



DEPARTMENT OF PLANNING

Application / Petition Form & Statement of Financial Interest

Department Use

Case #
Meeting Date
Total Fee
Received By/Date

Case Type (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Zone Change & Tentative Map

Project Address (Location) Alpine & Appian

Project Name Alpine & Appian **Proposed Use** _____

Assessor's Parcel #(s) 138-36-811-000, 138-36-811-001 thru -034 **Ward #** 1

General Plan: Existing _____ Proposed _____ **Zoning:** Existing C-1 Proposed R-1

Additional Information _____

Property Owner MOGEN HOLDINGS CO LLC **Contact** _____

Address 345 N Maple Dr. Ste, 294 **City** Beverly Hills **State** CA **Zip** 90210

E-mail _____ **Phone** _____

Applicant Ambleside Properties LLLP **Contact** Rahoul Sharan

Address 4471 Dean Martin Dr. #806 **City** Las Vegas **State** NV **Zip** 89103

E-mail rahoulsharan@gmail.com **Phone** 604-889-9051

Representative Taney Engineering **Contact** Elisha Scrogum

Address 6030 S. Jones Blvd **City** Las Vegas **State** NV **Zip** 89103

E-mail elishas@taneycorp.com **Phone** 702-362-8844

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official _____ **Partner(s)** _____

Partner(s) _____

- I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

Property Owner Signature _____

An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

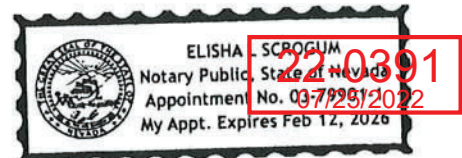
Print Name Rahoul Sharan

Subscribed and sworn before me

This 23rd day of June, 2022

Elisha Scrogum

Notary Public in and for said County and State





DEPARTMENT OF PLANNING

TENTATIVE MAP APPLICATION CHECKLIST

The following information/data shall be submitted with each tentative map application:

A. Tentative Map Contents

- ☒ 1. Name of the proposed subdivision.
- ☒ 2. Names, addresses and phone numbers of owner, subdivider and surveyor or engineer.
- ☒ 3. A legend which denotes the meaning of all the symbols used and which includes the date, north arrow and scale.
- ☒ 4. A location map giving sufficient legal description to describe tract boundaries and relationships to surrounding areas and existing public streets.
- ☒ 5. Identification of adjoining properties.
- ☒ 6. Existing topography (obtained by actual survey at one (1) foot contours (based on city datum) on site and within one hundred fifty (150) feet of the proposed subdivision (except for the interior of existing subdivisions within one hundred, fifty (150) feet). The Department of Public Works may require larger contour intervals for large tracts.
- ☒ 7. Existing structures and other physical features.
- ☒ 8. Existing and proposed lot lines and dimensions. Each proposed lot shall be numbered in sequence, and each block shall be numbered or lettered. Letters may be used to identify common lots.
- ☒ 9. Existing and proposed street right of way widths, grades (with the direction of drainage indicated) and corner radii.
- ☒ 10. Existing and proposed street names.
- NR

 11. Except for commercial subdivisions, existing and proposed street addresses or address ranges for each block, in accordance with the City's street addressing regulations.
- ☒ 12. Locations and widths of existing and proposed utility rights-of-way and easements.
- ☒ 13. Locations and widths of existing and proposed irrigation or drainage ditch rights-of-way and easements.
- NA

 14. Existing and proposed storm drains.
- ☒ 15. Proposed sanitary sewer systems, showing pipe sizes, manholes, direction of flow and point of connection to existing facilities.
- ☒ 16. Existing and proposed potable water mains and, for subdivisions to be supplies by wells, the location, pressure and capacity of such wells, and the potential population capable of being served by such wells. The wells must be authorized under State certificate.
- ☒ 17. Proposed reservations or dedications for parks, trails, open spaces, schools, or other public or quasi public uses.

22-0391

07/28/2022

- ☒ 18. Existing street names, rights of way and pavement widths for streets within one hundred fifty (150) feet of the proposed subdivision.
- NR

 19. If required, an Impact Statement in accordance with LVMC 19.16.010 (E) and a Traffic Management Plan.
- ☒ 20. Note on the map indicating whether streets, drainage corridors, sewer corridors, parks, trails, open spaces and schools are to be public or private.
- NR

 21. Note on the map that above ground utility boxes shall not be placed within trail corridors, if trail areas are designated on the map.

B. Supplemental Information

The following supplemental information may be required by the Department of Public Works or the Department of Planning. When required, it shall be submitted on separate drawings or sheets.

- NA

 1. A Traffic Impact Analysis, Single Subdivision Access Report, or Master Driveway and Onsite Circulation Plan, prepared in accordance with City standards or as directed by the City Traffic Engineer.
- NA

 2. Development Impact Notice and Assessment (DINA) per LVMC 19.16.010 (E) of the Unified Development Code.
- ☐ 3. Any proposed deviations from City standards. **DEVIATIONS MUST BE IDENTIFIED ON MAP SUCH AS "KNUCKLE".**
- ☐ 4. A copy of the deed for the property, if required.
- ☐ 5. Whenever, on the perimeter of a project, walls are proposed which (1) face a public street or adjoining property not in common ownership; (2) are within a single plane and are not separated by landscaping; and (3) exceed the maximum acceptable wall heights indicated in Title 19 or other applicable Master Plan, the applicant shall submit three copies of a plan or proposed perimeter grades which indicates all such walls. This plan may be super imposed on the tentative map but must be legible. The plan shall include cross sections of all sections of the project perimeter with walls which exceed the heights indicated in above.
- ☐ 6. A compatible digital format copy of the tentative map.
- ☐ 7. If applicable, a letter indicating that an in lieu of park is proposed.

Reviewed by: _____

Department of Public Works Signature: _____

Date: _____

22-0391
07/22/2022

EXHIBIT "A"

THE PURPOSE IS TO VACATE A PORTION OF RIGHT-OF-WAY OF APPIAN WAY DEDICATED PER 321:0280600 O.R. AND 653:0524908 O.R.

22-0391
07/22/2022

THE WEST 25.5 FEET OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTH EAST QUARTER (SE 1/4) OF SECTION 36, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M. AND THE AREA OF A 15 FOOT RADIUS SPANDREL IN THE SOUTHWEST CORNER, TANGENT OF THE WEST BY THE EAST LINE OF SAID WEST 25.5 FEET AND TANGENT ON THE SOUTH BY THE NORTH LINE OF THE SOUTH 30 FEET OF SAID NORTHEAST QUARTER (NE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTH EAST QUARTER (SE 1/4) OF SECTION 36;

EXCEPTING THEREFROM THE SOUTH 30 FEET OF SAID WEST 25.5 FEET.

ATTACHED HERETO ARE MAPS TITLED "EXHIBIT B" AND BY THIS REFERENCE, ARE MADE A PART HEREOF.

PURPOSE:	RIGHT-OF-WAY VACATION
PREPARED BY:	STEVEN M DUMOVICH 6030 SO. JONES BOULEVARD LAS VEGAS, NEVADA 89118
JOB NAME:	ALPINE & APPIAN
JOB NUMBER:	SHN22005
GOVERNING ENTITY:	CITY OF LAS VEGAS
FILE NAME:	SHN22005 ROW VAC

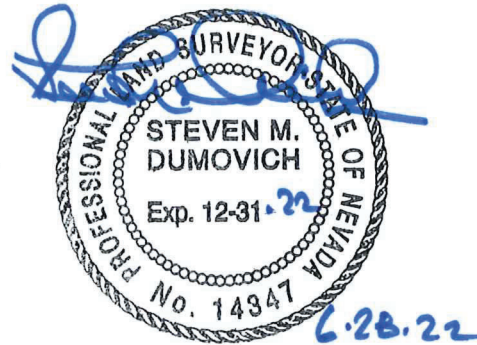
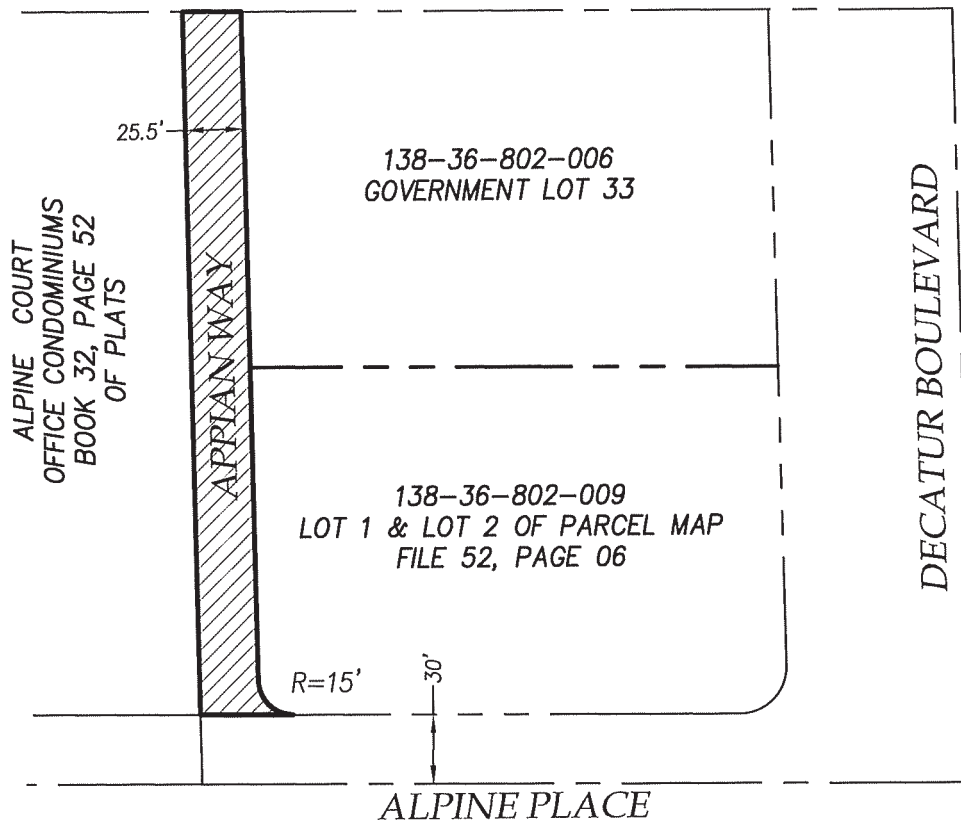


EXHIBIT B



22-0391
07/22/2022

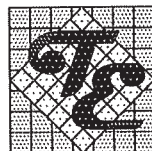


RIGHT-OF-WAY DEDICATED PER 653:0524908
O.R. & 321:0280600 O.R. TO BE VACATED

EXHIBIT TO ACCOMPANY
LEGAL DESCRIPTION

SHT 1 OF 1

DATE: 6.29.22



TANEY ENGINEERING
6030 S. JONES BOULEVARD
LAS VEGAS, NEVADA 89118
(702) 362-8844 FAX: (702) 362-5233

1. THE SUBMITTER INTENDS TO OBTAIN A PERMIT TO EXCAVATE AND REDEVELOP THE SITE.
2. THE SITE CONTAINS NO KNOWN OR SUSPECTED CONTAMINATION.
3. THE SITE IS BEING PREPARED FOR REDEVELOPMENT AND MAY BE USED FOR ANY PURPOSE.

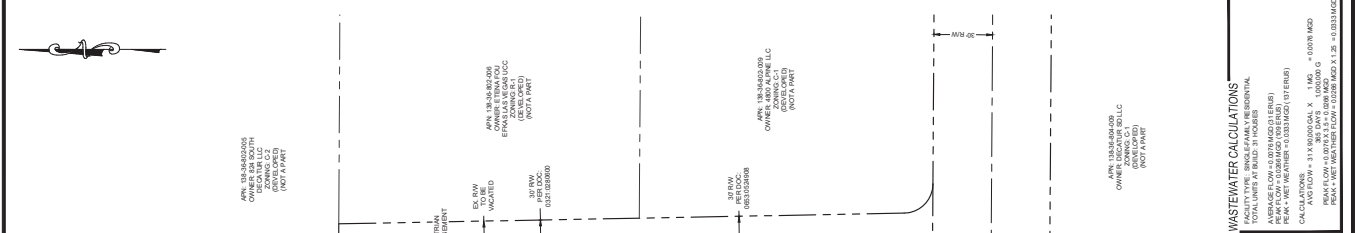
VICINITY MAP

NOT



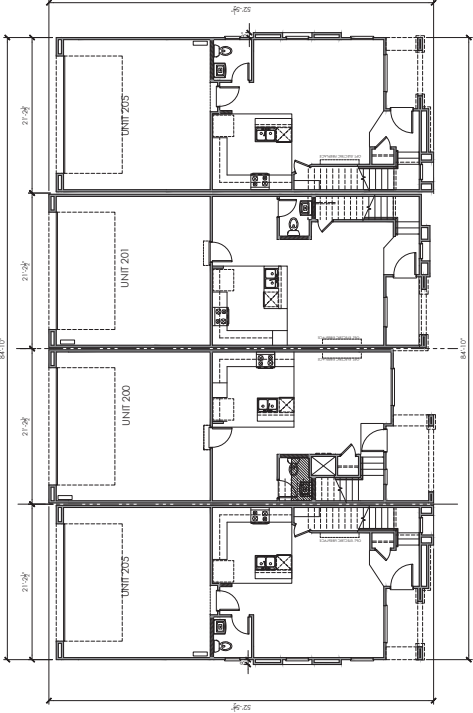
EXISTING UTILITY LOCATIONS
CONTRACTORS RESPONSIBLE
LOCATION OF ALL EXISTING
CONSTRUCTION, NO REPAIRS
HEREON. THE ENGINEER AS
UTILITIES NOT SHOWN IN THE

POWER POLE
STORM DRAIN / MANHOLE
SIDEWALK
EDGE OF PAVEMENT
FIRE HYDRANT
SEWER LINE / MANHOLE
WATER LINE
STREET LIGHT

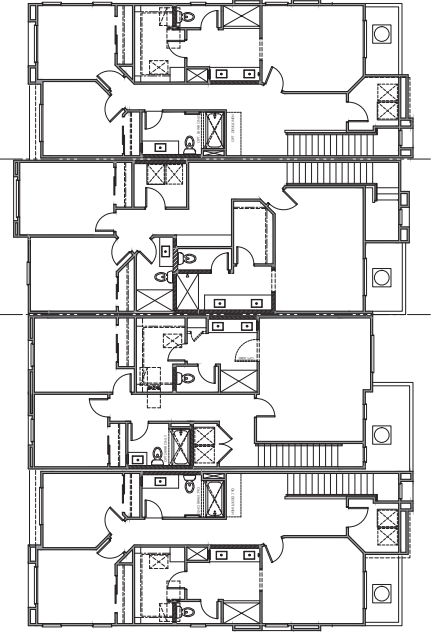


CALL

OR
1-800-227-2600



FIRST FLOOR



SECOND FLOOR

RFT DESIGN
ARCHITECTURE
PLANNING
LANDSCAPE
GRAPHICS
RFTDESIGN.COM

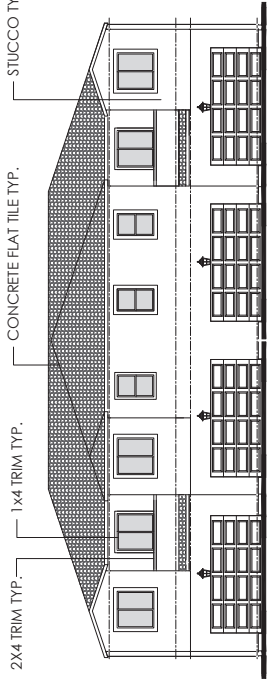
13700 ALTON PKWY
IRVINE
CALIFORNIA
92618
714.652.4611 / 0605
714.652.8333 / 0603

4 UNIT BUILDING
FLOOR PLANS

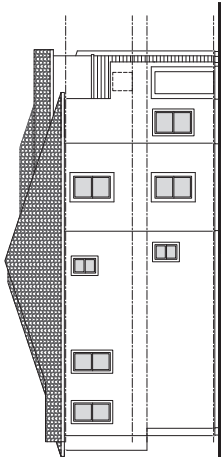
22-0391

ALPINE AND APPIAN COURT - FAMILY

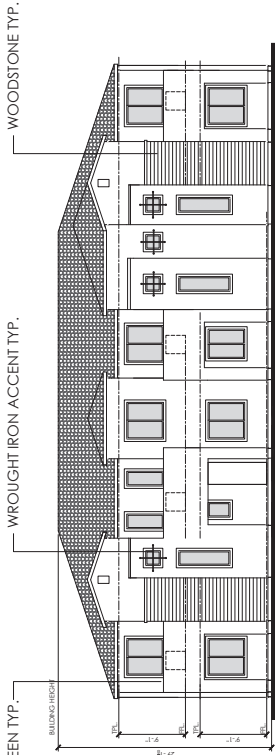
HARMONY HOMES	PROJECT NO. 22020	TITLE: FLOOR PLANS
DATE 10.05.22	SCALE 1/8" = 1'-0"	



REAR ELEVATION

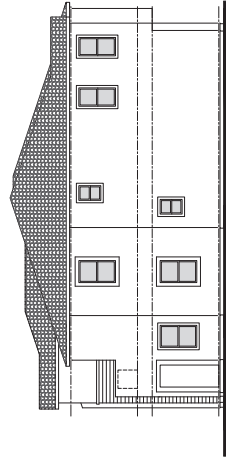


LEFT ELEVATION



UNIT C UNIT B UNIT A UNIT C

FRONT ELEVATION



RIGHT ELEVATION



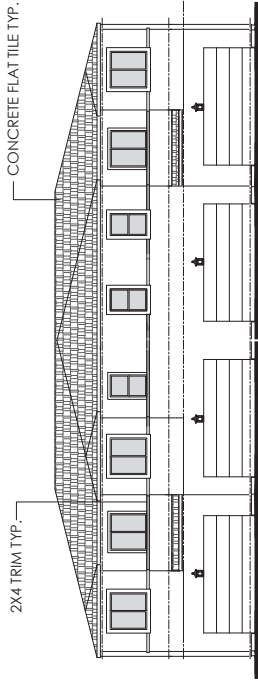
RFI DESIGN
ARCHITECTURE
PLANNING
LANDSCAPE
GRAPHICS
13700 AULTON PKWY
IRVINE
CALIFORNIA
92618
714.924.1060
714.924.1065
714.924.1063
RFIDESIGN.COM

4 UNIT BUILDING 'A'
ELEVATIONS

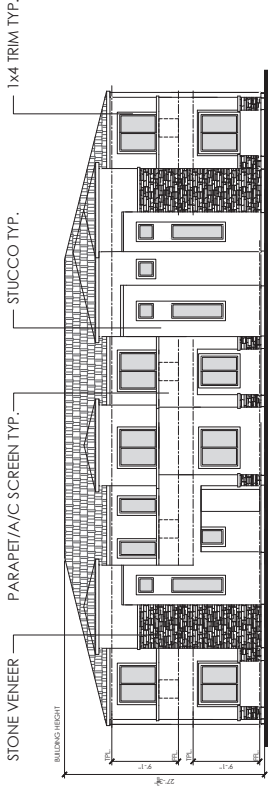
22-0391

ALPINE AND APPIAN COURT - FAMILY

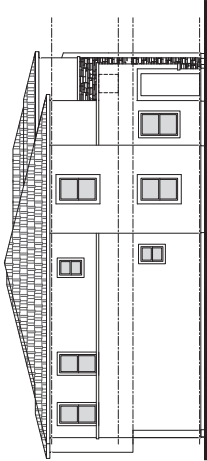
PROJECT NO. 22020		TITLE: ELEVATIONS	
DATE: 10.05.22		SCALE: 1/8" = 1'-0"	



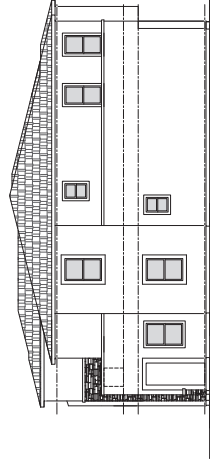
REAR ELEVATION



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

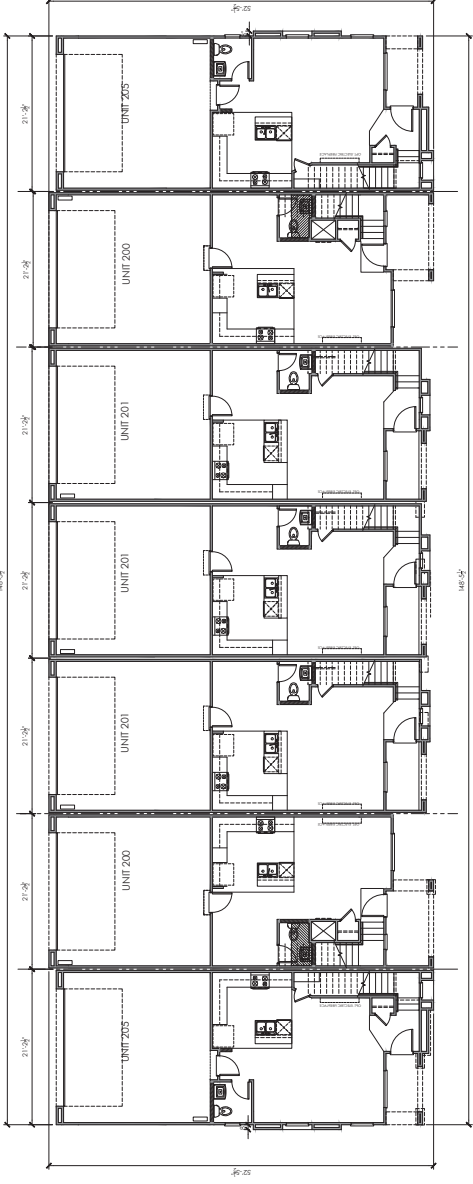


RTI DESIGN
ARCHITECTURE
PLANNING
LANDSCAPE
GRAPHICS
13700 ALTON PKWY
IRVINE
CALIFORNIA
92618
714.962.1060
RTIDESIGN.COM

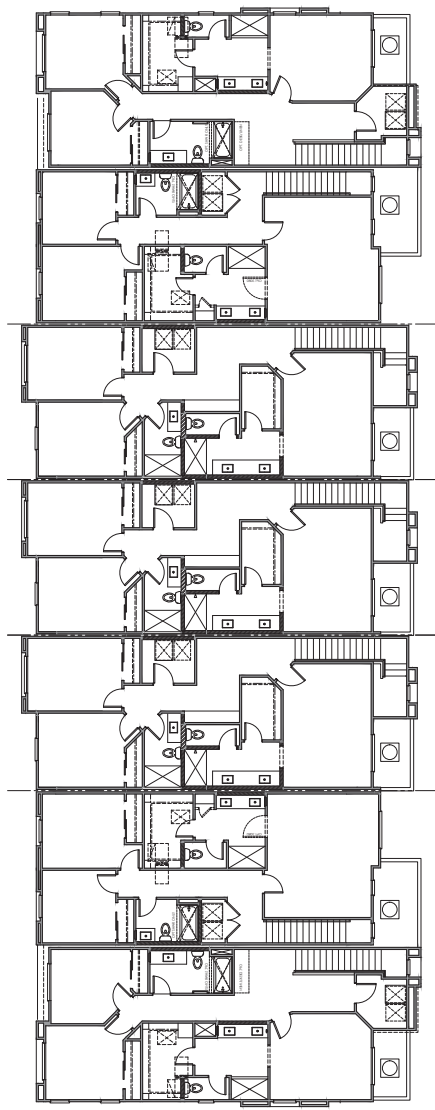
4 UNIT BUILDING 'B' ELEVATIONS

22-0391
ALPINE AND APPIAN COURT - FAMILY

HARMONY HOMES
PROJECT NO. 22020
DATE 10.03.22
TITLE ELEVATIONS
SCALE 1/8" = 1'-0"



FIRST FLOOR



SECOND FLOOR

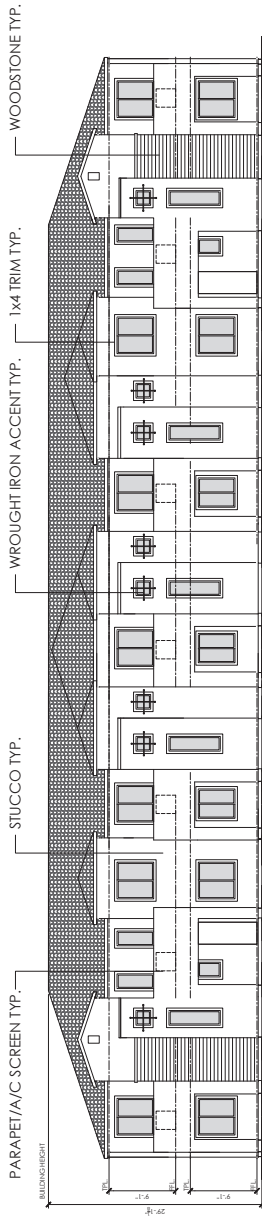
22-0391
ALPINE AND APPALACHIAN HILLS - FAMILY

HARMONY HOMES
PROJECT NO. 22020
DATE 10.05.22
TITLE FLOOR PLANS
SCALE 1/8" = 1'-0"

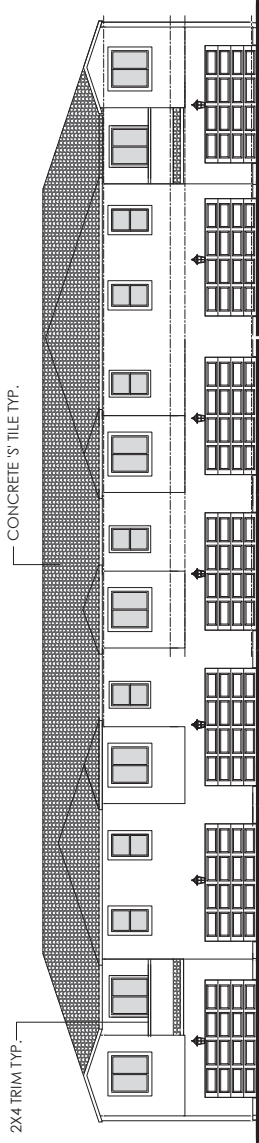
7 UNIT BUILDING
FLOOR PLANS

RFT DESIGN
ARCHITECTURE
PLANNING
LANDSCAPE
GRAPHICS
RFTDESIGN.COM
13700 AULTON PKWY
IRVINE
CALIFORNIA
92618
714.952.4611
714.952.8133

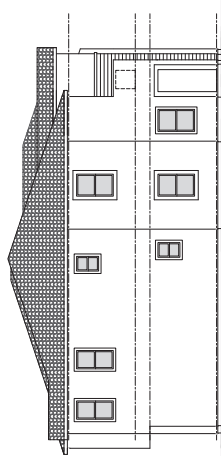




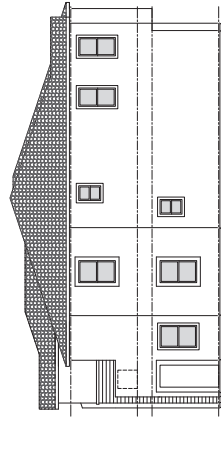
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



RFI DESIGN
ARCHITECTURE
PLANNING
LANDSCAPE
GRAPHICS
13700 ALTON PKWY
IRVINE
CALIFORNIA
92618
714.961.0605
P48@RFI.COM
RFIDESIGN.COM

7 UNIT BUILDING 'A' ELEVATIONS

HARMONY HOMES

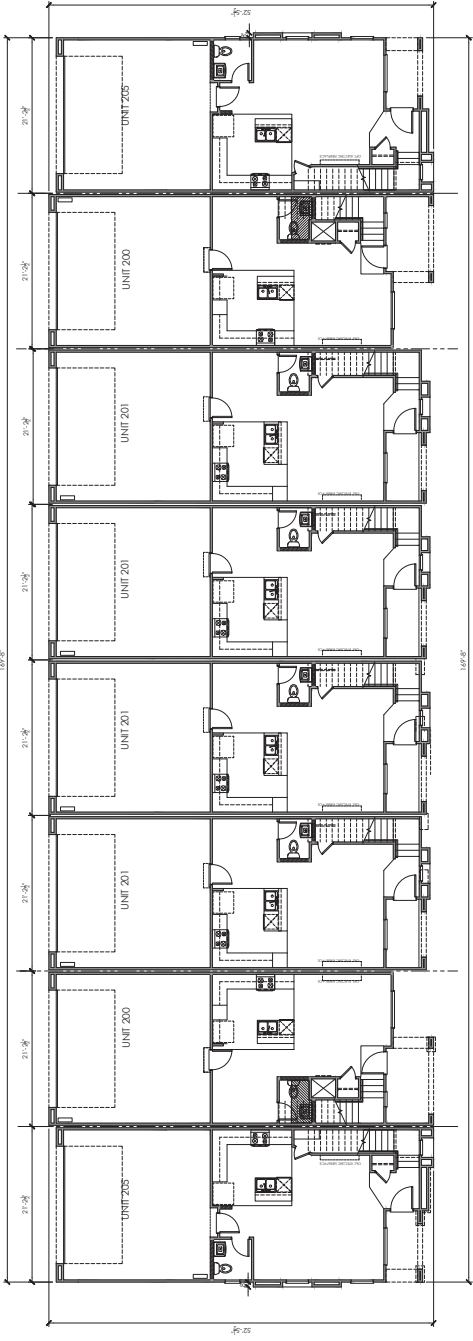
PROJECT NO. 22020

DATE 10.05.22

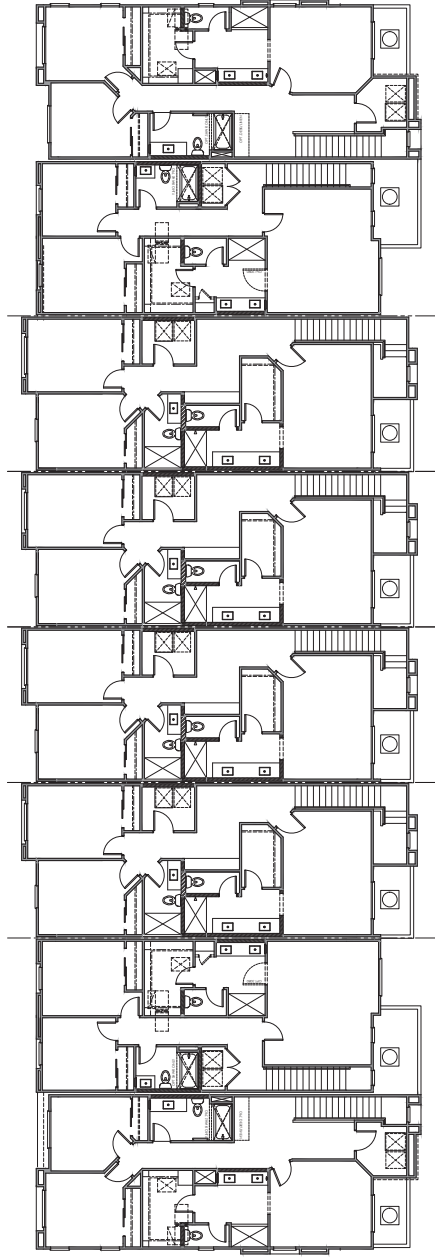
TITLE: ELEVATIONS

SCALE 1/8" = 1'-0"

22-0391
ALPINE AND APPALOOSA T-FAMILY



FIRST FLOOR



SECOND FLOOR

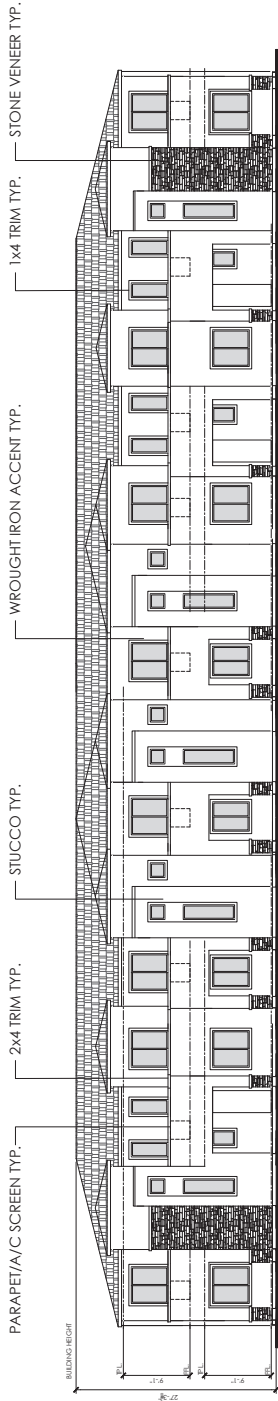
22-0391
ALPINE AND APPIAN COURT - FAMILY

HARMONY HOMES
PROJECT NO. 22020
DATE 10.05.22
TITLE FLOOR PLANS
SCALE 1/8" = 1'-0"

8 UNIT BUILDING
FLOOR PLANS

RFT DESIGN
ARCHITECTURE
PLANNING
LANDSCAPE
GRAPHICS
13700 ALTON PKWY
IRVINE
CALIFORNIA
92618
714.952.4611
RFTDESIGN.COM

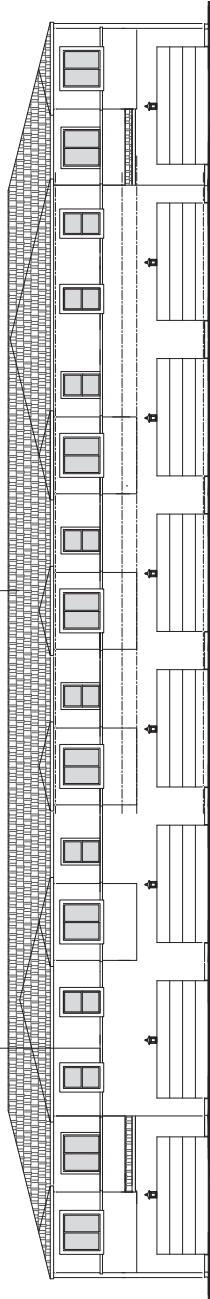




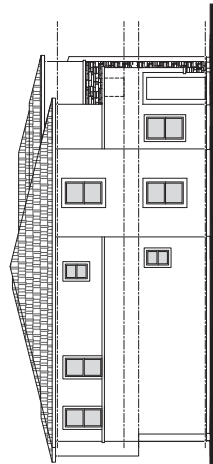
UNIT 205 UNIT 200 UNIT 201 UNIT 201 UNIT 200 UNIT 205

FRONT ELEVATION

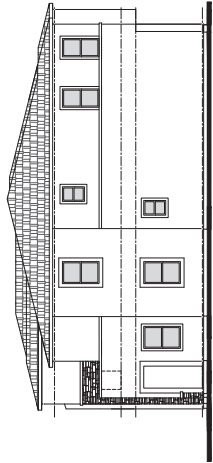
2x4 TRIM TYP.



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

RFT DESIGN
ARCHITECTURE
PLANNING
LANDSCAPE
GRAPHICS
RFTDESIGN.COM
13700 ALTON PKWY
IRVINE
CALIFORNIA
92618
714.952.1060
714.952.1065

8 UNIT BUILDING 'B'
ELEVATIONS

22-0391
ALPINE AND APPALOOSA T-FAMILY

HARMONY HOMES
PROJECT NO. 22020
DATE 10.05.22
TITLE ELEVATIONS
SCALE 1/8" = 1'-0"



