



# DEPARTMENT OF PLANNING

## Application / Petition Form & Statement of Financial Interest

### Department Use

Case #
Meeting Date
Total Fee
Received By/Date

**Case Type** (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Project review for parking structure exclusion and change

**Project Address** (Location) 306 N. 9th Street Las Vegas, NV 89101

**Project Name** 9th and Stewart

**Proposed Use** Multi Family

**Assessor's Parcel #(s)** 139-34-612-069

**Ward #** \_\_\_\_\_

**General Plan:** Existing \_\_\_\_\_ Proposed <sup>x</sup> \_\_\_\_\_ **Zoning:** Existing \_\_\_\_\_ Proposed <sup>x</sup> \_\_\_\_\_

**Additional Information** This is application for consideration of changes to prior approved plans parking structure to have removed from approved from prior plans and site and options explored for alternative parking situation

**Property Owner** Ramda Properties Nevada LLC

**Contact** Daniel Guevara

**Address** 306 N 9th St

**City** Las Vegas **State** NV **Zip** 89101

**E-mail** stewartninth@gmail.com

**Phone** 310-930-8565

**Applicant** Ramda Properties Nevada LLC

**Contact** Daniel Guevara

**Address** 306 N 9th St

**City** Las Vegas **State** NV **Zip** 89101

**E-mail** stewartninth@gmail.com

**Phone** 310-930-8565

**Representative** Michael Bandzej

**Contact** Michael Bandzej

**Address** 306 N 9th St

**City** Las Vegas **State** NV **Zip** 89101

**E-mail** stewartninth@gmail.com

**Phone** 702-628-3607

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

**City Official** \_\_\_\_\_ **Partner(s)** \_\_\_\_\_

**Partner(s)** \_\_\_\_\_

- \* I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- \* Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

**Property Owner Signature** [Signature]

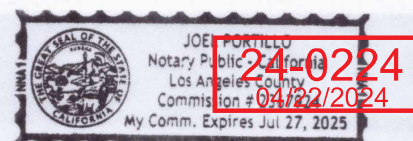
An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

**Print Name** DANIEL GUEVARA

Subscribed and sworn before me

This 6th day of March, 2024

Notary Public in and for said County and State









SEAL  
FLEX 1000000

ALL DRAWINGS AND SPECIFICATIONS ISSUED AS PART OF THE SERVICES RENDERED BY THE ENGINEER FOR THIS PROJECT SHALL REMAIN THE PROPERTY OF THE ENGINEER. ANY DUPLICATION IN THE DRAWINGS AND/OR SPECIFICATION IN WHOLE OR IN PART FOR USE ON ANY OTHER PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF DIARRIS CORP. DEBARTIS GREAT BASIN CONSTRUCTION ENGINEERING SERVICES, A NEVADA PROFESSIONAL COMPANY.

9TH STREET APARTMENTS  
306 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
(APN: 139-34-612-069)

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NO.	DESCRIPTION	DATE
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24  
FIRMANNEY: DDH  
SCALE: AS SHOWN  
DATE: 10/18/2022

**A-02**

## DESCRIPTION

#	DESCRIPTION
*	TYPICAL EXTERIOR WALLS: 2X6 BUILT FLOOR-JOIST STUDS @ 16" O.C. W/ 5/8" TYPICAL WALLBOARD INTERIOR FACE & 7/8" STUCCO EXTERIOR FACE.
**	TYPICAL INTERIOR NON-BEARING WALLS: 2X4 BUILT FLOOR-JOIST STUDS @ 24" O.C. W/ 5/8" OVERSIZED WALLBOARD TYPE #EA SIDE (U.N.O.)
1	ANY CURT PENETRATING THIS SEPARATION WALL SHALL BE OF NOT LESS THAN 3/4" GALV. STEEL.
2	DOORS W/ A SETBACK GLASS OR SOLID WARD DOOR: 1 9/16" THICK

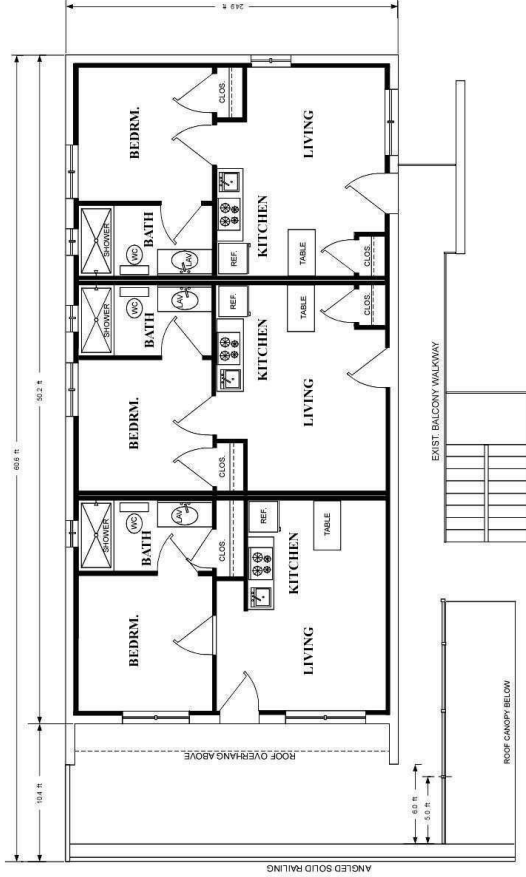
## GENERAL NOTES

- [illegible]

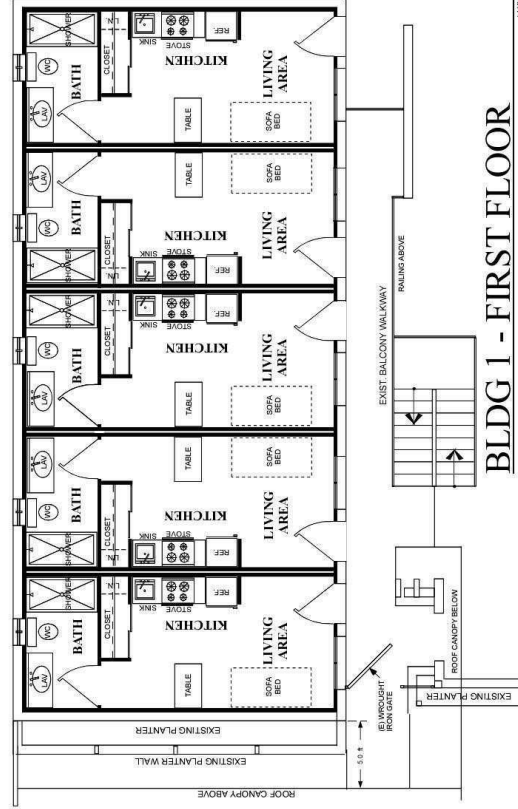
24-02  
04/23/20

**SAFETY GLAZING SHALL BE PROVIDED IN ALL FIXED & OPENABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS.**

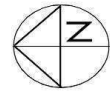
**NOTE:** EXTERIOR LIGHT TO BE CONTROLLED BY PHOTOCELL



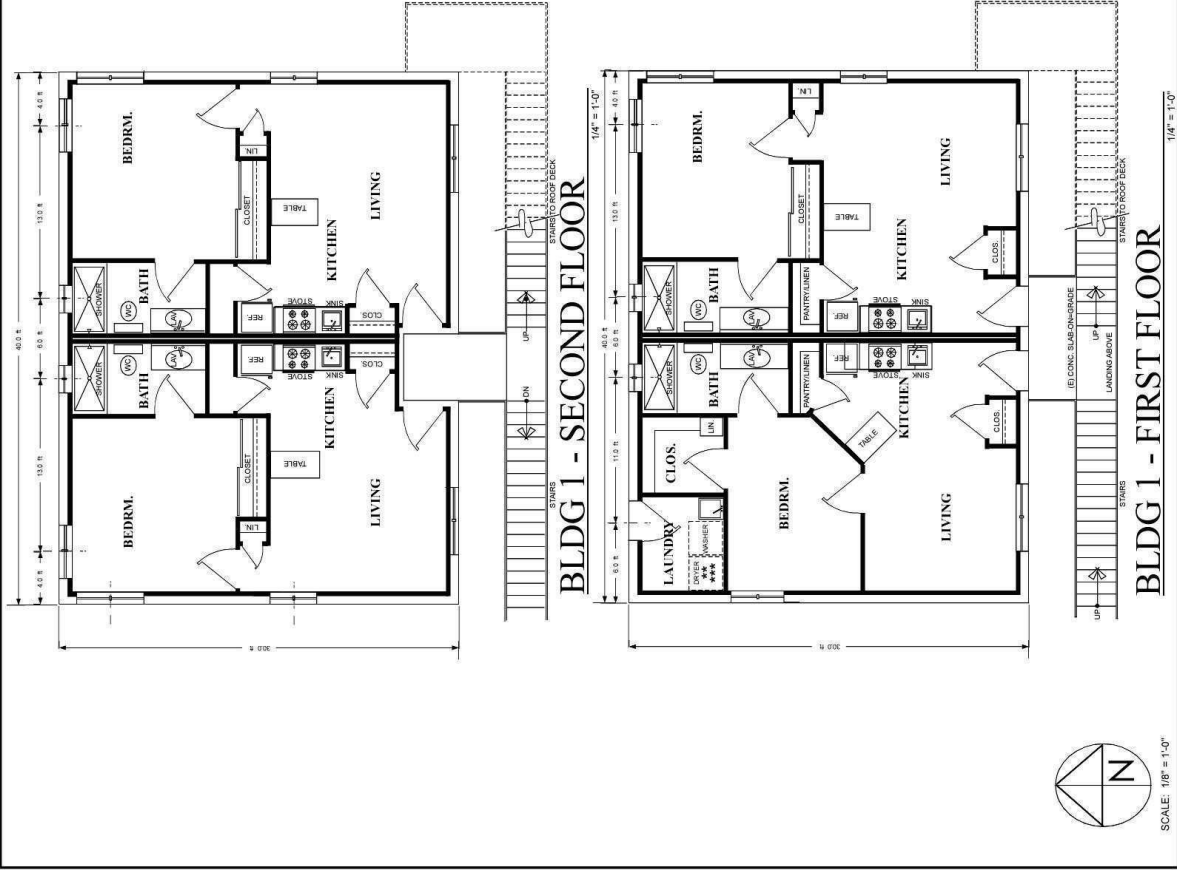
BLDG 1 - SECOND FLOOR



BLDG 1 - FIRST FLOOR



SCALE: 1/8" = 1'-0"



## KEYNOTES

#	DESCRIPTION
1	TYPICAL EXTERIOR WALLS: 208 (SEE FLOOR PLAN) STUDIOS @ 15" O.C. W/ 5/8" Ø TYRUM WALLBOARD INTERIOR FACE & 7/8" STUCCO EXTERIOR FACE (U.K.O.)
2	TYPICAL INTERIOR NON-BEARING WALLS: 204 (SEE FLOOR PLAN) STUDIOS @ 15" O.C. W/ 5/8" Ø TYRUM WALLBOARD INTERIOR FACE & 7/8" STUCCO EXTERIOR FACE (U.K.O.)
3	ANY DUCTS PENETRATING THIS SEPARATION WALL SHALL BE OF NOT LESS THAN 26 GA. GALV. STEEL
4	DOOR TO BE A SELF-CLOSING SOLID WOOD DOOR, 1 3/8" THICK MIN., W/ TIGHT FITTING SMOKE & DRAFT SEAL
5	EXTERIOR WINDOWS: MILGARD COM. WINDOW, LAS VEGAS, NEVADA (702) 455-1234, WWW.MILGARD.COM AND/OR EQUIVALENT

### GENERAL NOTES

- PROVIDE COMBUSTION, VENTILATION AND DILUTION AIR IN LAUNDRY ROOM WITH TWO WALL OPENING (15"x4" EACH), ONE OPENING SHALL BE COMBUSTION AIR INTAKE AND THE OTHER SHALL BE EXHAUST AIR OUTLET. THE OPENING SHALL BE LOCATED WITHIN 12" OF THE BOTTOM OF THE ENCLOSURE (SEE 701.3 IBC 2021).
- THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TAB E R609.6 & OPENINGS INTO THE GARAGE WALL SHALL COMPLY WITH SECT R602.5 THIS PROJECT IS NOT APPLICABLE TO GARAGES IN THIS PROJECT. THE DOOR SHALL BE A SELF-CLOSING SOLID WOOD DOOR, 1 3/8" THICK MIN., W/ TIGHT FITTING SMOKE & DRAFT SEAL.
- OPENING FROM GARAGE WALL DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSE SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED WITH EYEBOLT CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK OR 20 MINUTES RATED DOORS EQUIPPED WITH A SELF-CLOSING DEVICE (SEE 302.5.1 IBC).
- PROVIDE A WEED SCREENED BY JOE A MINIMUM OF 4" ABOVE THE EARTH AND 2" ABOVE FINISHED AREAS (SEE 703.6.2 IBC).
- IN SEISMIC DESIGN CATEGORIES C, D, E AND F, WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION (UPC SECT 508.2).
- MECHANICAL APPLIANCES INSTALLED IN ATTICS AND UNDER FLOOR SPACE SHALL COMPLY WITH UMC SECTION 904.11.
- UP AND DOWN STAIRS ENCLOSURE AND GLASSING IN THE WALLS SHALL COMPLY WITH SAFETY GLASSING (SEE 308.4 IBC). DOMESTIC DRIVER MOISTURE RESISTANT GLASSING SHALL BE USED IN ALL GLASSING. MINIMUM VERTICAL LENGTH OF 14" INCLUDING TWO NINETY DEGREE ELBOWS. 2" SHALL BE DEDUCTED FOR EACH NINETY DEGREE ELBOW IN EXCESS OF TWO. THE GLASSING SHALL BE PROVIDED WITH MINIMUM CLEAR HEADROOM OF 30 INCHES.
- THE DOOR BETWEEN THE GARAGE AND THE DWELLING SHALL BE 1 - 3/8" SELF-CLOSING SOLID WOOD DOOR WITH MINUTE RATED DOOR WITH SELF-CLOSURE (IBC 2014 SECT R609.1).



**SEAL**

DAVID O. SMITH  
STATE OF NEVADA  
LICENSE NO. 10000  
MECHANICAL ENGINEERING

**9TH STREET APARTMENTS**  
**306 NORTH 9TH STREET**  
**LAS VEGAS, NEVADA 89101**  
**(APN: 139-34-612-069)**

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**24-0224**  
**04/23/2024**  
**DATE**  
**AS SHOWN**  
**10/18/2022**  
**A-02**

NOTE: EXTERIOR LIGHT TO BE CONTROLLED BY PHOTOCELL

SAFETY GLAZING SHALL BE PROVIDED IN ALL FIXED & OPERABLE PANELS OF PARTITION, GLASS AND GLASS DOORS





SEAL

ALL DRAWINGS AND SPECIFICATIONS ISSUED AS PART OF THE SERVICES RENDERED BY THE ENGINEER FOR THIS PROJECT SHALL REMAIN THE PROPERTY OF THE ENGINEER. ANY DUPLICATION OF THE DRAWINGS AND/OR SPECIFICATION IN WHOLE OR IN PART FOR USE ON ANY OTHER PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF DHARRM CORP. DEAR GREAT BASIN CONSTRUCTION ENGINEERING SER.

9TH STREET APARTMENTS  
306 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
(APN: 139-34-612-069)

REVISION		
NO.	DESCRIPTION	DATE
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AS SHOWN  
10/18/2022

**A-02**

## KEYNOTES

## DESCRIPTION

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	TYPICAL INTERIOR NON-BEARING WALLS - 2x4 (SEE FLOOR PLAN) STUDS @ 2'-0" O.C. W/ 3/8" GYPSUM WALLBOARD TYPE X A SIZE (U.O.)
<input type="checkbox"/>	<input type="checkbox"/>	2X6 EXTERIOR WALLS - 2X6 BEECHER PLAIN STUDS @ 16" O.C. W/ 5/8" GYPSUM WALLBOARD INTERIOR FACE & 7/8" STUCCO EXTERIOR FACE (U.O.)
<input type="checkbox"/>	<input type="checkbox"/>	DOOR TO BE SELF CLOSING SLOD WOOD DOOR 1 3/8" THICK. MIN. WT. WITH FEELING SMOKE & DRAFT SEAL.
<input type="checkbox"/>	<input type="checkbox"/>	EXTERIOR WINDOWS MILGARD WINDOWS LAS VEGAS, NEVADA (702) 453-1391 WWW.MILGARD.COM AND/OR EQUIVALENT

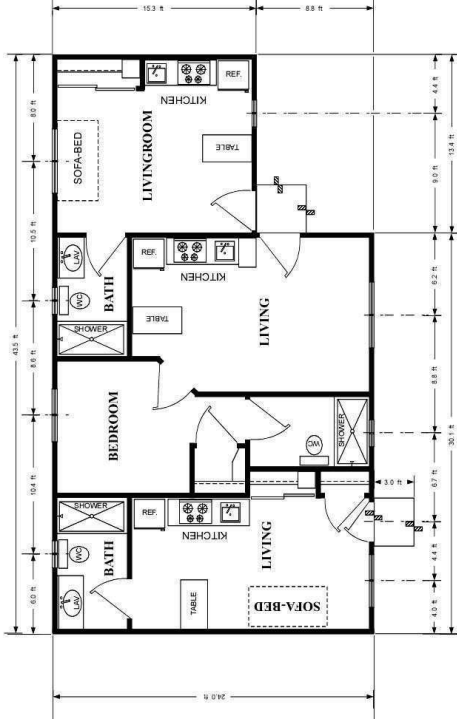
### GENERAL NOTES:

1. PROVIDE COMBUSTION VENTILATION AND DILUTION IN A MANSUARY ROOM WITH TWO WALL GASWAYS EACH. ONE OPEN, ONE SHALL BE CLOSED. THE GASWAYS SHALL BE LOCATED IN THE MANSUARY ROOM WITHIN 1' OF THE BOTTOM OF THE END GABLE (SECT 700.2.10.2).
2. THE GARAGE SHALL BE SUPERVISED AS REQUIRED BY TABLE 903.2. OPENINGS INTO THE GARAGE WALL SHALL COMPLY WITH SECT 903.2.3 THIS PROVISIONS APPLY TO THE GARAGE WALLS AND THE EXTERIOR WALLS OF THE BUILDING. THE GARAGE DOOR SHALL BE REINFORCED WITH TWO 2" X 4" ANCHORED STEEL BOLTS (SECT 700.2.10.2).
3. OPENING FROM GARAGE WALL DIRECTLY INTO A ROOM USED FOR SLEEPING OR GARAGE SHALL NOT BE PERMITTED. OTHER OPENINGS SERVING AS GARAGE WALLS SHALL BE EQUIPPED WITH AN APPROVED SELF-CLOSING DEVICE (SECT 700.2.10.2). IF AN APPROVED CORE STEEL DOOR NOT LESS THAN 1/8" THICK OR 5/16" ANCHORED STEEL DOORS EQUIPPED WITH A SELF-CLOSING DEVICE (SECT 302.5.1).
4. PROVIDE A RATED SMOKE PROOF MINIMUM OF 2" ABOVE THE EARTH AND 2" ABOVE FINISHED AREAS (SECT 700.2.11.1 AND).
5. IN SEISMIC DESIGN CATEGORIES C OF E AND F WATER MAINS SHALL BE ANCHORED OR STAPLED TO REINFORCE HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION (UPC SECT 508.2).
6. MECHANICAL APPLIANCES INSTALLED IN ATTICS AND UNDER FLOOR SPACE SHALL COMPLY WITH UNIFORM CODE SECTION 604.1.
7. THE ABOVE SMOKE ENCLOSURE AND CLADDING SHALL BE LESS THAN 1/8" THICK AND SHALL BE ANCHORED TO THE STRUCTURE WITH AN APPROVED SELF-CLOSING DEVICE (SECT 308.4.10.2). DOMESTIC WATER MAINS SHALL BE ANCHORED TO THE STRUCTURE WITH AN APPROVED SELF-CLOSING DEVICE (SECT 308.4.10.2). THE VERTICAL LENGTH OF 4" INCLUDING TWO INCHES REQUIRED ABOVE 2" SHALL BE REDUCED FOR EACH NINETY DEGREE ELBOW IN EXCESS OF 2".
8. THE GARAGE DOOR SHALL BE PROVIDED WITH A MINIMUM CLEAR HEADROOM OF 9 INCHES (UPC SECT 100.2.10.2).
9. THE DOOR BETWEEN THE GARAGE AND THE DWELLING SHALL BE 1 - 3/8" OR MORE THICK AND SHALL BE ANCHORED TO THE STRUCTURE WITH AN APPROVED SELF-CLOSING DEVICE (SECT 308.4.10.2).

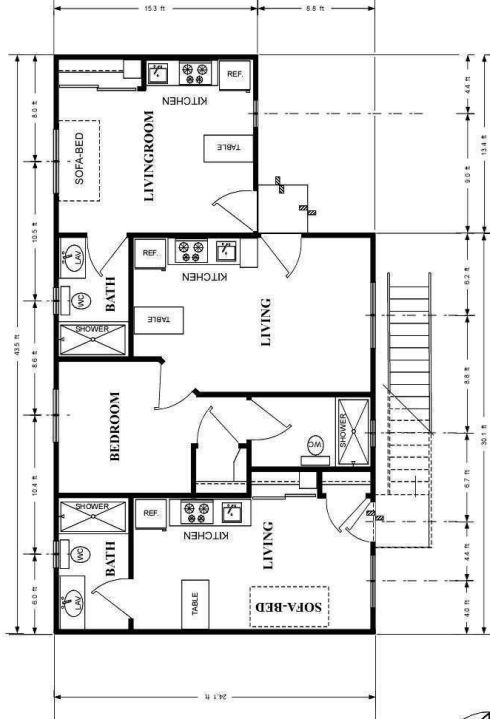
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SAFETY GLAZING SHALL BE PROVIDED IN ALL FIXED & OPENABLE PANELS OF SWINGING, SLIDING AND BI-FOLD

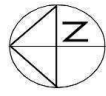
**NOTE:** EXTERIOR LIGHT TO BE CONTROLLED BY PHOTOCELL.



BLDG 3 - SECOND FLOOR PLAN



# BLDG 3 - FIRST FLOOR PLAN



SCALE: 1/8" = 1'-0"



REVISIONS	BY

9TH STREET APARTMENTS  
REMODEL OF EXISTING APTS.  
9TH ST. NEAR STEWART ST., LAS VEGAS

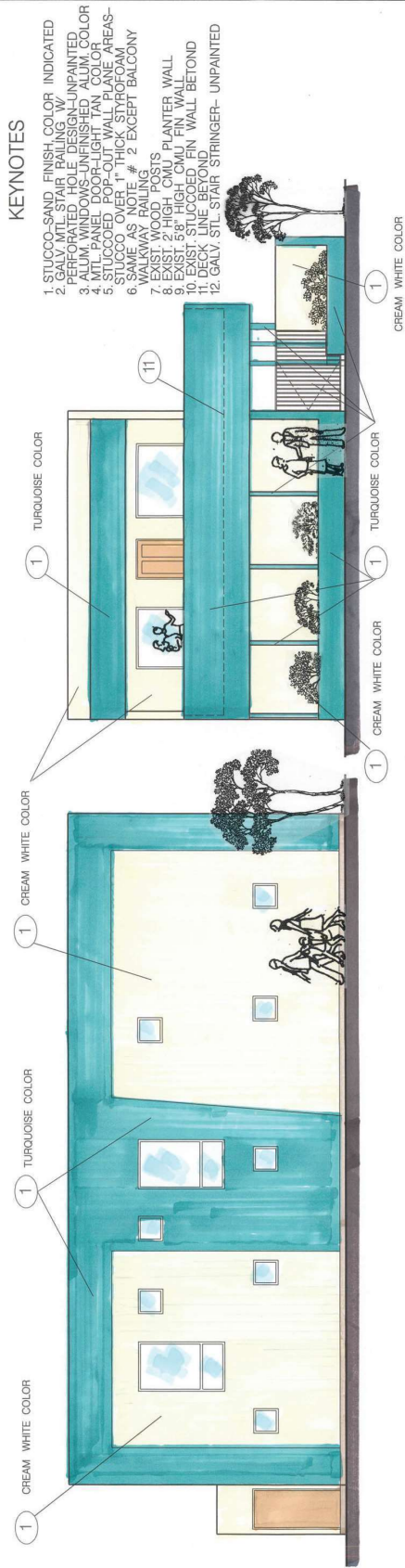


ARCHITECTURE  
ARCHITECTURE  
DEVELOPMENT  
702.462.4477  
702.462.4477  
702.462.4477

1980 W. CHURCH ST. SUITE 200  
LAS VEGAS, NV 89102

BLDG. 1 EXTERIOR ELEVATIONS

09-14-2021  
1/4" = 1'-0"  
TO J/K  
A-7



BLDG. 1 NORTH ELEVATION

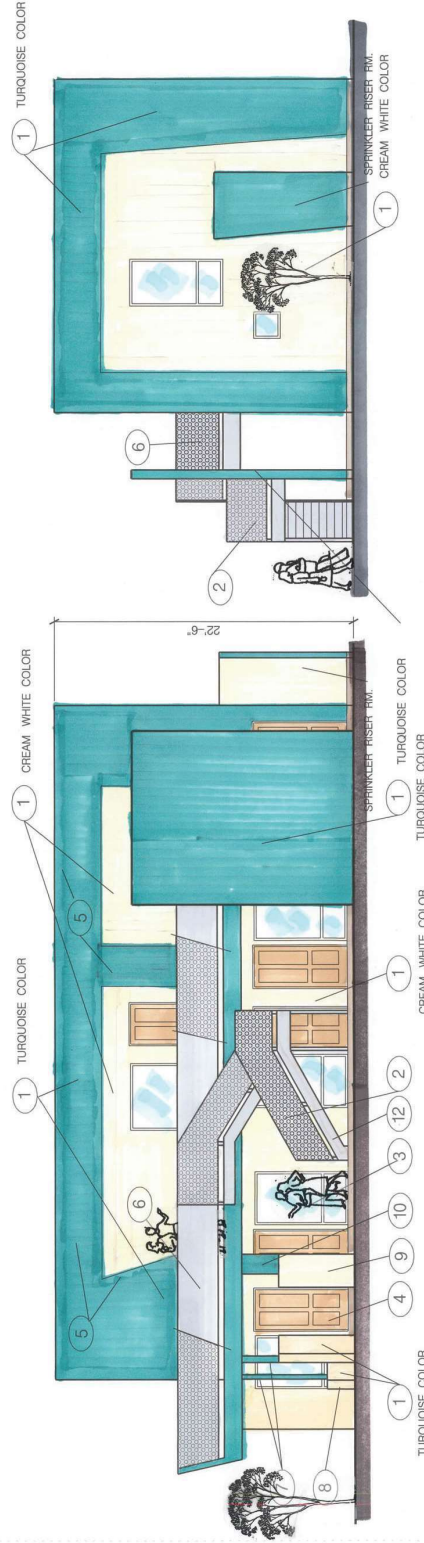
1/4" = 1'-0"  
KEYNOTES SAME AS SOUTH ELEV., U.N.O.

KEYNOTES

1. STUCCO-SAND FINISH, COLOR INDICATED
2. GALV. MTL. STAIR RAILING W/ UNPAINTED
3. ALUM. WINDOW CASING- UNPAINTED
4. ALUM. WINDOW CASING- UNPAINTED
5. MTL. PANEL DOOR-LIGHT TAN COLOR
6. STUCCOED POP-OUT WALL PLANE AREAS- UNPAINTED
7. STUCCO OVER 1" THICK STYROFOAM INSULATION
8. WALKWAY AS RAILING- 2 EXCEPT BALCONY
9. EXIST. WOOD POSTS
10. EXIST. 2" HIGH CMU PLANTER WALL
11. EXIST. 5.8' HIGH CMU FIN. WALL
12. EXIST. STUCCOED FIN. WALL BEYOND
13. EXIST. STUCCOED FIN. WALL BEYOND
14. GALV. STL. STAIR STRINGER- UNPAINTED

BLDG. 1 WEST ELEVATION

1/4" = 1'-0"  
KEYNOTES SAME AS SOUTH ELEV., U.N.O.



BLDG. 1 SOUTH ELEVATION

1/4" = 1'-0"

BLDG. 1 EAST ELEVATION

1/4" = 1'-0"

KEYNOTES SAME AS SOUTH ELEV., U.N.O.

0' 5' 15' 25'

24-0224  
04/23/2024





REVISIONS	BY

9TH STREET APARTMENTS  
REMODEL OF EXISTING APTS.  
9TH ST. NEAR STEWART ST., LAS VEGAS



ARCHITECTURE  
DEVELOPMENT

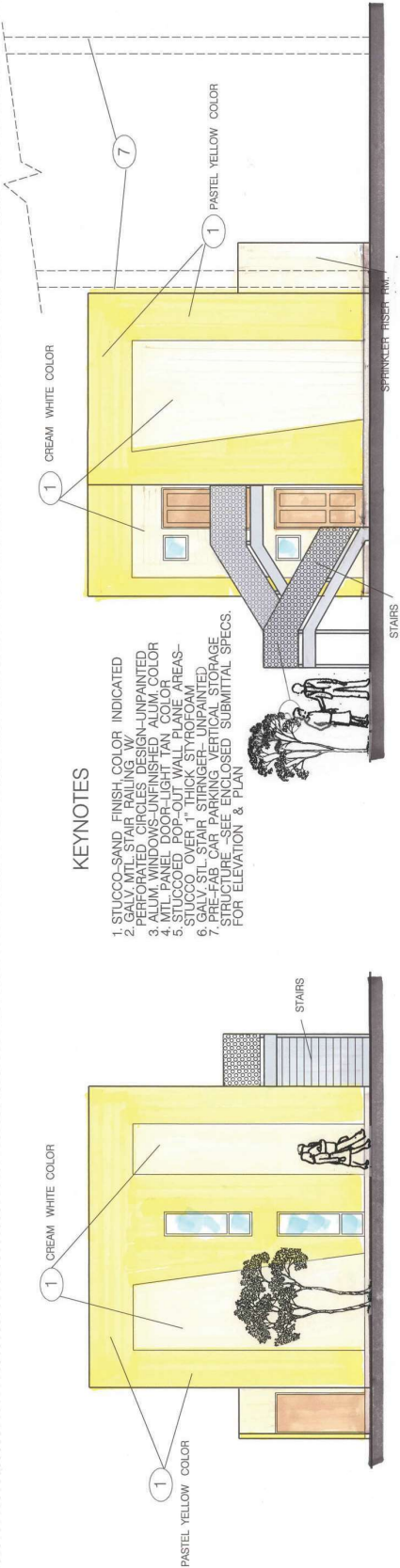
702.555.4477  
702.555.0602

1900 W. COLUMBIA ROAD, SUITE 200  
LAS VEGAS, NV 89102

BUILDING 3 EXTERIOR ELEVATIONS

09-14-2021  
1/4" = 1'-0"  
TO A/C

A-9



BLDG. 3 NORTH ELEVATION

1/4" = 1'-0"

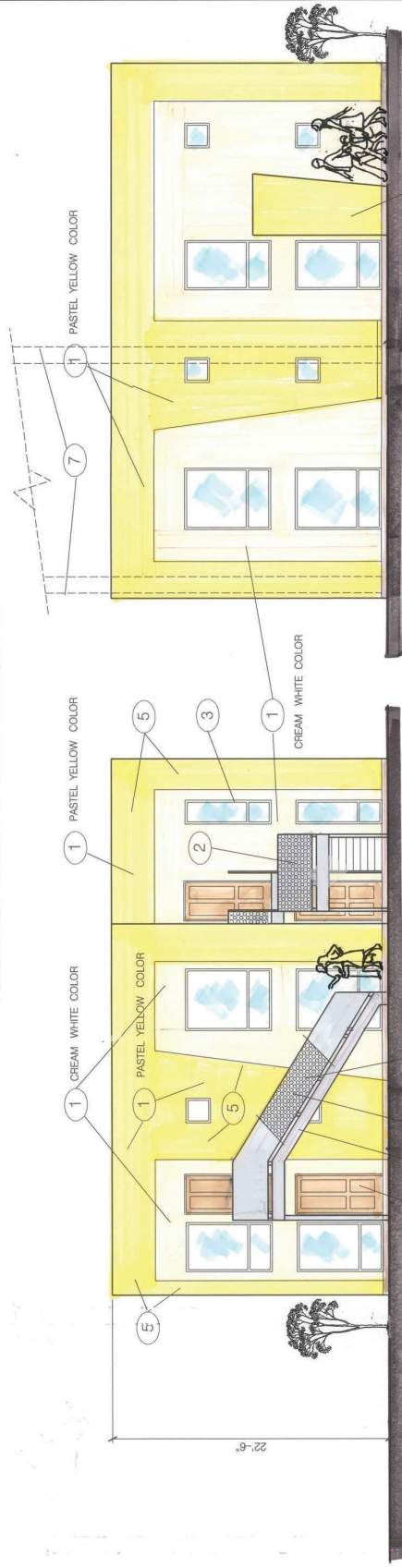
KEYNOTES

1. STUCCO-SAND FINISH COLOR INDICATED
2. GALV. MTL. STAIR RAILING W/ DESIGN FINISH
3. PAINTED OVER EXISTING TAN ALUM. COLOR
4. MTL. PANEL DOOR-LIGHT TAN COLOR
5. STUCCOED POP-OUT WALL PLANE AREAS-
6. STUCCO OVER 1" THICK STYROFOAM
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100. PALE PASTEL YELLOW UNPAINTED

BLDG. 3 SOUTH ELEVATION

1/4" = 1'-0"

KEYNOTES SAME AS WEST ELEV., U.N.O.



BLDG. 3 WEST ELEVATION

1/4" = 1'-0"

BLDG. 3 EAST ELEVATION

1/4" = 1'-0"

KEYNOTES SAME AS WEST ELEV., U.N.O.

0' 5' 15' 25'

24-0224  
04/23/2024



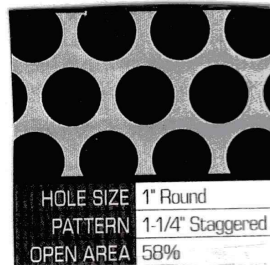
# 9TH ST. APARTMENTS COLOR & MATERIALS BOARD



TYPICAL WALLS: SAND FINISH STUCCO

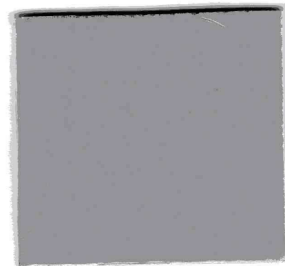
CW023W Lis Creme

BASE BLDG. COLOR-  
ALL BLDGS. BLDG.



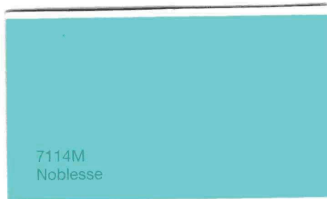
HOLE SIZE 1" Round  
PATTERN 1-1/4" Staggered  
OPEN AREA 58%

STAIR RAILING:  
"McNICHOLS" CO.  
MTL. PANELS  
-PERFORATED

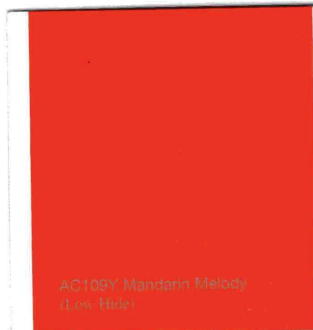


GALV. MTL.

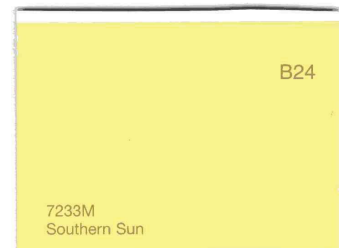
MTL. STAIR RAILING & STRINGER  
& ROOF CANOPY STRUCT. ROOFING  
UNPAINTED GALV. MTL.



7114M  
Noblesse



AC109Y Mandarin Melody  
(Low Fidan)



B24

7233M  
Southern Sun

POP-OUT WALL PLANE  
COLOR-BLDG. 1

POP-OUT WALL PLANE  
COLOR-BLDG. 2

POP-OUT WALL PLANE  
COLOR-BLDG. 3

NOTE: ALL PAINT COLORS ARE "FRAZEE" PAINT

24-0224  
04/24/2024