-G3	17347	134	B3-U0-G3	18214	141	B3-U0-G3	101.0	4936	49	B1-U0-G1
			II-FR	15367	119	B3-U0-G2	16589	128	B3-U0-G2	17462	135	B3-U0-G2	18335	142	B3-U0-G2		4968	49	B1-U0-G1
			II-ML	15265	118	B4-U0-G4	16480	127	B4-U0-G4	17347	134	B4-U0-G4	18214	141	B4-U0-G4		4936	49	B2-U0-G2
			III-M	15532	120	B3-U0-G2	16767	130	B3-U0-G3	17649	136	B3-U0-G3	18532	143	B3-U0-G3		5022	50	B1-U0-G1
			III-W	14421	111	B2-U0-G3	15568	120	B2-U0-G3	16387	127	B3-U0-G3	17206	133	B3-U0-G3		4663	46	B1-U0-G2
			IV	15414	119	B3-U0-G2	16640	129	B3-U0-G3	17516	135	B3-U0-G3	18392	142	B3-U0-G3		4984	49	B1-U0-G1
			IV-FT	14042	109	B2-U0-G3	15159	117	B3-U0-G3	15957	123	B3-U0-G4	16754	129	B3-U0-G4		4541	45	B1-U0-G2
			VSQ-N	16112	125	B4-U0-G1	17394	134	B4-U0-G2	18309	141	B4-U0-G2	19224	149	B4-U0-G2		5210	52	B2-U0-G1
			VSQ-M	15799	122	B4-U0-G2	17055	132	B4-U0-G2	17952	139	B4-U0-G2	18850	146	B4-U0-G2		5108	51	B3-U0-G1
			VSQ-W	15422	119	B4-U0-G3	16648	129	B4-U0-G3	17525	135	B5-U0-G3	18401	142	B5-U0-G3		4986	49	B3-U0-G2
			II-HS	11164	86	B1-U0-C2	12052	93	B1-U0-C2	12687	98	B1-U0-C2	13321	103	B1-U0-C3		3610	36	B0-U0-G1
			II-FR-HS	11356	88	B1-U0-G2	12259	95	B1-U0-G2	12905	100	B1-U0-G2	13550	105	B1-U0-G2		3672	36	B0-U0-G1
			III-M-HS	11295	87	B1-U0-G2	12193	94	B1-U0-G3	12835	99	B1-U0-G3	13477	104	B1-U0-G3		3652	36	B0-U0-G1
			III-W-HS	11054	85	B1-U0-G3	11934	92	B1-U0-G3	12562	97	B1-U0-G3	13190	102	B1-U0-G3		3575	35	B0-U0-G2
			IV-HS	11666	90	B1-U0-G2	12594	97	B1-U0-G2	13257	102	B1-U0-G3	13920	108	B1-U0-G3		3772	37	B0-U0-G1
			IV-FT-HS	11025	85	B1-U0-G3	11902	92	B1-U0-G3	12529	97	B1-U0-G3	13155	102	B1-U0-G3		3565	35	B0-U0-G2
80	700	173.6	II	19359	112	B3-U0-G3	20898	120	B3-U0-G3	21998	127	B3-U0-G3	23098	133	B3-U0-G3	N/A	N/A		
			II-FR	19487	112	B3-U0-G2	21038	121	B3-U0-G2	22145	128	B3-U0-G2	23252	134	B3-U0-G2				
			II-ML	19359	112	B4-U0-G4	20899	120	B4-U0-G4	21999	127	B4-U0-G4	23099	133	B4-U0-G4				
			III-M	19697	113	B3-U0-G3	21264	122	B3-U0-G3	22383	129	B3-U0-G3	23502	135	B3-U0-G3				
			III-W	18289	105	B3-U0-G3	19743	114	B3-U0-G4	20782	120	B3-U0-G4	21821	126	B3-U0-G4				
			IV	19549	113	B3-U0-G3	21104	122	B3-U0-G3	22215	128	B3-U0-G3	23325	134	B3-U0-G3				
			IV-FT	17808	103	B3-U0-G4	19224	111	B3-U0-G4	20236	117	B3-U0-G4	21248	122	B3-U0-G4				
			VSQ-N	20432	118	B4-U0-G2	22058	127	B4-U0-G2	23219	134	B4-U0-G2	24380	140	B4-U0-G2				
			VSQ-M	20035	115	B4-U0-G2	21629	125	B5-U0-G3	22767	131	B5-U0-G3	23906	138	B5-U0-G3				
			VSQ-W	19558	113	B5-U0-G3	21113	122	B5-U0-G4	22225	128	B5-U0-G4	23336	134	B5-U0-G4				
			II-HS	14158	82	B1-U0-G3	15284	88	B1-U0-G3	16088	93	B1-U0-G3	16893	97	B1-U0-G3				
			II-FR-HS	14401	83	B1-U0-G2	15547	90	B1-U0-G2	16365	94	B1-U0-G2	17183	99	B1-U0-G2				
			III-M-HS	14323	83	B1-U0-G3	15463	89	B1-U0-G3	16276	94	B1-U0-G3	17090	98	B1-U0-G3				
			III-W-HS	14020	81	B1-U0-G3	15135	87	B1-U0-G4	15932	92	B1-U0-G4	16728	96	B1-U0-G4				
			IV-HS	14795	85	B1-U0-G3	15972	92	B1-U0-G3	16812	97	B1-U0-G3	17653	102	B1-U0-G3				
			IV-FT-HS	13982	81	B1-U0-G4	15094	87	B1-U0-G4	15889	92	B1-U0-G4	16683	96	B1-U0-G4				

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IES File downloads for this product can be found at [www.usalig.com/downloads/asr.html](http://www.usalig.com/downloads/asr.html)

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# Exhibit “K”

## Parks Agreement

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## SKYE SUMMIT PARKS AGREEMENT

THIS SKYE SUMMIT PARKS AGREEMENT (the "Parks Agreement") is made this \_\_\_\_\_ day of \_\_\_\_\_ 2024, by the **CITY OF LAS VEGAS**, a municipal corporation of the State of Nevada (the "City") and **CANYON WALK, L.L.C.**, a Nevada limited liability company ("Canyon Walk" or "Master Developer"). The City and Master Developer are sometimes referred to individually as a "Party" and collectively as the "Parties".

### RECITALS

- A. City and Master Developer are parties to, and desire to enter into this Skye Summit Parks Agreement in connection with the Development Agreement for Skye Summit Master Planned Community entered into concurrently with this Agreement on the \_\_\_\_\_ day of \_\_\_\_\_, with respect to that certain 514.85 gross acres of real property and the improvements constructed or to be constructed thereon identified therein as the "Community".
- B. The current owner of certain land described in Exhibit A attached hereto ("Skye Summit") within the corporate boundaries of the City is Canyon Walk, L.L.C., a Nevada limited liability company.
- C. Master Developer has, concurrently with the execution of this Parks Agreement, entered into that certain Development Agreement for Skye Summit Master Planned Community with the City (the "Development Agreement").
- D. The Development Agreement contemplates that Master Developer will construct parks and other recreational amenities within Skye Summit as a condition to the City's approval of the development project.
- E. Pursuant to Chapter 4.24 of the Municipal Code of the City (the "Code"), a residential construction tax is payable prior to the issuance of a building permit for the construction of a residential dwelling unit.
- F. Pursuant to Section 4.24.140 of the Code, the residential construction tax may be waived for a project upon the developer's execution of an agreement with the City requiring the developer to construct park facilities ("Qualified Parks") in lieu of paying the tax.
- G. Pursuant to Section 4.24.100(A) of the Code, a developer may establish an association for the common ownership and maintenance of a developed park site that is designed for and dedicated exclusively to recreation in such development. Pursuant to Section 4 of the Development Agreement, Master Developer will organize a Master Homeowners Association (the "Master HOA") that will maintain certain parks and common areas prior to any property conveyance.
- H. The Parties wish to enter into this Parks Agreement: (i) to establish the amount and nature of the parks and recreational facilities to be constructed by Master Developer as part of its obligations with respect to the development of Skye Summit, (ii) to waive the residential construction tax, (iii) to set forth the ownership and maintenance of the Qualified Parks by the City and Master HOA, (iv) to establish the procedure by which the right is reserved or granted to the public for use of the Qualified Parks, (v) for other purposes as set forth below. The Parties intend that this Parks Agreement be a covenant running with the land with respect to any Qualified Parks. The Parties agree to work in good faith to expeditiously submit and process the park plans outlined herein for the benefit of the City and Skye Summit.

NOW, THEREFORE, in consideration of the above recitals and of other valuable

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consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties agree to the following plan for the construction, protection and benefit of the Qualified Parks and an additional City of Las Vegas Park ("City Park"). This Parks Agreement shall run with, and shall be binding upon and pass with the ownership interest in the Qualified Parks and shall inure to the benefit of and apply to and bind the Parties and their respective successors in interest.

1. Designation of Qualified Park Acreage. Master Developer agrees to design and construct, at Master Developer's sole cost and expense, all of those Qualified Parks, trails open spaces and other recreational areas depicted on Exhibit B attached hereto. Each of the park areas is hereinafter referred to by the name designation indicated on Exhibit B. All recreational amenities for the Qualified Parks and their recreational amenities shall be conveyed to the Master HOA.
2. Required Facilities of Qualified Parks. Master Developer agrees that each of the Qualified Parks shall, at a minimum, contain those amenities and features described in the Development Standards and Design Guidelines ("DS/DG") found at Exhibit K of the Development Agreement including Table 2.3.1: Trail Node Amenities and Table 2.2.1: Park Amenities ("Required Facilities"). Master Developer and City agree that all parking and street landscaping are subject to the approval of the City Planning Department or as defined in the approved DS/DG. City agrees that Master Developer shall have discretion with respect to any other amenities or features that are to be placed within the Qualified Parks in addition to the Required Facilities and that City shall not unreasonably withhold or delay its approval of any conceptual plan for a park that contains all of the Required Facilities. Any changes to the Required Facilities may be approved as a Minor Modification as outlined in the Development Agreement Section 3.04.
3. Design of Qualified Parks. Prior to construction of each Qualified Park, Master Developer shall meet with the City staff to discuss park amenity programming and shall submit to the City a conceptual plan for such park showing the Required Facilities and any additional proposed amenities and features of the park for City's review. The details of the plans are to comply with Table 2.3.1: Trail Node Amenities and Table 2.2.1: Park Amenities of the approved DS/DG. Following acceptance by the City of the conceptual plan, Master Developer shall proceed to design the park in accordance with the standards set forth in the Skye Summit Design Guidelines, the DS/DG, this Parks Agreement, and the City of Las Vegas Building Codes in effect at the time of issuance of the permit for the particular development activity. Where the design of a Required Facility is not contained in any of the above-listed standards and guidelines, Master Developer can process a minor modification per Section 3.04 of the Development Agreement. City agrees that its final approval of the drawings and specifications for the park shall be limited to adherence with the Skye Summit Design Guidelines, the DS/DG, this Parks Agreement, and the provisions of the Building Codes relating generally to construction of improvements within the City.
4. Construction of Qualified Parks. Following approval of the drawings and specifications for each park Master Developer shall promptly proceed with construction thereof and diligently pursue completion of each park in accordance with the schedule set forth in Section 5.
5. Completion Schedule. Master Developer agrees that it will adhere to the following schedule for design and construction of Qualified Parks. For purposes herein, the commencement of construction shall be upon issuance of a grading permit.
  - A) For purposes of this Parks Agreement, Skye Summit comprises several "Qualified Park Areas," each of which has associated Qualified Parks and other amenities within its boundaries. Qualified Park Areas 1, 2 and 3 are located within Skye Summit. The Qualified Park Areas are described on Exhibit B hereto.
  - B) Master Developer shall submit to the City for its review a conceptual plan of each individual Qualified Park located within the Qualified Park Areas prior to the issuance of the first (1<sup>st</sup>) permit for the construction of dwelling units within such individual Qualified Park Area that exceeds the Qualified Park Construction Trigger shown on Exhibit C. City will notify the Master Developer when

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seventy-five percent (75%) of the Qualified Park Construction Trigger permits have been issued in each individual Qualified Park Area.

- C) Master Developer shall prepare ninety (90) percent construction drawings and specifications for each individual Qualified Park and submit them to the City for its review within one hundred eighty (180) calendar days following the City's approval of the conceptual plans for such individual Qualified Park. Master Developer shall subsequently submit one hundred (100) percent construction drawings and specifications within ninety (90) days of completion of the City's review of the ninety (90) percent construction drawings and specifications.
- D) Master Developer shall commence construction of each individual Qualified Park located within a Qualified Park Area located within Skye Summit within the timeframe described below and shall complete each such individual Qualified Park within eighteen (18) months of the start of construction.

E) QUALIFIED PARK AREA 1

- a. Park 1.7 and Park 1.9
- b. 1.36 net acres and 1.10 net acres
- c. Commence construction on Park 1.7 prior to the issuance of the two hundred fiftieth (250<sup>th</sup>) building permit for a residential dwelling unit in Qualified Park Area 1. Commence construction on Park 1.9 prior to the issuance of the four hundredth (400<sup>th</sup>) building permit for a residential dwelling unit in Qualified Park Area 1.

F) QUALIFIED PARK AREA 2

- a. Park 2.10 and Park 2.12
- b. 1.61 net acres and 9.88 net acres
- c. Commence construction on Park 2.10 prior to the issuance of the two hundred fiftieth (250<sup>th</sup>) building permit for a residential dwelling unit in Qualified Park Area 2. Commence construction on Park 2.12 prior to the issuance of the four hundredth (400<sup>th</sup>) building permit for a residential dwelling unit in Qualified Park Area 2.

G) QUALIFIED PARK AREA 3

- a. Park 3.8 and Park 3.9
- b. 1.10 net acres and .98 net acres
- c. Commence construction on Park 3.8 prior to the issuance of the two hundred fiftieth (250<sup>th</sup>) building permit for a residential dwelling unit in Qualified Park Area 3. Commence construction on Park 3.9 prior to the issuance of the four hundredth (400<sup>th</sup>) building permit for a residential dwelling unit in Qualified Park Area 3.

6. Public's Right to Use of Qualified Parks. Master Developer agrees that the Qualified Parks will be available for use by the general public on a non-discriminatory basis. Master Developer shall ensure that a land use restriction creating nondiscriminatory access and use rights for the public to and over such Qualified Park is recorded against the park parcel in the Official Records of Clark County, and shall provide a verified copy thereof (with the recording information set forth thereon) to the City. In the event of any failure to record such restriction, the Master HOA shall record such restriction and provide such copy to the City upon receiving such Qualified Park from Developer. Each Qualified Park shall be conveyed by Master Developer to the Master HOA within sixty (60) days of final

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completion and accepted as a "Park" to be maintained by the Master HOA pursuant to a declaration that meets the requirements of NRS Chapter 116.

7. Maintenance Obligations. The Master HOA will assume and accept the Master HOA's duty pursuant to the Declaration to maintain the Qualified Parks (now also known as the "HOA Parks"), except for the City of Las Vegas Park, which shall be maintained by the City, within thirty (30) days of completion. The Master HOA shall maintain the HOA Parks it has accepted in good condition and repair in compliance with the Declaration except as otherwise set forth herein. This Parks Agreement, along with the Maintenance Plan attached hereto as Exhibit F takes the place of and satisfies the requirements of the maintenance plan with the Master HOA required by the City with respect to the HOA Parks pursuant to NRS 278.4789.
8. Rules and Regulations. The Master HOA shall have the right to establish rules and regulations for use of the HOA Parks that it has accepted. However, all rules and regulations must apply equally to members of the Master HOA and the public. The rules and regulations cannot discriminate against members of the public in favor of members of the Master HOA. The Parties acknowledge and agree that portions of certain HOA Parks may be reserved for the private use of Members of the Master HOA and guests of the Master HOA.
9. Amendment of the Declaration. Neither Master Developer nor the Master HOA shall (i) amend any provision of the Declaration affecting the HOA Parks in a manner that violates any term or provision of this Parks Agreement, without obtaining the prior written consent of the City, or (ii) take any action pursuant to any provision of the Declaration or otherwise to change an active recreational area or facility to a use or character that does not permit active recreational use.
10. Damage and Restoration. In the event of damage to or destruction of the HOA Parks, the Master HOA shall, as soon as reasonably possible, restore and reconstruct the damaged or destroyed areas to at least as good a condition as they were in immediately prior to such damage or destruction. Likewise, in the event of damage to or destruction of the City of Las Vegas Park, per City policy the City shall, as soon as reasonably possible, restore and reconstruct the damaged or destroyed areas to at least as good a condition as they were immediately prior to such damage or destruction. All work shall be performed in a good and workmanlike manner and shall conform to all applicable governmental requirements, the Declaration and this Parks Agreement.
11. Construction of Qualified Parks. Master Developer shall, at Master Developer's expense, obtain all necessary permits and licenses for the construction and installation of the improvements in the Qualified Parks, give all necessary notices and pay all fees and taxes required by law.
12. City of Las Vegas Park ("City Park"). Master Developer agrees to contribute a maximum of twenty million dollars (\$20,000,000.00) ("Contribution Payment") to the design and construction of a City of Las Vegas Park to be constructed in the area identified in Exhibit D. This maximum Contribution Payment includes all related infrastructure to support the construction of the City Park. The conceptual design for the City Park and its location are located at Exhibit D.
  - A) The City will nominate the City Park for funding in each available application round for funding through the Southern Nevada Public Land Management Act of 1998 ("SNPLMA"). If the City Park is approved for funding through the SNPLMA prior to the issuance of the two thousand five hundredth (2,500<sup>th</sup>) residential building permit for the Skye Summit development:
    - a. The City will use the SNPLMA funds to design and construct the City Park in accordance with the conceptual design and location identified in Exhibit D.
    - b. Once the City receives a "Special Account Funds Notice" from the SNPLMA Division, the City shall act diligently to meet all requirements set forth in the SNPLMA Implementation Agreement – Part One – dated November 2018 (or any amendments thereto), to receive an executed

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financial instrument so project work may commence within one year of the Special Account Funds Notice.

- c. If the City constructs the City Park with SNPLMA funds, Master Developer will contribute the twenty million dollar (\$20,000,000.00) Contribution Payment, less any and all expenses incurred in the design and construction of the City Park, to the City after completion of construction of the City Park. This Contribution Payment shall be used by the City for the development of new parks or enhancement of existing parks located within Ward 4.
  - B) Alternatively, if the City does not obtain funds through SNPLMA prior to the issuance of the two thousand five hundredth (2,500<sup>th</sup>) residential building permit, then Master Developer will design and construct the City Park on 20.69 gross acres of land on a portion of APN 126-26-301-001. Master Developer shall commence construction of the City Park in conformance with the approved construction drawings, Table 2.2.2 of the approved DS/DG prepared for the City Park, and the City of Las Vegas Design Standards for Parks, Trails, Buildings, and Parking Facilities (Exhibit E) prior to the issuance of the two thousand eight hundredth (2,800<sup>th</sup>) residential building permit for the Skye Summit development. The City shall, at City expense, review construction drawings for the City of Las Vegas Park for code compliance and update as necessary. The design drawings shall then be approved by the City. The City shall complete this code compliance and approval process no later than one hundred twenty (120) days prior to the Master Developer's commencement of construction. Master Developer will complete construction within twenty-four (24) months of commencement of the City Park. In no event will the cost of construction of the City Park exceed the Contribution Payment of 20 million dollars (\$20,000,000.00) plus any interest earned pursuant this Section 12. The City Park will use park signage approved by the City of Las Vegas Park Standards. The Master Developer shall provide a 1 year warranty on all plant material and on irrigation systems downstream from the backflow preventer in the City Park.
  - C) The City shall obtain the land for the City Park from the Bureau of Land Management prior to construction. The City will commence maintenance of the City Park within thirty (30) days of completion of construction and acceptance by City. The City shall maintain the City Park to similar maintenance standards that the City establishes for all parks.
13. Waiver of Residential Construction Tax. In consideration of Master Developer's agreement to construct all of the Qualified Parks identified in this Parks Agreement and to make the Park Contribution Payment, City hereby waives the residential construction tax for all the residences constructed in Skye Summit up to the maximum number of residential units permitted by the Development Agreement and further waives the requirement for security for the estimated cost of construction.
14. Use of Flood Control Facilities. City will allow Master Developer to construct open space, parks, trails and other recreational amenities within drainage corridors, drainage channels, and flood plains (for purposes of this Section only these terms may otherwise be defined as "Flood Facilities") so long as the Flood Facilities meet the minimum design and construction standards of City and the Clark County Regional Flood Control District. Master Developer shall be responsible for the replacement and/or repair of the open space, parks, trails and other recreation amenities within such Flood Facilities, if and when damaged or destroyed by water until such time as Master Developer shall convey the facilities to the Master HOA. This provision shall survive any termination or expiration of this Parks Agreement.
15. Enforcement and Remedies.
- A) General. If any Party defaults in the performance of any obligation under this Parks Agreement, and if such default remains uncured thirty (30) days after written notice from the other Party ("Nondefaulting Party"), stating with particularity the nature and extent of such default, then Nondefaulting Party shall have the right to (i) perform such obligation on behalf of such defaulting Party and (ii) be reimbursed by such defaulting Party, within ten (10) days of written demand, for the cost thereof the failure of the Nondefaulting Party to insist, in any one or more cases, upon

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the strict performance of any provision of this Parks Agreement shall not be construed as a waiver of the future breach of such provision or any other provision of this Parks Agreement.

- B) Withholding of Residential Permits. If Master Developer fails to cure any default of its obligations described in Section 5, the City Council may, after a hearing, withhold the issuance of residential dwelling unit permits within Skye Summit. City shall provide Master Developer written notice at least fifteen (15) days prior to such hearing.
- C) Remedies Cumulative. Each Party to this Parks Agreement may prosecute any proceeding at law or in equity against any person or entity violating or attempting to violate any of the covenants or provisions contained herein to prevent such person or entity from so doing and to recover damages for any such violation. All remedies provided in this Parks Agreement are cumulative. Therefore, notwithstanding the exercise by a Party of any remedy hereunder, such Party shall have recourse to all other remedies as may be available at law or in equity.

16. Miscellaneous.

- A) Assignment. Master Developer may assign all of its rights and obligations under this Parks Agreement in conjunction with assignment to a successor Master Developer contemplated under Section 11 of the Development Agreement. Posting of a performance bond by a successor Master Developer shall not be required by the City so long as successor Master Developer assumes all Master Developer obligations in the Development Agreement, including the obligations in this Parks Agreement. If Master Developer (or successor Master Developer) desires to assign all or part of its rights and obligations under this Parks Agreement to anyone other than a successor Master Developer (or new successor Master Developer), the Parks Agreement Assignee shall assume the assigned rights and obligations, and the City shall not unreasonably withhold approval of such assignment. However, prior to the City's approval of such assignment to a Parks Agreement Assignee, Parks Agreement Assignee's performance shall be secured by a performance bond in the amount and form, and from a surety, agreed to by the City. The performance bond shall name the City and Master HOA as joint Obligees until such time that all outstanding obligations assumed by the Parks Agreement Assignee are complete and the parks are conveyed to the Master HOA. The Master HOA may not assign any of its rights or obligations under this Parks Agreement without prior written approval from the City, which shall not be unreasonably withheld.
- B) Notices. All notices required or permitted under this Agreement shall be given in writing and shall be deemed effectively given (a) upon personal delivery to the party to be notified, (b) three (3) days after deposit with the United States Post Office, by registered or certified mail, postage prepaid and addressed to the party to be notified at the address for such party, (c) one (1) day after deposit with a nationally recognized air courier service such as FedEx; or (d) an electronic record sent by e-mail pursuant to NRS 719.240. Either party hereto may change its address by giving ten (10) days advance notice to the other party as provided herein. Phone and fax numbers, if listed, are for information only.
- C) Interpretation. The captions of the various provisions of this Parks Agreement are for convenience and identification only and shall not be deemed to limit or define the contents thereof. This Parks Agreement shall be construed in accordance with the laws of the State of Nevada. This Parks Agreement supersedes all prior written or verbal representations or declarations of the Parties with respect to the subject matter hereof. If any clause, sentence, or other portion of this Parks Agreement shall become illegal, null or void for any reason, or shall be held by any court of competent jurisdiction to be so, the remaining portions thereof shall remain in full force and effect.
- D) Binding Effect; Covenants Running With Land. By acceptance of a deed, lease or document of conveyance, or acquiring any ownership or leasehold interest in any of the real property constituting a Qualified Park, each person binds such person and such person's heirs

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personal representatives, successors, transferees and assigns to all of the provisions, restrictions, covenants, conditions, rules and regulations now or hereafter imposed by this Parks Agreement and any amendment hereto. In addition, each such person by so doing hereby acknowledges that this Parks Agreement sets forth a general scheme for the improvement and development of the real property covered hereby and evidences such person's intent that all the provisions contained in this Parks Agreement, as amended, shall run with the land and be binding on all subsequent and future owners, lessees, grantees, purchasers, assignees and transferees of property subject to this Parks Agreement. Each such person fully understands and acknowledges that this Parks Agreement shall be mutually beneficial and enforceable as provided herein by the various subsequent and future Owners, as well as by the parties hereto.

E) Recordation. This Parks Agreement shall be recorded in the Official Records of Clark County, Nevada, and shall be effective upon such recordation.

- a. Duration and Amendment. This Parks Agreement shall continue in full force unless a Declaration of Termination satisfying the requirements of an amendment to this Parks Agreement is recorded. This Parks Agreement may be amended at any time by recording an amendment executed by Master Developer, the City, and the Master HOA.
- b. No Third Party Beneficiaries. This Parks Agreement is intended for the exclusive benefit of the Parties hereto and their respective permitted assigns and the general public and is not intended and shall not be construed as conferring any benefit or right on any third parties, including any Designated Builders within Skye Summit.
- c. Counterparts. This Parks Agreement may be executed at different times and in multiple counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. Any signature page of this Parks Agreement may be detached from any counterpart without impairing the legal effect to any signatures thereon, and may be attached to another counterpart, identical in form thereto, but having attached to it one or more additional signature pages. Delivery of a counterpart by facsimile or portable document format (pdf) through electronic mail transmission shall be as binding an execution and delivery of this Parks Agreement by such Party as if the Party had delivered an actual physical original of this Parks Agreement with an ink signature from such Party. Any Party delivering by facsimile or electronic mail transmission shall promptly thereafter deliver an executed counterpart original hereof to the other Party.

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SIGNATURE PAGE TO THE SKYE SUMMIT PARKS AGREEMENT

Canyon Walk, L.L.C.

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF NEVADA    }  
                                  } ss.  
COUNTY OF CLARK    }

On the \_\_\_\_ day of \_\_\_\_\_, 2024, before me, the undersigned, personally appeared \_\_\_\_\_ personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument to be the person, or the entity upon which the person acted, executed the instrument.

WITNESS my hand and official seal.

\_\_\_\_\_  
Notary Public in and for said State

24-0432  
09/24/2024

# SIGNATURE PAGE TO THE SKYE SUMMIT PARKS AGREEMENT

CITY OF LAS VEGAS, NEVADA

Carolyn G. Goodman, Mayor

ATTEST:

Dr. LuAnn Holmes, MMC, City Clerk

Approved as to Form:

John S. Kridilla 9/24/24

John S. Ridilla, Assistant City Attorney



STATE OF NEVADA )

) SS.

COUNTY OF CLARK )

On the \_\_\_\_ day of \_\_\_\_\_, 2024, before me, the undersigned, personally appeared Carolyn G. Goodman as the Mayor of the city of Las Vegas personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in her authorized capacity, and that by her signature on the instrument to be the person, or the entity upon which the person acted, executed the instrument.

WITNESS my hand and official seal.

Notary Public in and for said State

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09/24/2024

## EXHIBITS

<u>Exhibit A</u>	Property Description
<u>Exhibit B</u>	Trails and Parks Exhibit
<u>Exhibit C</u>	Park Trigger Exhibit
<u>Exhibit D</u>	City of Las Vegas Park Conceptual Design
<u>Exhibit E</u>	City Design Standards for Parks, Trails, Building, and Parking Facilities
<u>Exhibit F</u>	Maintenance Plan

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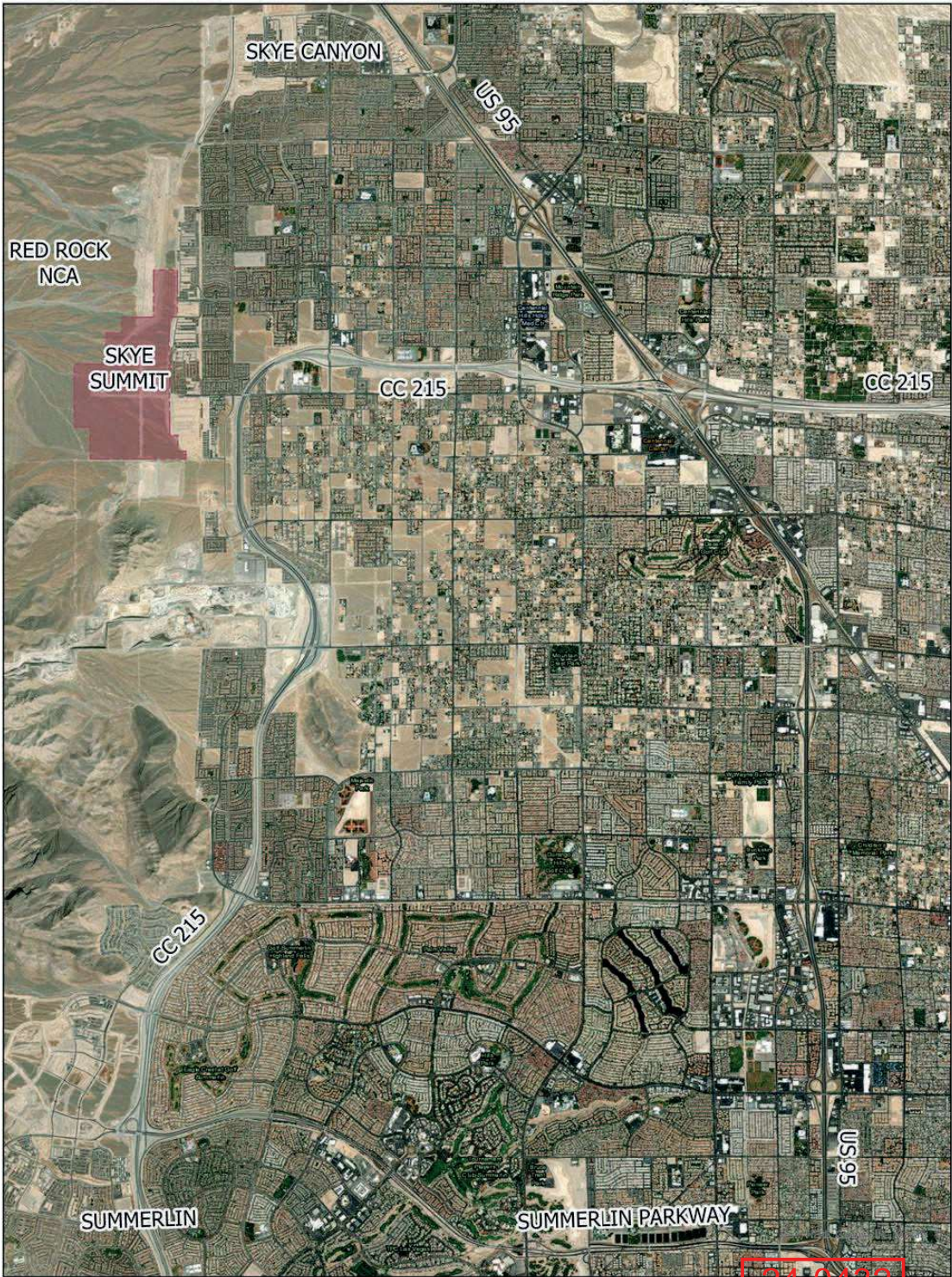
Exhibit “A”

Property Description / Project and  
Vicinity Map

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## VICINITY MAP



24-0432  
09/24/2024



A scale bar with markings at 0, 0.5, 1, and 2 miles.



## PROPERTY DESCRIPTION

APN: 126-26-101-003 and a portion of the existing right-of-way 126-23-699-002

### Legal Description

BEING THE WEST HALF (W<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE EAST HALF (E<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTH HALF (S<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) IF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) TOGETHER WITH THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) TOGETHER WITH THE SOUTH HALF (S<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

ALSO BEING THE WEST HALF (W<sub>1/2</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE WEST HALF (W<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHEAST QUARTER (NE<sub>1/4</sub>) TOGETHER WITH THE NORTH HALF (N<sub>1/2</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) TOGETHER WITH THE EAST HALF (E<sub>1/2</sub>) OF THE SOUTHWEST QUARTER (SW<sub>1/4</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) TOGETHER WITH THE SOUTHEAST QUARTER (SE<sub>1/4</sub>) OF THE NORTHWEST QUARTER (NW<sub>1/4</sub>) OF SECTION 26, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

CONTAINING 514.86 ACRES, MORE OR LESS.

AND A PORTION OF SHEEP MOUNTAIN PARKWY DEDICATED PER BOOK 162, PAGE 55 OF PLATS, LYING WITHIN THE NORTHEAST QUARTER (NE<sub>1/4</sub>) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

CONTAINING 5,975 SQUARE FEET, MORE OR LESS. (SEE ATTACHED EXHIBIT "A-1")

24-0432

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**WALLACE MORRIS KLINE SURVEYING, LLC**  
**Land Survey Consulting**

**APN: 126-23-699-002**

**EXHIBIT "A-1"**

**EXPLANATION:** THIS DESCRIPTION REPRESENTS A PARCEL OF LAND FOR A DEVELOPMENT AGREEMENT IN SUPPORT OF THE "BLM 500" PROJECT.

**DESCRIPTION**

THAT PORTION OF SHEEP MOUNTAIN PARKWAY DEDICATED PER BOOK 162, PAGE 55 OF PLATS, LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

**COMMENCING** AT THE NORTHWEST CORNER OF PARCEL "C2" AS SHOWN ON SAID PLAT;

THENCE ALONG THE NORTHERLY LINE OF SAID SHEEP MOUNTAIN PARKWAY LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SAID SECTION 23, SOUTH 89°35'43" WEST, 205.71 FEET TO THE **POINT OF BEGINNING**;

THENCE DEPARTING SAID NORTHERLY LINE, FROM A POINT TO WHICH A RADIAL LINE BEARS SOUTH 79°28'19" EAST, CURVING TO THE RIGHT ALONG AN ARC HAVING A RADIUS OF 2,900.00 FEET, CONCAVE WESTERLY, THROUGH A CENTRAL ANGLE OF 01°26'55", AN ARC LENGTH OF 73.32 FEET;

THENCE SOUTH 11°58'36" WEST, 175.19 FEET TO A POINT ON THE WESTERLY LINE OF SAID SHEEP MOUNTAIN PARKWAY LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SAID SECTION 23;

THENCE ALONG SAID WESTERLY LINE, NORTH 00°31'31" EAST, 242.95 FEET TO THE NORTHWEST CORNER OF SAID SHEEP MOUNTAIN PARKWAY LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SAID SECTION 23;

THENCE ALONG AFOREMENTIONED NORTHERLY LINE, NORTH 89°35'43" EAST, 48.43 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 5,975 SQUARE FEET, MORE OR LESS.

**BASIS OF BEARINGS**

GRID NORTH AS DEFINED BY THE CENTRAL MERIDIAN OF THE NEVADA COORDINATE REFERENCE SYSTEM (NCRS), LAS VEGAS AND LAS VEGAS HIGH ELEVATION ZONES NORTH AMERICAN DATUM OF 1983; SAID MERIDIAN BEING COINCIDENT WITH 114°58' WEST OF THE GREENWICH MERIDIAN.

ZONE: LAS VEGAS ZONE

DATUM (REFERENCE FRAME): NAD 1983(2011) EPOCH 2010.00

SYSTEM: NEVADA COORDINATE REFERENCE SYSTEM (NCRS)

PROJECTION: TRAVERSE MERCATOR

STANDARD PARALLEL (AND LATITUDE OF GRID ORIGIN): 36°15'00"N

LONGITUDE OF CENTRAL MERIDIAN: 114°58'00"W

NORTHING AT GRID ORIGIN: 200,000.00 M (656,166.6667 FEET US)

EASTING AT CENTRAL MERIDIAN: 100,000.00 M (328,083.3333 FEET US)

SCALE FACTOR ON CENTRAL MERIDIAN: 1.0001 (EXACT)

**NOTES:**

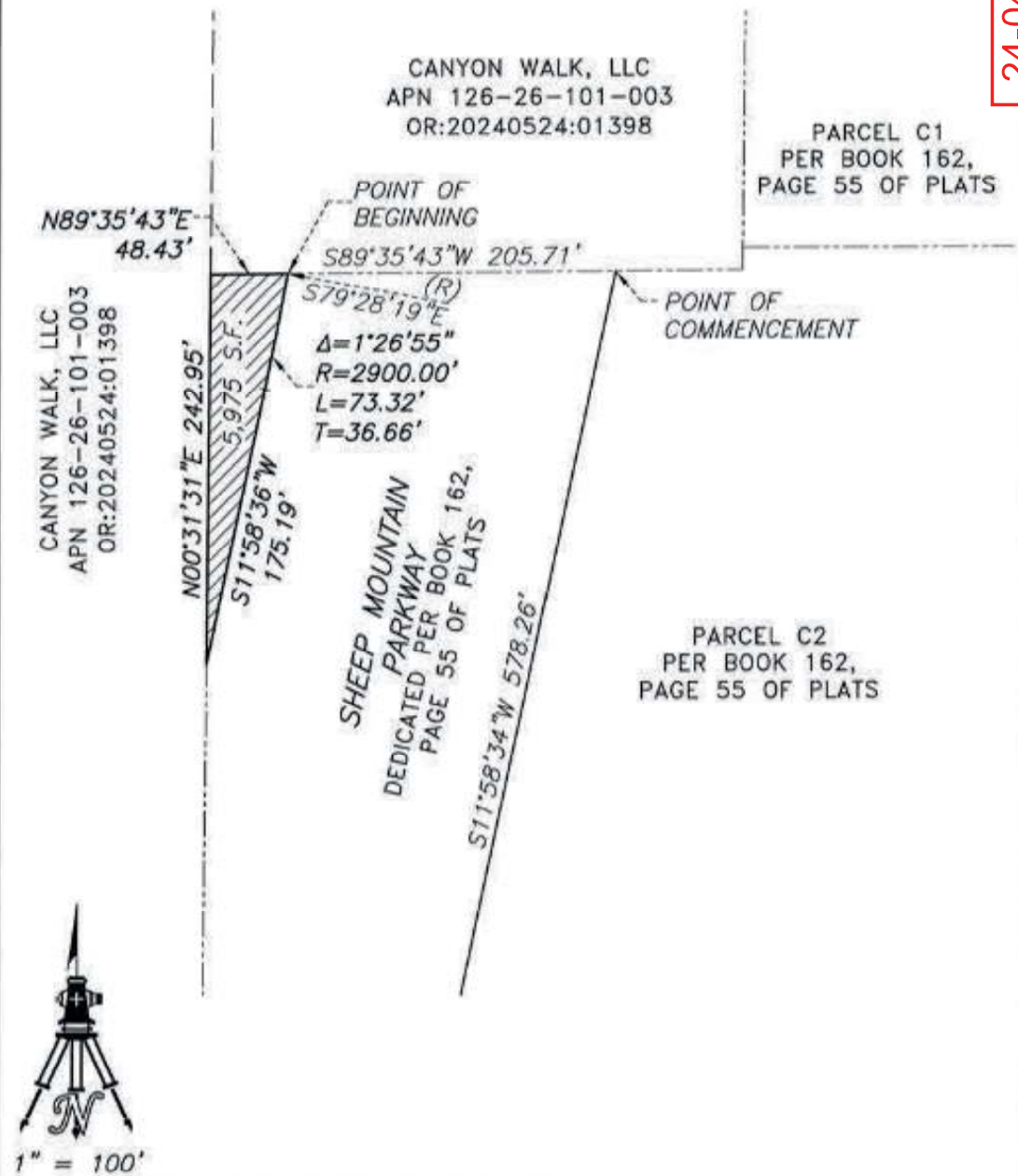
- 1) ALL DISTANCES AND BEARINGS SHOWN HEREON ARE PROJECTED (GRID) VALUES BASED ON THE PRECEDING PROJECTION DEFINITION.
- 2) GRID BEARINGS SHOWN HEREON (OR IMPLIED BY GRID COORDINATES) DO NOT EQUAL GEODETIC BEARING DUE TO MERIDIAN CONVERGENCE.

CRAIG K. MATSUEDA, PLS  
NEVADA LICENSE NO. 17022



APN:126-23-699-002

24-0432  
09/24/2024



P:\OLY\23193\DWG\EXHIBITS\23193-DEV\_AGR 01.DWG

WALLACE MORRIS KLINE SURVEYING, LLC. LAND SURVEY CONSULTING	EXHIBIT "A-2" LYING WITHIN THE NORTHEAST QUARTER (NE1/4) OF SECTION 23, T. 19 S., R. 59 S., M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.
6525 W. WARM SPRINGS RD. #100, LAS VEGAS, NV 89118	PAGE 1 OF 1

# Exhibit “B”

## Trails and Park Exhibit

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This area is designated for potential future development as part of the City's long-term planned growth. The City's Master Plan for the area can only be incorporated into the State's Summit Master Plan if City of Las Vegas, Department of Public Works approval of Alternative Assessments for the Kyle Canyon Detention Basin to address the area required for detention basin expansion as identified in the 2023 CORDO Master Plan Update and Vacation of the portion of the existing BLM drainage gant surrounding the Detention Basin that would not be required for the expansion (Area #1), the remaining area (Area #2) can be incorporated into the State's Summit Master Plan upon approval of a Technical Drainage Study for the Kyle Canyon Detention Basin and Vacation of that portion of the existing BLM drainage gant surrounding the Detention Basin that would not be required for the expansion. No Detention Basin vegetation.



DATE: August 13, 2024  
SCALE: 1"=300'  
PROJECT #: OLY2306-000

Phone (702) 264-5300 5725 W. Badura Ave. STE. 100  
Toll Free (888) 937-5150 Las Vegas, NV 89118  
[westwoodps.com](http://westwoodps.com)  
Westwood Professional Seelies, Inc.

**Westwood**

# Exhibit “C”

## Park Trigger Exhibit

24-0432  
09/24/2024

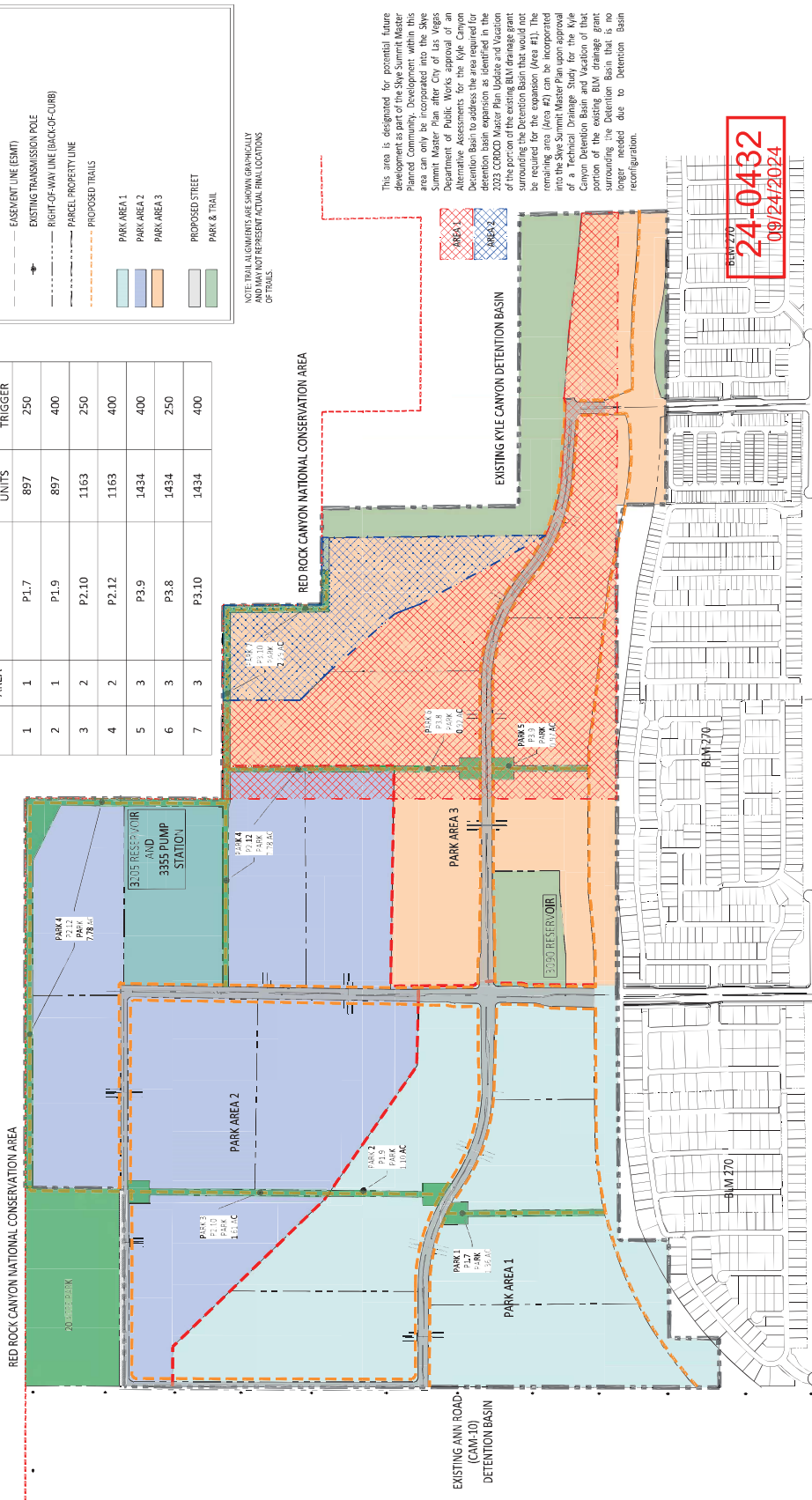
SKYE SUMMIT  
LAS VEGAS, NV

**LEGEND**

- PROJECT BOUNDARY
- EASEMENT LINE (ESMT)
- EXISTING TRANSMISSION POLE
- RIGHT-OF-WAY LINE (BACK-OF-CURB)
- PARCEL PROPERTY LINE
- PROPOSED TRAILS
- PARK AREA 1
- PARK AREA 2
- PARK AREA 3
- PROPOSED STREET
- PARK & TRAIL

NOTE: TRAIL ALIGNMENTS ARE SHOWN GRAPHICALLY AND MAY NOT REPRESENT ACTUAL FINAL LOCATIONS OF TRAILS.

PARK AREAS				
PARK AREA	PARK PARCELS	PROBABLE DWELLING UNITS	PARK CONSTRUCTION TRIGGER	
1	1	897	250	
2	1	897	400	
3	2	1163	250	
4	2	1163	400	
5	3	1434	400	
6	3	1434	250	
7	3	1434	400	



# Exhibit “D”

## Conceptual Park Plans

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20 ACRE PARK

# MASTER PLAN





Exhibit “E”

City Design Standards for Parks, Trails,  
Building, and Parking Facilities

## DESIGN STANDARDS

### Division 32 – Exterior Improvements

#### 32 40 20 Park Design

Park Amenities. Park amenities vary with the size of the park, its location, and the current & future needs of the area. The [City of Las Vegas goals](#) for amenities in various size categories is provided as a guideline for what may be required in a park of a particular size.

Every park should normally include at least the following amenities:

- A 10 foot (8 to 12 feet as directed by city project manager) wide concrete loop walk connecting all major elements within the park (for pedestrian circulation, maintenance vehicles, Marshal vehicles, emergency vehicles), see Section 03 00 00 Concrete.
- A 5K (3.1 mile) running trail within the park that does not cross vehicle paths.
- Shaded totlot (both age groups).
- Drinking fountain

Athletic Field Turf. Unless directed by the city project manager otherwise, new rectangular fields will be synthetic turf (soccer, lacrosse, football), and new baseball/softball fields will be natural grass except turf baseball infields will be synthetic turf.

Safety Zone around rectangular fields. Provide a minimum of 10 feet wide up to 20 feet wide safety zone of turf from the playing field out of bounds line to the nearest concrete. The nearest concrete is going to be the concrete mow curb around natural grass and the concrete edge curb of synthetic turf, as well as the ADA concrete walkway access path and spectator concrete flatwork areas.

Reference Sections 32 18 13 Synthetic Grass Surfacing and 32 90 00 Planting for additional information.

Adjacent Residential Properties. Walking paths or other hard surfaces or activity areas should not provide views into residential properties, and be a minimum of 30 feet from any residential property line (50 feet where acreage permits). Where drainage patterns allow the grades to be lowered as necessary, the existing residential walls shall be used to provide all the necessary screening. Provide a site and grading design which does not require touching the existing off-property walls including existing adjacent grades, wall surface treatments, nor increasing height.

Artwork. Do consider the possibility for artwork locations, either on surfaces that are already a part of the design or possible locations for freestanding art, within the design. Such artwork must be at little or no additional cost to the City budget, with additional funding and coordination provided by the Arts Commission or others.

Color Scheme. Do propose a unified color scheme for the project including play equipment, resilient surfaces, light poles, gates, walls, restrooms, shade structures, handrails, bollards, tables, benches, trash receptacles, etc. Refer to Section 09 90 00 – Painting for a list of standard colors used by the City of Las Vegas for graffiti cleanup.

Restrooms. Use the Owner's standard prototype design for restrooms, concessions and storage. Sealed drawings and specifications of the building will normally be provided by the City for insertion into the bid set. See Section 22 00 00 Design Information – Plumbing for the water pressure booster pump issue.

Provide an option in the restroom specifications to allow the restroom building to be factory constructed by a State licensed manufacturer who has been pre-approved by the City. The Contractor has the option to have the restroom building factory constructed by a State licensed modular commercial building manufacturer. The factory built option must provide exactly the same appearance, structure and materials.

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## DESIGN STANDARDS

### Division 32 – Exterior Improvements

as the site built option, except as may be specifically allowed by the City at its sole discretion. The manufacturer must be prepared to proceed with no such exceptions being granted except that the floor slab may be revised to support the manufacturing and delivery process. Fully engineered sealed drawings and specifications by a Nevada registered professional must be reviewed and found acceptable to the City prior to their submission to the State for permit. Engineering drawings and specification to include foundation design based on this project geotechnical recommendations to revise the City of Las Vegas Building permit to site the modular building. This will be a deferred submittal to Building and Safety and the supplier will be required to be responsible to submit to Building and Safety the delayed submittal. Alternate construction methods and materials such as constructing the walls and roof of poured concrete will not be considered.

The Manufacturer must:

1. Be properly certified and licensed by the State of Nevada Manufactured Housing Division, Gary Childers Program Manager, as required by NRS 461 and 489 for manufacturing modular commercial buildings.
2. Provide owner positive references from ten previous similar projects, and
3. Receive the City's approval of its plant, quality control, and inspection programs.

Although not pre-approved by the City, one such supplier, no others known, who is reportedly willing to meet these requirements is:

The Public Restroom Company 9390  
Gateway Drive, Reno, NV 89521  
[www.PublicRestroomCompany.com](http://www.PublicRestroomCompany.com)  
888.888.2060

Concessions. If instructed to provide a concession space in a structure, utilize the City's standard design and provide only the improvements and amenities indicated on that design. No grease traps. See the Concession Equipment Building Standards Drawing.

Group Picnic Areas. See Section 13 34 00 Fabricated Engineered Structures for the group picnic area requirements.

Table Washing Hose Bibb. Picnic areas are pressure washed by city staff using a power washer on a trailer. Provide an above grade hose bibb(s) of potable water (not irrigation water) for refilling the washer tank in an accessible location(s) in the park. Provide vandal resistant tee key, anti-siphon, hose bibb spigots with a threaded nipple for easy replacement. Provide a stop and waste valve below grade in a valve box leading to the bibb, with drain rock in the bottom of the box. See [detail](#) for freestanding bibb or locate in the restroom plumbing chase.

Drainage. Design the site drainage so that all flows divert around any courts, skateparks, play equipment areas, and similar sporting/play improvements.

Climbing Structures. Avoid designs of trellises, entry and shade structures that can be easily climbed by children. They tend to see them as extensions of the play equipment.

Sidewalks. Reference Section 03 00 00 Design Information – Concrete for specific requirements.

Drainage Basins. Note that there are numerous requirements from the Regional Flood Control District of Clark County and the City regarding uses and signage/warnings when utilizing the area in drainage basins for parks or other uses. Reference required sign titled Multi-use Facility.

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## DESIGN STANDARDS

### Division 32 – Exterior Improvements

Pump Enclosures. For parks less than 20 acres, the use of secure walled or fenced equipment enclosures is to be discouraged in favor of individual pad mounted equipment with locking covers dispersed throughout the site. This dispersion of pad-mounted equipment includes the irrigation booster pumps, the irrigation controllers (unless located in the restroom chase), electrical switchgear and panels, and backflow prevention devices. See Section 26 00 00 Electrical for more information.

When needed due to the concentrated location of pump equipment in large parks, pump enclosures and similar exterior secure enclosure areas are constructed of a CMU wall with an opaque gate per the City standard gate design, and a 6 gauge chain link fence laid horizontal as a security roof, height as necessary to meet code for clearance in front of electrical panels. These enclosures shall not be located at the "front door" of the park, and should be integrated into the design so as to be invisible. Reference the Utility Enclosure Gate drawings included in this section of the Design Standards.

Dog Waste Bag Dispensers. Provide at each pedestrian entrance into the park, at each parking lot entry point into the park, and throughout the walking trails within the park. Reference Section 12 93 00 Site Furnishings for additional information.

Signage. The following is a list of the general signs required in park projects and the locations / quantity of each type of sign to be installed

Note: Reference Signage Section 10 14 00 for additional information in regard to signage specifications, mounting requirements, and mounting heights. Reference additional Design Standards sections for additional signs relating to specific activities.

- Park Hours Custom Hours: Coordinate with Project Manager whether the park will have nonstandard hours of operation. If the park does have non-standard operating hours provide the sign drawing showing attachment to the Park Rules sign.
- Park Rules: One sign located at each main pedestrian entrance and one sign located at each vehicular entrance.
- Report Vandalism: One sign located at the main entrances to areas that may attract vandalism such as playground equipment areas, skate parks and group shelters. Avoid mounting signs to posts of shade or picnic structures.
- Dog Bag Dispensers: One sign mounted on post above dog waste bag dispenser. Coordinate with Dog waste bag dispenser design requirements in Site Furnishings Section 12 93 00 (Dog Station).
- Multi-Use Facility (Detention Basin): One sign at each entrance to detention basins. Note: reference Drainage Basins paragraph in this section for additional signage requirements.
- No wheeled Toys: Signs are required to be installed at entry points to resilient surface tracks.
- Children's Park (Designated): One sign located above park rules sign. Reference park rules sign for locations. Note: This sign to be used only if council appropriates the park specifically for children.
- Winter Irrigation: One sign located at each main pedestrian entrance and vehicular entrance.

Also install signs around the perimeter of turf areas at a maximum spacing of 100 lineal ft. between signs or as deemed necessary. Mount on post with other signs and if necessary on light poles.

Note: Winter Irrigation sign only to be included in the construction documents if the park is scheduled to be completed between the months of November and February.

- Walk Loop/Amenity: When a park has a walk loop, provide sign(s) at main parking lot(s). Sign size to be determined by park layout (see examples of a 100 acre park, Centennial Hills, and a 7 acre park, Bob Baskin). Sign blank to be sized in 6" increments, as required. Text to be 3/8" bold Arial.

Outdoor Stages/Show-Mobile Staging. Any park of 3 acres or more requires a staging area for the City's Show-Mobile, unless directed otherwise by City Project Manager. Provide a continuous, drivable concrete path, 10' wide that requires no backing and turning radii suitable for tractor trailer use. See Standard 26 56 00 Exterior Lighting and Electrical for power requirements.

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# Exhibit “F”

## Maintenance Plan

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09/24/2024



MAINTENANCE PLAN FOR ALL PRIVATELY MAINTAINED PARKS,  
FACILITIES AND OTHER COMMON AREAS

1. The Plan for Maintenance of Public and Common Areas (the “Plan”) must be approved by the City and must contain provisions that outline the proposed standards and level of maintenance and/or frequency of maintenance to be provided with respect to:
  - a. Common area landscaping and sidewalks;
  - b. Parks, trails, paseos, open spaces, and other recreational areas and the related Required Facilities described in the Park Agreement;
  - c. Temporary and/or interim drainage facilities including riprap lined channels and natural arroyos as determined by the approved Master Drainage Study, but excluding all temporary detention basins identified in the Master Drainage Study;
  - d. All landscaping and landscaping appurtenances located within the City’s dedicated public right-of-way.
2. The Plan will include provisions for maintenance of common area lighting and for walls and fences located within common areas, but excluding any walls or fences located on an individual unit or lot.
3. The Plan will include provisions for periodic inspection, maintenance and repair of the improvements in such a manner and with such frequencies so as to maintain the improvements to prevent deterioration, to avoid unsightliness, and maintain the aesthetic appearance, the function, the safety and look of the improvements as originally intended. Any significant deviation from the standards may be implemented only after consultation with and the approval of the City. The required levels of maintenance and repair shall be defined for the following components, including, without limitation:
  - a. Requirements for maintenance of all the following items in a healthy, safe, and aesthetically appropriate condition:
    - i. Non-Sports Field Turf (All allowable types)
    - ii. Sports Field Turf (All allowable types)
    - iii. Landscape and planting components, trees, shrubs, groundcover, etc. (All allowable types)
    - iv. Color plantings (All allowable types)
  - b. Requirements for maintenance of all the following items in an operable, healthy, safe, and aesthetically acceptable condition:

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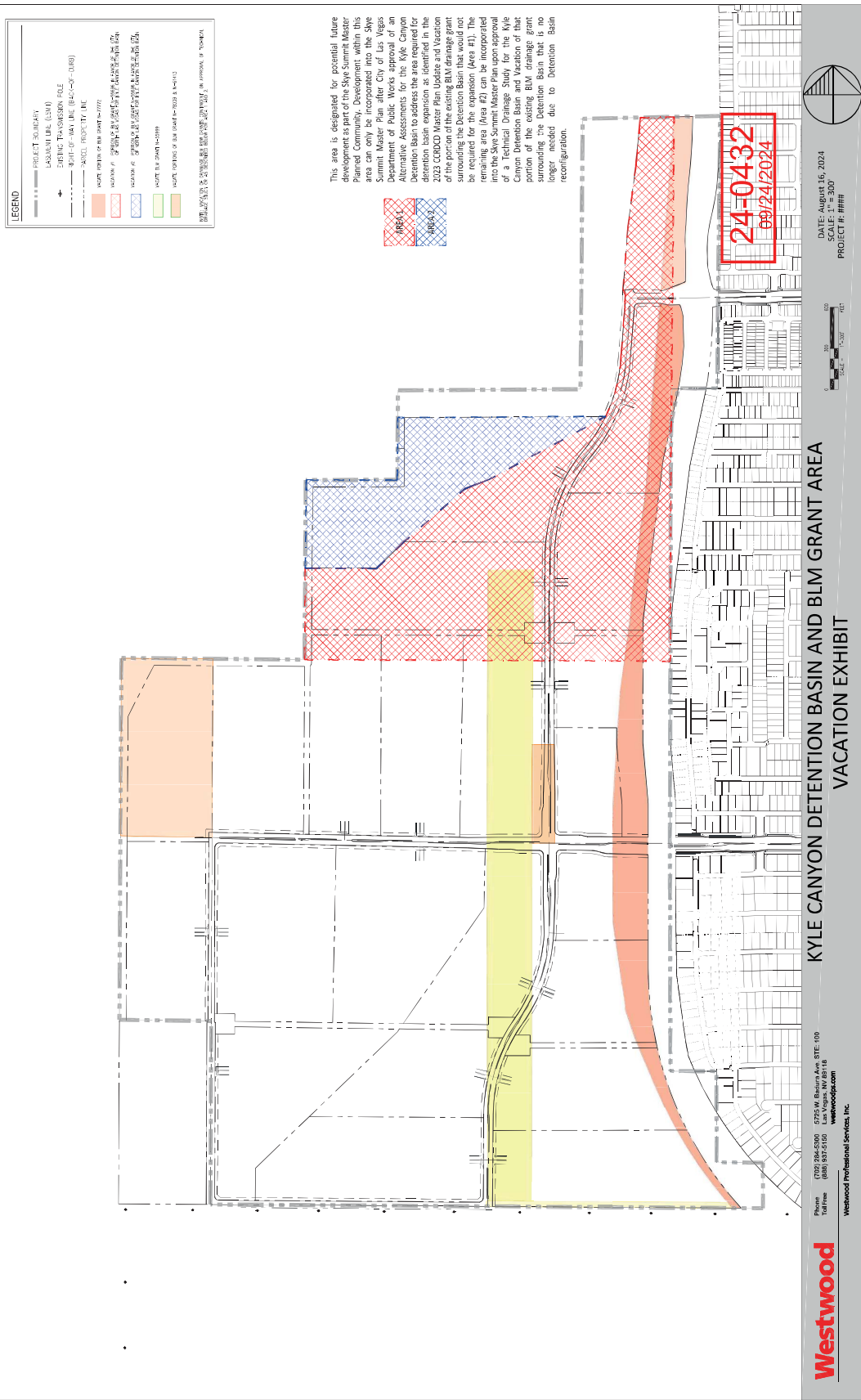
- i. Irrigation and all associated components
  - ii. Playground equipment
  - iii. Exercise or Par-Course equipment
  - iv. Picnic areas, including all appurtenances in the area
  - v. Shade Structures
  - vi. Water features, including all splash pads, fountains, drinking fountains
  - vii. Skate park areas, including all appurtenances
  - viii. Restroom facilities
  - ix. Dog park areas, including all appurtenances
  - x. Lighting (All allowable types)
  - xi. Sports Courts (All allowable types)
  - xii. Walkways, pathways, and roadways, with or without hardscape improvements
  - xiii. Fencing, walls, and gates (All allowable types)
  - xiv. Signage (All allowable types)
  - xv. Amenities, including all benches, trash receptacles, trash dumpsters, and picnic tables
  - xvi. All parking lot or other paved areas
4. The Plan will include a provision that the Plan can be amended by the governing board of the Master Homeowners Association (“HOA”) but only with the written consent of the City.
5. The Plan will include a provision that, in the event the Master HOA fails to maintain any or all of the improvements in accordance with the provisions of the Plan, the City may exercise its rights under the declaration, including the right of the City to make assessments for costs incurred by the City in maintaining the improvements, which assessments shall constitute liens against the Property and individual lots within subdivisions which may be executed upon and which shall have the same priority as liens for real estate taxes.

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Exhibit “L”  
KYLE CANYON  
DETENTION  
BASIN AND  
BLM GRANT  
AREA

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**SKYE SUMMIT**  
**LAS VEGAS, NV**



# Exhibit “M”

## Developer Special Improvement Guidelines



# CITY OF LAS VEGAS

## DEVELOPER SPECIAL IMPROVEMENT DISTRICT GUIDELINES



August, 2007

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## CITY OF LAS VEGAS

### Developer Special Improvement District Guidelines

Chapter 271 of Nevada Revised Statutes (hereinafter NRS), authorizes the City of Las Vegas (hereinafter "City") to construct and/or acquire improve, equip, operate and maintain street, sidewalk, water, sewer, curb, gutter, flood control and other publicly-owned "infrastructure" improvements that benefit new development by the creation of a Special Improvement District (hereinafter "SID") as specified in NRS 271.265.

The purpose of these guidelines is to outline the circumstances under which the City will consider this type of financing for new developments involving one, or a small number of private property owners, who intend to develop their property for residential, commercial, industrial, or other beneficial uses.

Except as provided below, these guidelines apply to all SID's financed under NRS 271.700 through 271.730 and to all other assessment districts which **both** involve 15 or fewer property owners **and** involve properties 85% or more of which are unimproved, and the value of the property to be assessed "as is" (without considering the improvements to be installed or further subdivision), as shown in the records of the County Assessor or by an appraisal acceptable to the City, is less than three times the amount of the proposed assessment. These guidelines do not apply: (a) if 50% or more of the cost of the project proposed to be funded is being funded from a governmental source other than special assessments or the proceeds of special assessment bonds (e.g., Regional Transportation Commission Funding); or (b) if the SID is initiated by the provisional order method on recommendation of the Director of Public Works after consultation with the Department of Finance. These guidelines also do not apply to districts that were initiated by action of the City Council prior to the adoption of these guidelines.

The City Council reserves the right, on a case by case basis, to impose additional requirements or waive any of the specific requirements listed herein. Such waived requirements or additional requirements shall be noted in a resolution or ordinance adopted by the City Council, together with a finding that the deviation from this policy is in the best interest of the City. The City will consider the impact of issuing bonds under these guidelines on its overall tax supported debt ratios and bond ratings.

#### A. Eligible Improvements

1. Regional Improvements. The City will consider financing only regional infrastructure improvements. Regional infrastructure improvements are those streets, storm drains, flood control, water systems, sewer and other utilities, which will provide benefit to the entire project. Such projects are those which the City Council has determined will benefit the general area in which the development is located as opposed to improvements, which exclusively benefit a particular subdivision. Only that portion of the total cost which benefits the SID will be assessed. Thus, an arterial street or highway, or major sewers, storm drains and water lines which provide benefit to the entire project and

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are found to be of general or regional benefit by the City Council, would be considered for financing.

2. Public Ownership Requirements. Only publicly-owned infrastructure is eligible for financing. Privately-owned improvements such as electric, gas, and cable television improvements, streets or roads which are not dedicated to the City, and private portions of other improvements, such as water and sewer service lines from the property lines to the home or other structure are not eligible for financing.

3. Benefit. The improvements proposed to be constructed must benefit the property assessed by an amount at least equal to the amount of the assessment.

4. Subdivision Improvements. The City will not consider financing “subdivision” or “in-tract” improvements, that is, improvements within a subdivision that benefit only the land within a subdivision i.e., such as neighborhood streets.

5. Size. Generally, the City will not consider stand alone assessment districts which involve less than \$3,000,000.

B. Environmental Matters

1. A Phase 1 environmental assessment (hazardous waste assessment) must be conducted, by the owner, for the property to be assessed and prior to any improvements being placed and property to be dedicated to the City. The property owner must also provide the City with an indemnification agreement in a form acceptable by and provided by the City, promising to indemnify the City against any and all liability and/or costs associated with any environmental hazards located on such property. With respect to abating environmental hazards that are located on property on which improvements financed with the SID are proposed to be located on the property to be assessed or on any property dedicated to the City, the City and the property owner will reach an accord before the bonds are issued. Where the Phase 1 environmental assessment indicates that there may be an environmental hazard on any such assessed property, the property owner will be required to completely abate the problem or to post security for environmental clean up costs prior to the City proceeding with the Special Improvement District. The environmental assessment shall be performed by an Environmental Engineer acceptable to the City prior to the creation of the Special Improvement District.

2. The Developer must undertake all steps required by the “Habitat Conservation Plan Compliance Report” or other future federal requirements in the project area and other areas owned by the same Developer which are used in connection with the Project.

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C. Development

1. Property Owner Experience and Financial Information. The property owner must demonstrate to the City that it has the expertise and financial resources to develop the property involved in the Special Improvement District. In order to demonstrate its ability to develop, the property owner should furnish the City with the following: (a) its last three years prior audited financial statements, (b) a list of any other prior development projects of similar or larger size, which the property owner has completed, (c) a list of references consisting of the names, addresses and telephone numbers of officials of other political subdivisions in which the property owner has completed similar or larger sized developments, (d) a description of any financial obligations on which the property owner or related party has defaulted in the past ten years, including any non-recourse or assessment financing on property owned by the property owner or related party with respect to which a payment was not timely made, and (e) evidence that the property owner has the financing to proceed with the development. (This evidence could consist of a commitment letter from a bank or other financial institution or other evidence that the property owner has sufficient resources in its bank accounts and other investments to commence and complete development.) The City will accept, in lieu of the audited financial statements required in (a) above, a comfort letter from a mutually acceptable CPA firm demonstrating for the past three (3) consecutive years: (1) a minimum level of net worth acceptable to the City, has been maintained by the property owner; (2) whether there have been any material adverse changes in the property owner's operations; and (3) whether or not there have been any exceptions in the accountant's opinion letter on the property owner's financial statements. If this alternative is utilized, the property owner shall also provide such other financial information as the City and its consultant's request.

2. Financing Completion: Equity. The property owner must provide the City with its plan for financing the proposed development to completion and advise the City of the amount of equity it has invested in the proposed development. Before bonds are issued, the property owner must provide evidence acceptable to the City of its ability (e.g., a commitment letter from a lending institution) and/or plan to finance the portion of the development expected to be completed in the ensuing 12 months.

3. Land Use. The proposed development must be consistent with the City's General Plan. The property owner must demonstrate that it reasonably expects to obtain the required discretionary development permits (e.g. subdivision) in sufficient time to proceed with the development to completion as proposed. Proper zoning must have been obtained by the property owner for the development.

4. Water, Sewer, and Other Utilities. The property owner must provide "will serve" or similar letters from the entities providing water, sewer and other utility (i.e., electricity, gas, telephone) services to the development stating that capacity is then in existence and reserved, etc. otherwise to be made available, for the development in a sufficient quantity for the development to proceed to completion as proposed.

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5. Other Permits. The property owner must demonstrate that there are no significant permitting requirements which could result in substantial delay or alteration in the project as proposed, e.g., wetlands permits, archeological permits, etc. applicable to the project or other governmental impediments to development which have not yet been satisfied and which are required to be satisfied for the development to proceed to completion as proposed.

D. Assessment Bonds and Bond Security

1. Primary Security. The primary security for bonds will be the assessment lien on the land proposed to be assessed. A preliminary title report indicating that the petitioners are the owners of 100% of the assessed property must accompany the petition. The City may also require ALTA title insurance in an amount equal to the bonds on a case by case basis.

2. Reserve Fund. A reserve fund in an amount equal to the lesser of one year's principal and interest on the bonds or 10% of the proceeds of the bonds must be funded at the time bonds are issued or in an amount to be determined by the City.

3. Appraisal Valuation. The property owner must provide the City with funds with which to have an expert prepare an appraisal. The appraiser will be selected by and contracted with, the City. The property owner must demonstrate to the City that there is no significant financial risk to the City in issuing the bonds. The City will require that an appraisal of the property which will be assessed indicates that the appraised value of the property "as is" (prior to further subdivision and without considering the installation of the improvements) is at least 1.15 times the amount of the bonds proposed to be issued, and that the value of the property after the improvements financed with the assessment bonds are installed is at least three (3) times the amount of the bonds proposed to be issued.

4. Absorption Study. The property owner must provide the City with funds with which to have an expert prepare an absorption study. The City shall select and contract with the expert to prepare the absorption study illustrating the estimated length of time required for the purposed end product (houses, commercial space, etc.) to be absorbed into the marketplace. The absorption study will be based upon supply and demand trends and estimated conditions in the market area for the proposed product mix. Provided, however, that if the appraiser of the real property for the project conducts his or her own absorption analysis, such absorption study may be accepted in lieu of this requirement. The appraiser may be required to provide an opinion on the reasonableness of the absorption analysis if it is included as part of the report.

5. Additional Security. The property owner must demonstrate to the satisfaction of the City, that there is not significant financial risk to the City in issuing the bonds. If the City determines that it is not adequately protected by the security described in section D (1), (2), and (3) above, the City can require additional security as it deems necessary. This additional security may be satisfied in one or a combination of the following ways:

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(a) Providing a source of security that is acceptable to the City Council and the property owner. The determination of the acceptability of the security shall be discussed with the property owner on a case by case basis.

(b) Providing an irrevocable letter of credit drawn on an acceptable bank in a form and an amount and with a term acceptable to the City.

(c) Pledging marketable securities in which form the City is permitted to invest City funds pursuant to NRS Chapters 355 and 356 and which are acceptable to the City, e.g., U.S. Treasury Obligations, and in an amount that is acceptable to the City. The City must obtain the sole first priority security interest in the pledged securities, and those securities must be held by the City or an Agent of the City. Interest paid on the pledged securities, if there is no default in paying the assessment, will be paid to the owner of the securities.

A pro-rata portion of the foregoing “Additional Security” will be released with respect to any parcel assessed: (1) which has been improved in any manner if the appraised value (as determined by an appraiser acceptable to the City) of the parcel is 5.0 or more times the amount of the unpaid assessment on such parcel, (2) on which a substantial improvement (e.g., a home or commercial building) has been completed if the parcel has a size of one acre or less, or (3) to the extent that property is conveyed to one or more third-party property owners, then a proportionate amount of the foregoing additional security shall be released with respect to such conveyed property so long as such conveyed property does not exceed, in the aggregate, thirty percent (30%) of the entire property included within the SID; provided, however, that any individual parcel conveyed to each such third-party property owner shall have a minimum value-to-lien ratio of 3:1.

6. Payment of Assessments; Capitalized Interest. The assessments shall be payable over not more than 30 years in substantially equal semiannual installments (excluding variable rate bonds with regards to equal payments) generally commencing within one year of the levy of assessments. The City will allow not more than two years of interest or the maximum permitted under federal tax laws, whichever is less, to be capitalized.

7. Floating Rate Bonds. The City will consider applications for floating rate assessment bonds only if those bonds and the assessments underlying those bonds automatically convert to a fixed interest rate at or before the time the initial property owner sells property, regardless of whether the sale is a wholesale sale to the merchant builder or a developer or a sale to a potential homeowner. Floating rate bonds must be secured by a letter of credit issued by a bank acceptable to the City.

8. No Pledge of General Fund or Taxing Power. The City will not pledge its general fund, surplus and deficiency fund or taxing power to bonds issued for SID's created pursuant to these guidelines. All statements and materials related to the sale

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of such local improvement bonds shall emphasize and state that neither the faith, credit nor the taxing power of the City of Las Vegas is pledged to the repayment of the bonds, nor is there an obligation of the City to replenish any funds connected thereto from revenue sources other than annual assessments or proceeds from sale or foreclosure proceedings.

9. Bond Underwriting Commitment. The property owner must demonstrate to the City and its financial advisor that bonds proposed to be issued for the financing are saleable. Prior to the time the City commences work on the SID, the property owner must provide the City with a letter from a reputable underwriter or bond buyer, acceptable to the City, which states that the underwriter has completed a due diligence review of the project and the property owner and believes that the bonds are marketable at an interest rate acceptable to the property owner based on then prevailing market conditions and that is willing, subject to reasonable conditions precedent, to contract with the City to underwrite the bonds on a best efforts basis, or that the bond buyer has completed a due diligence review of the project and the property owner and intend to acquire the bonds at an interest rate which the bond buyer and property owner agree is acceptable and that it is willing, to contract with the City to so acquire the bonds.

E. Consultants. The City will permit the property owner to choose the consulting engineers and underwriter provided that the entities chosen are acceptable to the City. The City will select the assessment engineer, project management engineer, its financial consultants, bond counsel and bond trustee. The payment of all fees and expenses of these consultants shall be the responsibility of the property owner; however, these consultants will be responsible to, and will act as consultants to, the City in connection with the district.

F. Expenses. The property owner will be required to pay from its funds all of costs of the project prior to the time bonds are issued, including the costs of Consulting Engineers, Assessment Engineers, Project Management Engineers, Underwriters, the City's financial consultants, the City's Bond Counsel, and the costs of preparing the appraisals, absorption study, environmental review and other matters listed above. These items will be eligible for reimbursement from bond proceeds if the bonds are ultimately issued. However, the property owner must pay these costs even if bonds are not issued. At the time of application, the City will provide an estimate for these expenses in order to enable the developer to more precisely anticipate costs associated with the process.

G. Project Acquisition. The City will acquire completed projects after final inspection by the City, an audit by the City Assessment Engineer and City staff, and acceptance by the City. Unless approved by the Finance Director, the City will only acquire discreet complete projects whose cost together with the cost of other complete discreet projects being acquired at the same time is \$250,000 or more. The City will only do acquisition districts.

H. Cost Overruns. The property owner must agree to fund all project costs which exceed the amount available from the proceeds of the bonds issued for the project.

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The City will not commit to issue additional bonds or otherwise provide funding for any such cost overruns.

I. Continuing Disclosure Reports. The property owner will prepare and distribute, at their own expense, reports associated with SEC 15(c)2-12.

J. Procedure.

1. Pre-Application Meeting. Initially, the property owner shall schedule a meeting with such representatives of the City, as are designated by the City Manager, to review the proposed development to discuss whether the development is one which may be eligible for financing under these guidelines.

2. Application. If the property owner decides to proceed after the initial meeting, all owners of record of property in the proposed district must sign a petition for the SID and file the petition and an application which contains sufficient information and exhibits to demonstrate that the proposed SID will comply with parts “A through I” of these guidelines. Copies of the petition and application must be filed with the office of the Director of Finance and the office of the Director of Public Works.

3. Council Approval. If after an initial review, the City staff believes the application satisfies parts “A through I” hereof, an item will be placed on the Council’s agenda authorizing negotiations with respect to the proposed project. If this item is approved by the Council, it is anticipated that staff will be authorized to begin negotiating the particulars of the financing with the property owner and other appropriate parties.

4. Security for Costs. Prior to entering negotiations, the property owner must post a letter of credit, cash or other acceptable form of security for payments of the costs described in paragraph “F” above in an amount determined by the Director of Finance. The interest on the security will be paid to the developer. The City shall invest such security according to NRS Chapters 355 and 356.

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# Exhibit “N”

## Flood Control Phasing Plan

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# Exhibit “O”

## MPU Exhibit

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