



Print Form

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DEPARTMENT OF PLANNING

HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Page 1 of 3

Application/Petition For: VANESSA TURLEY
Project Address (Location) 700 PARK PASSED
Project Name TURLEY HOME REMODEL
Assessor's Parcel(s)# 162-03-515-104 Ward# —
General Plan Designation: — Existing Zoning Designation: SER-R1D
Gross Acres 0.21 ACRES
Additional Information —

PROPERTY OWNER VANESSA TURLEY
Address 700 PARK PASSED
City LAS VEGAS State NV Zip 89104
E-mail Address JBETURLEY99@GMAIL.COM Phone 702-7997 Fax —

APPLICANT/REPRESENTATIVE LARRY J. SANCHEZ
Address 7944 SPARKING BROOK ST.
City LAS VEGAS State NV Zip 89131
E-mail Address LARRY7405@YAHOV.COM Phone 702-340-7927 Fax —

Property Owner Signature* *Vanessa Marie Turley*

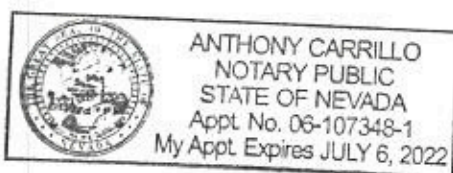
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Vanessa Marie Turley

Subscribed and sworn before me

This 25 day of February, 2022.State of Nevada
County of Clark

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #

Approved for administrative
review? Yes — No —Project meets P&D
requirements? Yes — No —

Meeting Date:

Date Accepted:*

Accepted By:

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

Type of Application

- ☒ **Conceptual Review (recommended):** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice.
- ☐ **New Construction:** Construction of a new building, additions or garages, sheds, etc. See Unified Development Code for guidance.
- ☐ **Exterior Building Alteration:** Includes, but is not limited to, all exterior changes to an existing building that require a building permit, such as windows, doors, roofing, etc. See Unified Development Code for guidance.
- ☐ **Signage or Graphics:** Installation of a sign or graphic on a building, or on the site, or directly behind the window or on a window.
- ☐ **Variance or Zoning change:** Complete this application and submit a stamped copy of the variance or rezoning application filed with the city's Department of Planning for the requested variances.
- ☐ **Demolition:** Removal of any building feature(s) or razing of any structure(s). For all demolitions, the applicant must include a written reason for the demolition, the proposed reuse of the site, evidence of funding and a time frame for project initiation. See Unified Development Code for guidance.
- ☐ **Lot Split**
- ☐ **Other:** _____

Work Description

Describe the proposed project in detail, including all changes to the building, site, lot or zoning. Include all features to be removed, altered and/or added. Indicate all materials to be used and the manufacturer. Attach additional sheets as needed.

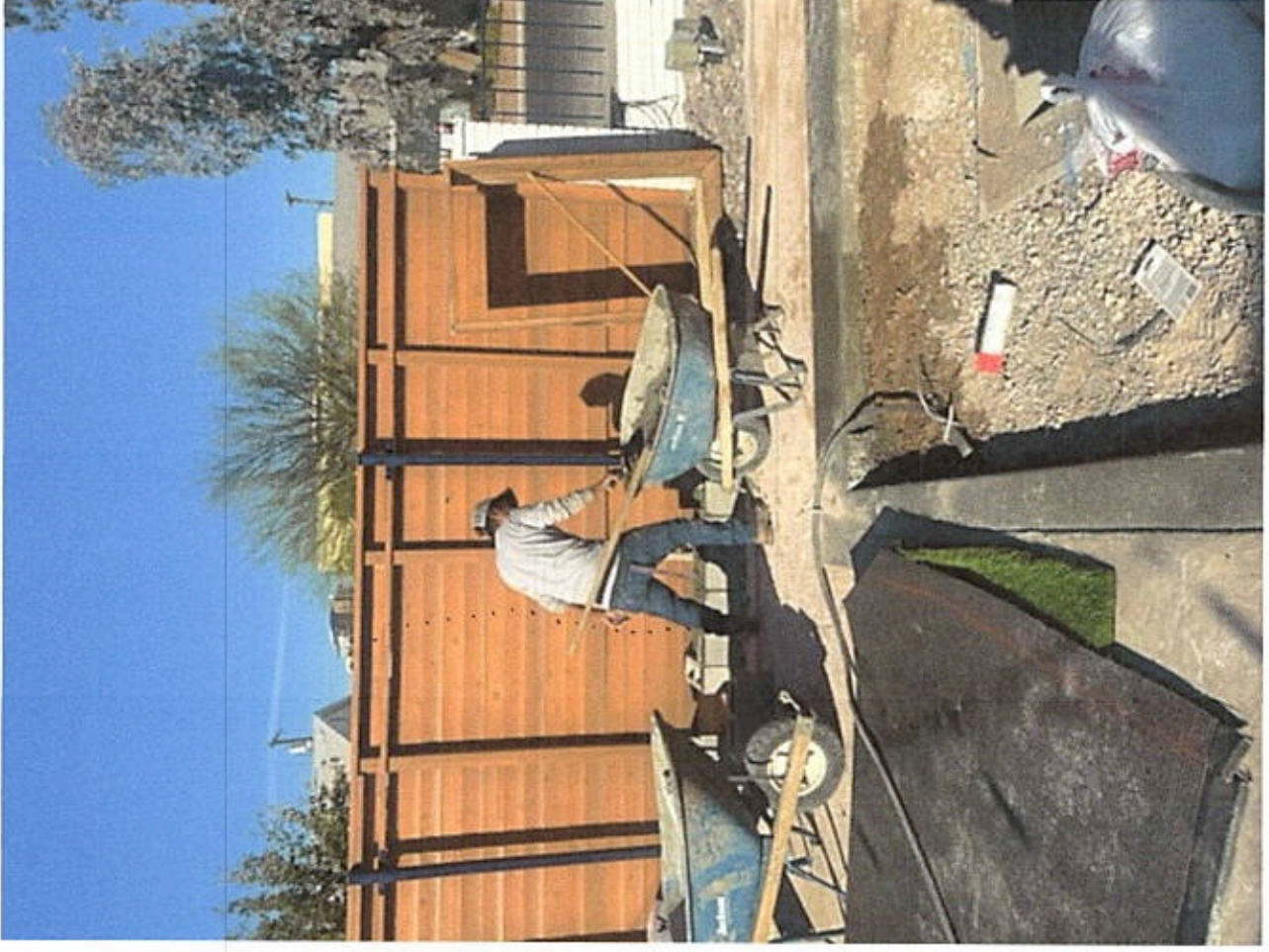
Please refer to the Secretary of the Interior's Standards for Rehabilitation (below) for additional information.

WE ARE TRYING TO LEVELIZE APPROXIMATELY 40 LF OF WOODEN FENCE ALONG PARK PASSE. THIS WALL IS ROUGHLY 7' TALL MADE OF WOOD LAMINATES. JUST INSIDE FRONT SETBACK WE ARE ALSO TRYING TO LEVELIZE A SUNKEN 120 SF SPA AT 5'-0" FROM SIDE SETBACK + 11'-2" FROM FRONT SETBACK. NEXT WOULD BE A 40 SF OUTDOOR BATH TO RINSE FROM SPA USE. FINALLY, WE ARE TRYING TO LEVELIZE A GARAGE CONVERSION (LE 21-05299). ALL MATERIALS USED SHALL COMPLY WITH HISTORIC PRESERVATION DISTRICT. USING 8" CMU BLOCK WRAPPED WITH 2 LAY STUCCO, LIGHT BROWN WOOD FENCING TYPE V-B LONST., ASPHALT SHINGLE ROOFING, AND ARCHITECTURAL COMPATIBLE ELEMENTS.

Materials to submit with the application (as needed):

- ☒ **Color photos:** 35mm or digital only. Polaroids will not be accepted. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.
- ☒ **Drawings for conceptual review, new construction or graphics/signage:** One complete set, color where applicable, must be submitted, no larger than 11" x 17". If presentation boards will be used, copies of the boards must be submitted in no larger than 11" x 17" format.
- ☐ **Material Samples/Manufacturer's Brochures:** material samples and brochures which show and describe the materials to be used (i.e., paint chips, brochures on doors, windows, etc).
- ☒ **Site Plan:** A site plan must be included for new construction, additions, site graphics, demolition, lot splits, and fencing. The plan must show property lines, all existing structures, and their relationship to adjacent structures. One complete set, color where applicable, must be submitted, no larger than 11" x 17".
- ☒ **Elevations:** Elevations must be included for new construction, additions, site graphics, demolitions and fencing. Elevations must show all existing structures on the parcel. One complete set, color where applicable, must be submitted no larger than 11" x 17".

(1) PROPOSED FENCE WALL (6'-0" HIGH)



GARAGE CONVERSION W/ PROPOSED SPA BATH



(N) SPA BATH
40 SF

(E) BREEZEWAY

(N) GARAGE
CONVERSION

(N) INTERIOR
GARAGE CONVERSION



17



W/ PROPOSED
SUNKEN 40 SF
SPA AT FRONT SETBACK

EXAMPLES OF WOOD FENCING RESIDENCES,













8th ST
1500

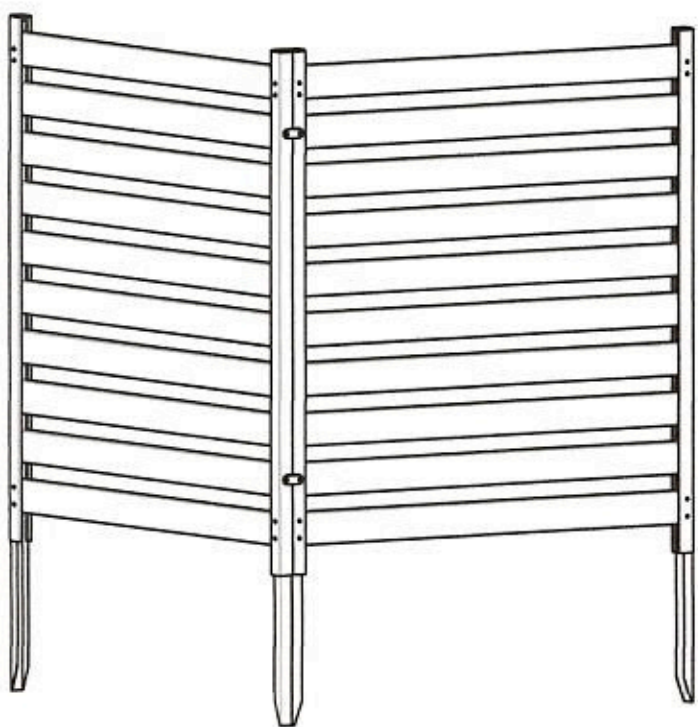




(E) SIDEYARD POOL W SPA
AT 301 PARL PASSED

ENCLO

HIDE IT WITH STYLE



Charleston Screen Kit 38" W x 42" H

45 min
*Approximate assembly
time for 2 screens*



Scan the QR code
for an assembly video



**ASSEMBLY
INSTRUCTIONS**
EC18009

www.encloscreens.com

VER. 081821



1. Outdoor2. Outdoor Fencing & Flooring3. All Fencing4. SKU: DCLO10035. Part #: EC18008

4 Ft. H X 3 Ft. W Richmond Wood Privacy Screen

See More by [Enclo](#)

4.668 Reviews





4 Ft. H X 3 Ft. W Richmond Wood Privacy Screen

by [Enclo](#)

\$177.99

68

Current Item

4 ft. H x 4 ft. W Deluxe Premium No Dig Privacy Screen

by [Enclo](#)

\$136.00~~\$179.99~~

1158

by [C](#)

\$1

Frequently Bought Together





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Building Layers: 5 Homes Showcasing Stucco Masonry Construction

These stunning projects showcase stucco masonry construction, finishes and façade details.



Eric Baldwin

COLLECTIONS

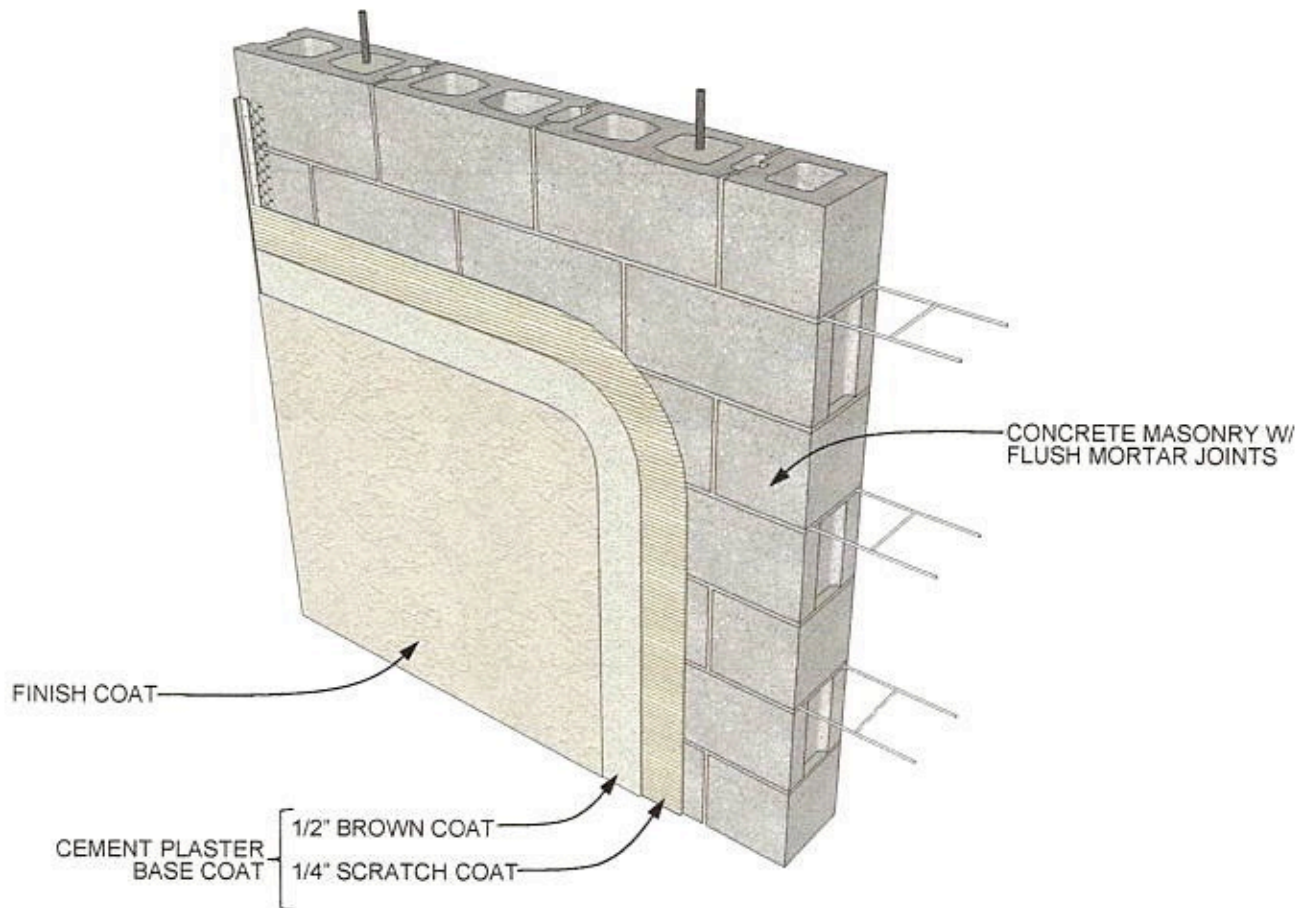


Architects: Showcase your next project through [Architizer](#) and sign up for our [inspirational newsletter](#).

Specifying a beautiful stucco masonry façade begins with adherence and bond. Designers have to be wary of synthetic stuccos adhered to wood or gypsum board. If incorrectly installed, synthetic stucco allows water intrusion and causes rot. Hard-coat stucco is another option that has been used for centuries across the world and is primarily adhered to masonry. Created with aggregates, a binder and water, it is applied wet and hardens to a dense solid. The diagram below illustrates an example of stucco masonry construction created without insulation.

Search here

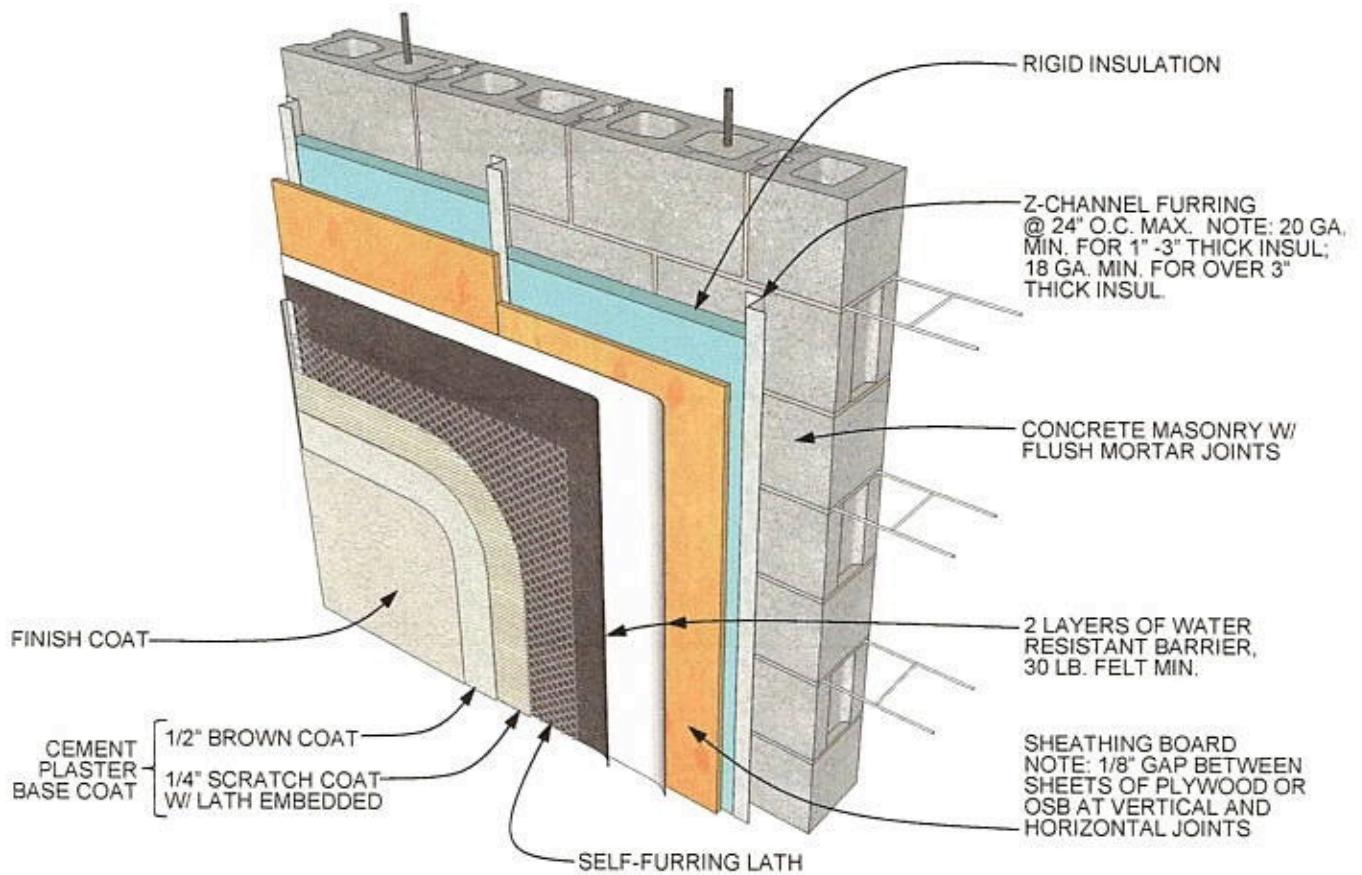
Search



Modern stucco is primarily used as an exterior cement plaster wall covering that mixes lime, water, sand and Portland cement. Lime is added to increase the workability and permeability. For flexibility or strength, synthetic acrylics or fibers can be added. It's important to understand the surface that stucco will be applied and adhered to. Usually specified as one base layer with a finish, some stucco specifications call for three-coat applications. While a range of stucco systems exist for masonry adherence and bond, many include some type of insulation system. This is shown in the following diagram that includes lath, a sheathing board and a water barrier.

Search here

Search



Remember, stucco can take on many forms and surface appearances depending on the aggregate or mix. Usually applied with a trowel, a range of stucco patterns can be created, including with lace, flat, pebbled or dashed textures. Rounding up a series of projects showcasing stucco masonry construction, finishes and façade details, the following designs explore coatings and different building-products to create modern and contemporary homes.

Search here

Search

- Concrete tile roofing.

01 Asphalt Shingle Roof

of 06



© GAF 2011

Asphalt shingles are a very popular roof material for American homes. First used in 1901, asphalt shingles are durable, affordable and come in a variety of textures

making them waterproof. Fiberglass base shingles have glass and fiber with asphalt on top to make them waterproof as well. They are then covered in mineral granules for a wear surface. Organic shingles are the most durable but can be prone to fire. They are less environmentally "friendly" since more asphalt goes into them during manufacturing. If you're concerned about fire, consider installing fiberglass shingles.

Styles of asphalt shingles come in two varieties, the "strip" shingle and the "dimensional laminated" shingle. The **strip shingle** is a strip of shingle material (usually three times the length to height in proportion) with cutouts or tabs. The most common strip shingle is the three-tab strip shingle. The **dimensional laminated shingle** has multiple layers of tabs to create texture and dimension to the shingle.

Maintenance required: Initially asphalt shingles will not require much maintenance. However, over time [roof maintenance will be required](#) as the shingles can curl, crack and be subject to granule erosion. They may also be subject to environmental damage from mold, algae, and fungus if in a shady or wooded location.

Life expectancy: The range of lifespan for asphalt shingles varies considerably depending on the quality of the shingle, but properly installed, asphalt shingles can last 15 to 40+ years.

Cost: Asphalt shingles can range from \$180 (for strip shingles) to \$400 (for dimensional laminated shingles) per square (100 square feet of roof area) furnished and installed in 2016 dollars.

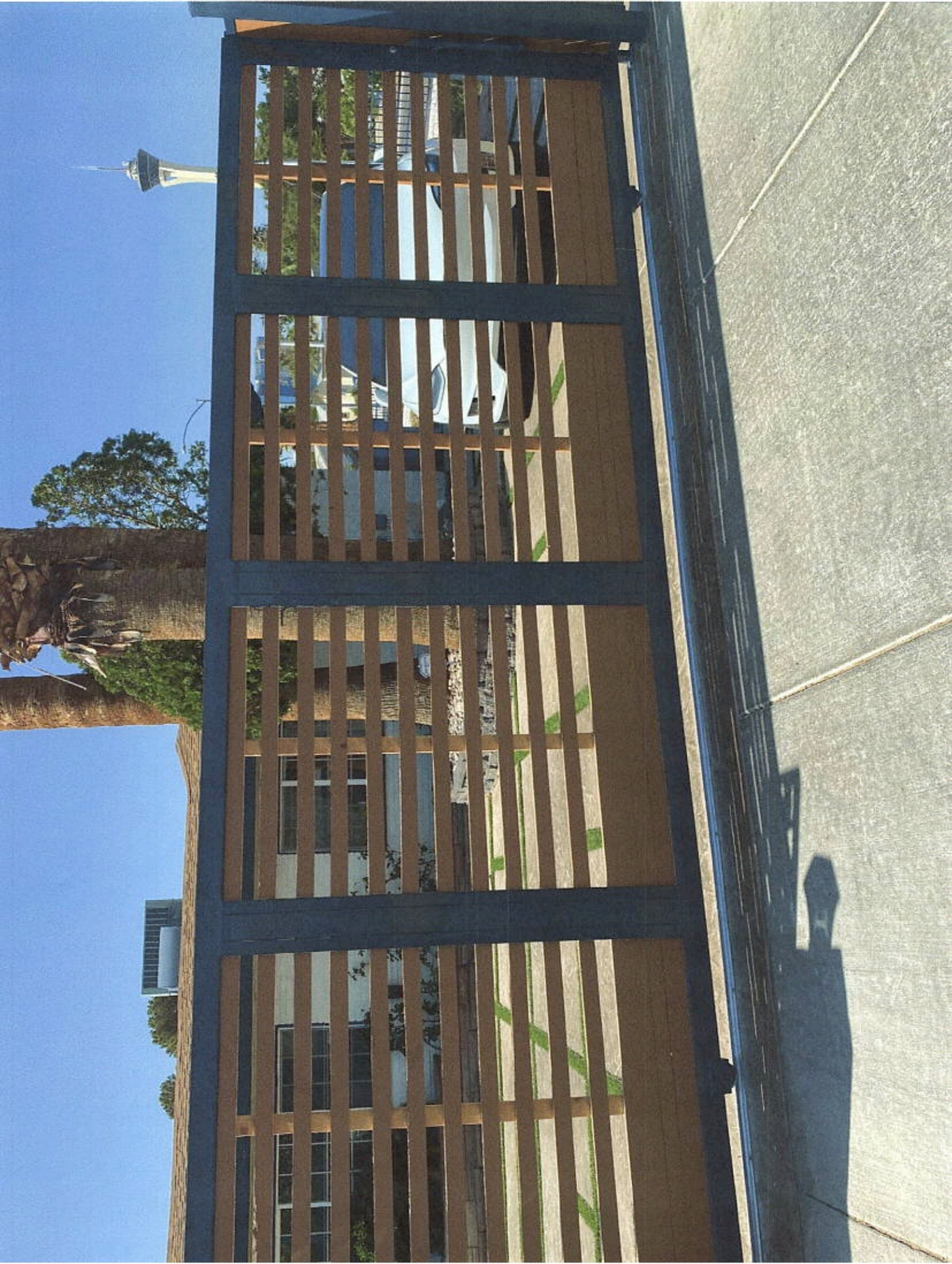
February 2022



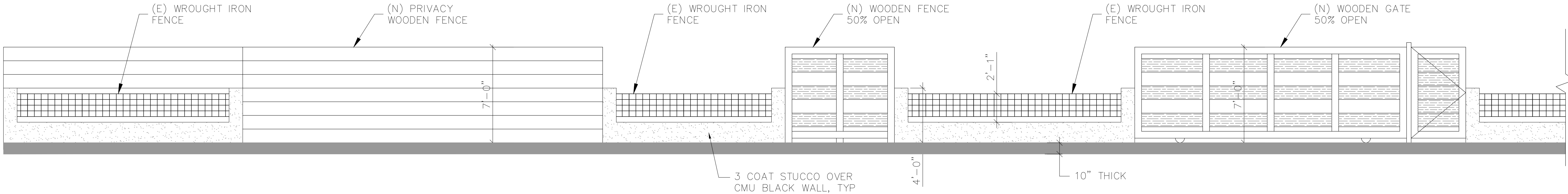








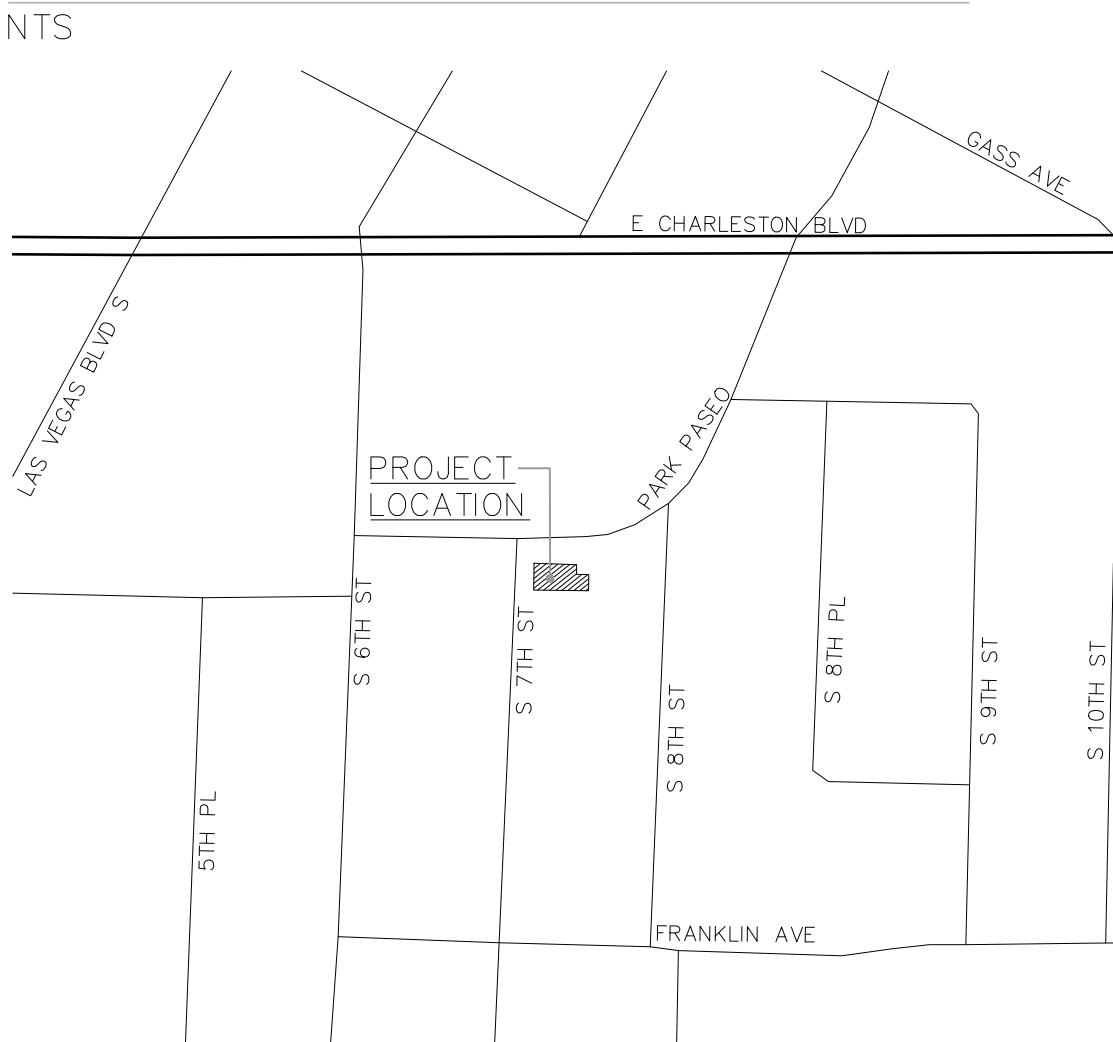




ELEVATION E — GATE

SCALE: 1/8" = 1'-0"

VICINITY MAP



CODE ANALYSIS

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

2018 IBC	2018 UPC
2018 IRC	2017 NEC
2018 UMC	2018 IECC
AND THE SOUTHERN NEVADA CODE AMENDMENTS	

LOT LOCATION:	700 PARK PASEO LAS VEGAS, NV 89104
PARCEL:	162-03-515-014
ESTIMATED LOT SIZE:	0.21 ACRES
JURISDICTION:	CITY OF LAS VEGAS
ZONING CLASSIFICATION:	SINGLE FAMILY RESIDENT RESTRICTED DISTRICT

OCCUPANCY CLASSIFICATION:	R-1
CONSTRUCTION TYPE:	V-B

HEIGHT:	ACTUAL: 17'
	ALLOWABLE: 25'

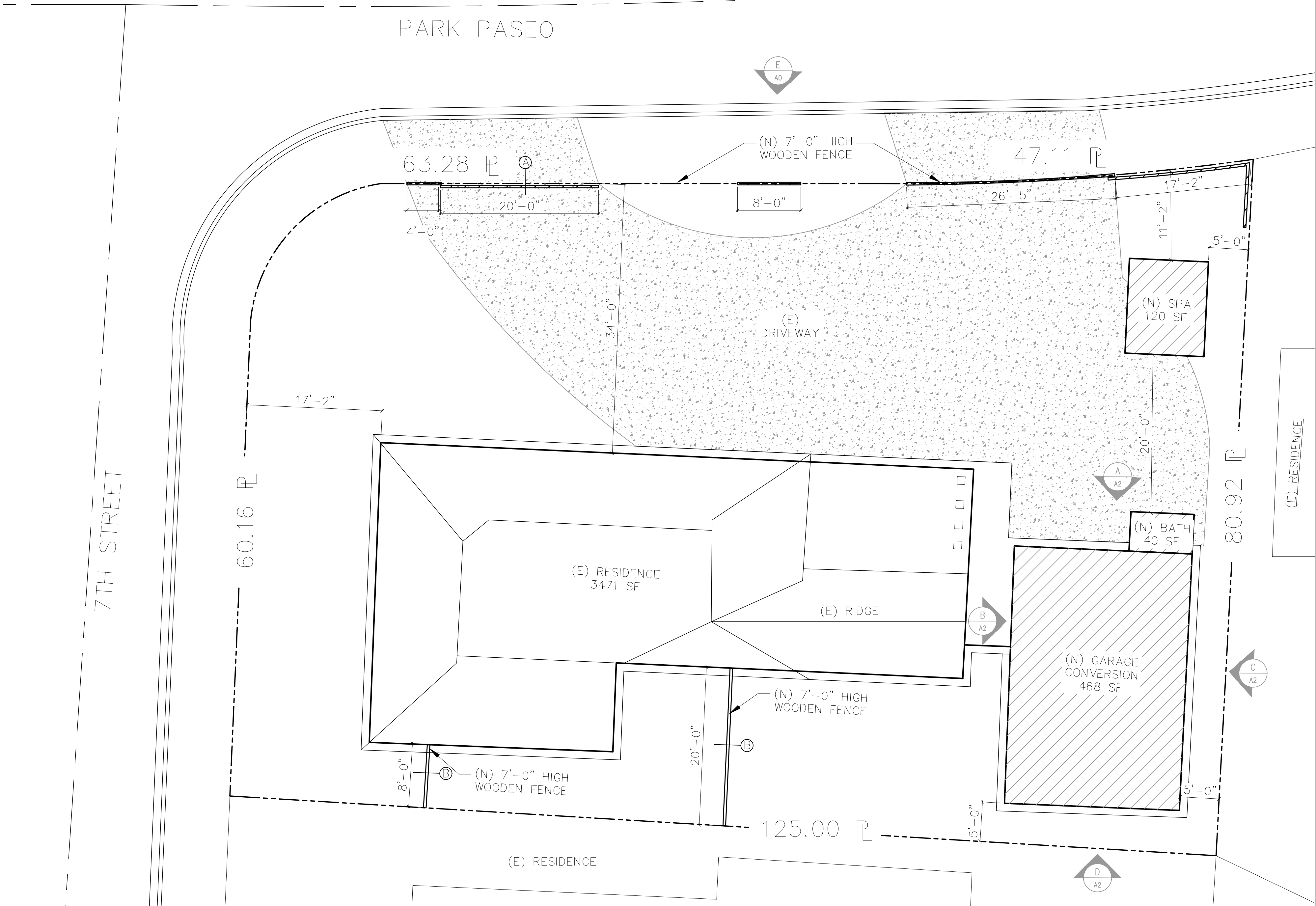
STORIES:	ACTUAL: (1)
	ALLOWABLE: (2)

AREA:	(E) RESIDENCE: 3,528 SF
	GARAGE CONVERSION: 468 SF
	BATHROOM: 40 SF

FIRE SPRINKLERS:	(E) RESIDENCE: NO
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SCOPE OF WORK

- 468 SF
1. NEW GARAGE CONVERSION
2. NEW 120 SF SPA
3. NEW 40 SF SPA BATH
4. NEW PROPERTY LINE WOODEN FENCES



SITE PLAN

SCALE: 1/8" = 1'-0"



ENGINEER

CONSULTANT

TURLEY HOME REMODEL

PROJECT:	162-03-515-104 700 PARK PASEO LAS VEGAS, NV 89104
CLIENT:	JOSEPH & VANESSA TURLEY 700 PARK PASEO LAS VEGAS, NV 89104

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PROJECT NO#:	21-088
DRAWN BY:	LM
CHECKED BY:	LJS

REV	DATE	DESCRIPTION

SHEET TITLE	SITE PLAN
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SHEET

A0

NEW INTERIOR WALLS: 1/2" DRYWALL
BOTH SIDES ON 2x6 STUDS AT 16" OC, UNO
WITH R-20 INSULATION.

NEW EXTERIOR WALLS: 3 COAT STUCCO
OVER 1/2" PLYWOOD WITH R-20 INSULATION
ON 2x6 STUDS AT 16" OC, UNO WITH 1/2"
GYPSBOARD INSIDE FACE.

ROOF VENTILATION 2018 IRC, SEC R806			
ROOM DESC	ATTIC	FACTOR	REQUIRED
(N) DETACH GARAGE AND POOL HOUSE	948 SQ FT	/ 150 =	6 SQ FT
	(1 BAY) SQ FT	BAY(S)	ACTUAL (SQ FT)
1 (BAY) @ 24" OC x 5' H	1.0 SQ FT	6	6 SQ FT

WINDOW SCHEDULE

NOTES:
1. ALL WINDOWS SHALL BE DUEL PANELED LOW E, 1" INSULATED GLASS FRAME STOBE WOOD W/ A U-FACTOR OF 0.25 MAX

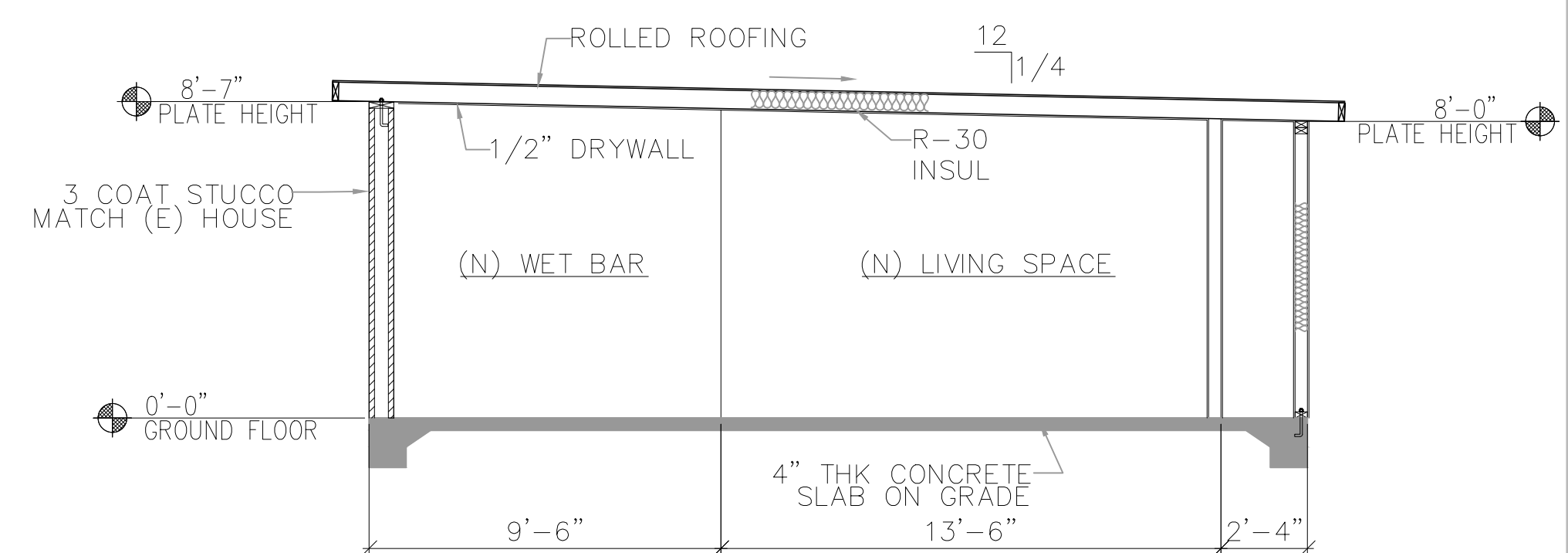
MARK	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	FRAME	REMARK	U VALUE	R VALUE
①	3'-0"	6'-8"	SWING	1-3/4" SOLID CORE	STAIN	VINYL	SELF CLOSING	0.25	19
②	13'-0"	13'-0"	ROLL		STAIN	-		0.25	19
③	17'-0"	8'-0"	SLDG		STAIN	-		0.25	19

Diagram illustrating the cross-section of a building addition, showing structural details and dimensions:

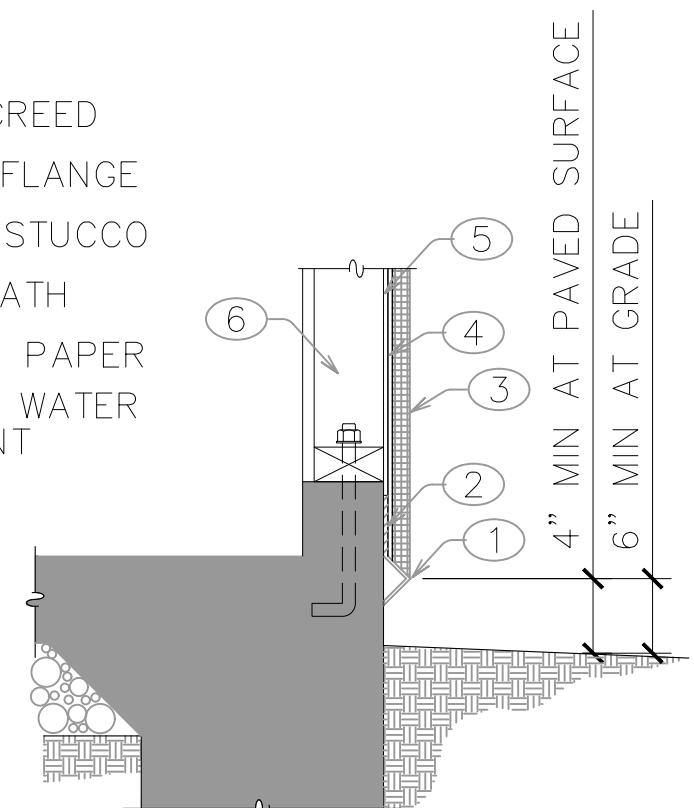
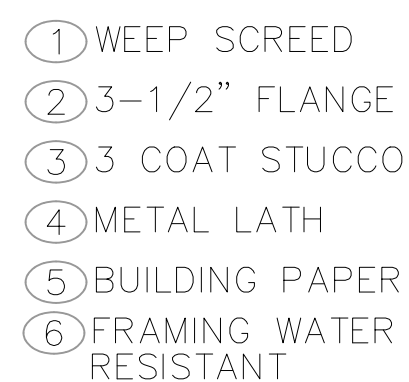
- 8'-0" PLATE HEIGHT
- TO 3 COAT STUCCO TO MATCH (E) HOUSE
- ROLLED ROOFING
- 1/2" DRYWALL
- R-30 INSUL
- 8" CMU WALL
- (N) LIVING SPACE
- 0'-0" GROUND FLOOR
- 4" THK CONCRETE SLAB ON GRADE
- 18'-8"

SCALE: 1/4" = 1'-0"

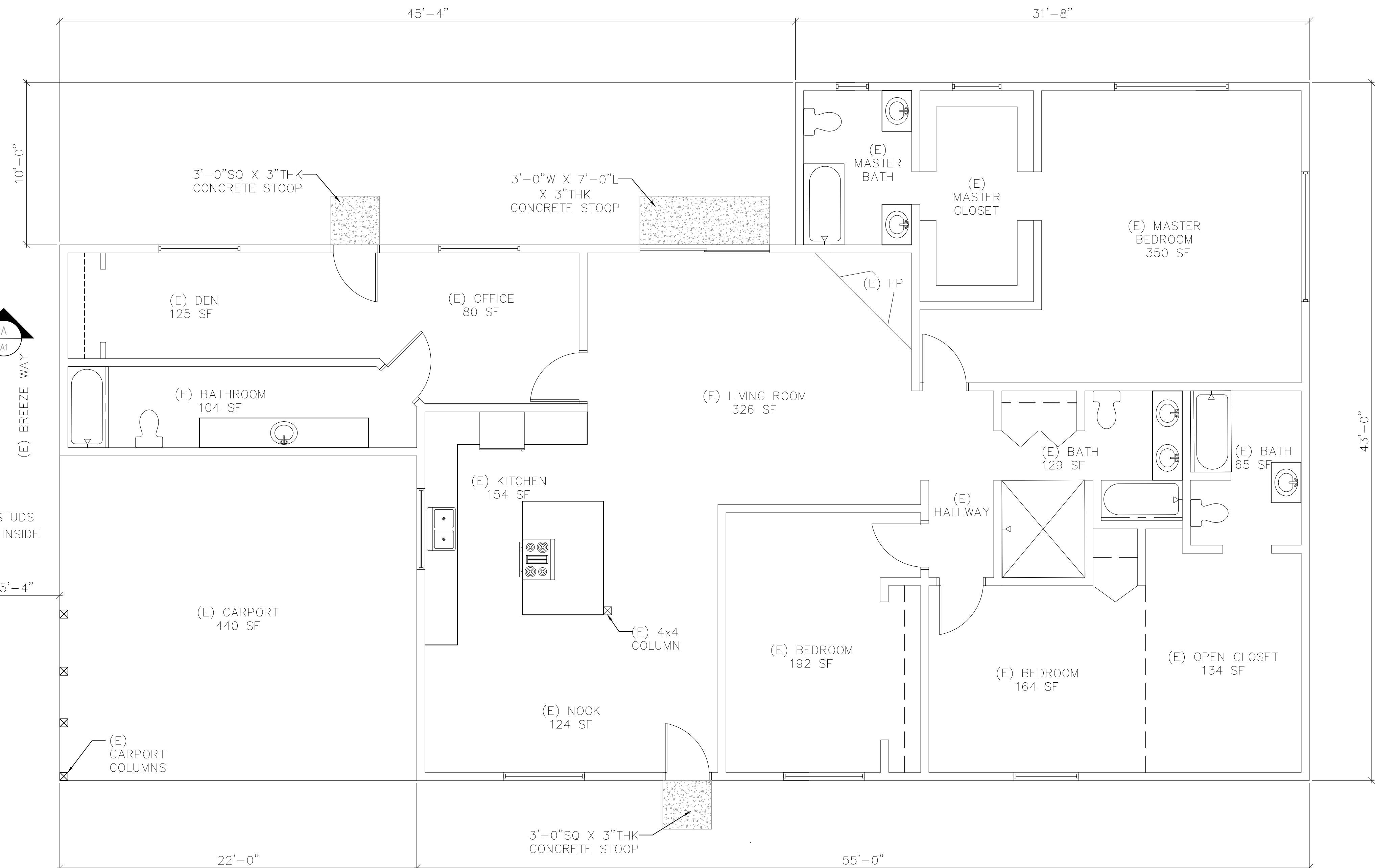
1. EACH STRUCTURE INCLUDED IN THIS PLAN SET (BUILDINGS, FENCES, RETAINING WALLS, POOLS, ENCLOSURES, ETC) REQUIRES A SEPARATE PERMIT AND APPLICATION. (MORE THAN ONE PERMIT MAY BE INCLUDED IN ONE SET OF PLANS)
2. WHERE 1/2" GYPSUM BOARD IS INSTALLED ON CEILINGS FRAMED AT 24" ON CENTER AND WHERE A WATER-BASED TEXTURE FINISH IS TO BE APPLIED, OR WHERE IT WILL BE REQUIRED TO SUPPORT INSULATION ABOVE A CEILING, THE 1/2" GYPSUM BOARD SHALL BE SAG RESISTANT CEILING BOARD OR INCREASED TO 5/8" GYPSUM BOARD.



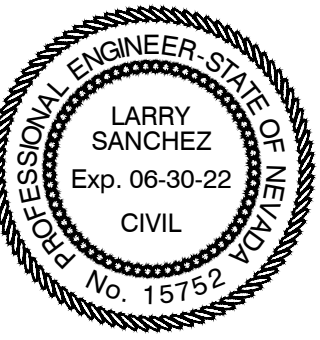
SCALE: $1/4" = 1'-0"$



A TYPICAL WEEP SCREED DETAIL



SCALE: 1/4" = 1'-0"



CONSULTANT

TURLEY HOME REMODEL

CLIENT:	PROJECT:
JOSEPH & VANESSA TURLEY 700 PARK PASEO LAS VEGAS, NV 89104	162-03-515-104 700 PARK PASEO LAS VEGAS, NV 89104

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CHECKED BY:	LJS

REV	DATE	DESCRIPTION

SHEET TITLE

FLOOR PLAN
AND
SECTIONS

SHEET

A1

ENGINEER



CONSULTANT

TURLEY HOME REMODEL

PROJECT:
162-03-515-104
700 PARK PASEO
LAS VEGAS, NV 89104

CLIENT:
JOSEPH & VANESSA TURLEY
700 PARK PASEO
LAS VEGAS, NV 89104

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REV	DATE	DESCRIPTION

SHEET TITLE
ELEVATIONS

SHEET

A2

