



# DEPARTMENT OF PLANNING

## Application / Petition Form & Statement of Financial Interest

### Department Use

Case #
Meeting Date
Total Fee
Received By/Date

**Case Type** (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Site Development Review, Variance

**Project Address** (Location) 638 N 9th St

**Project Name** 9th Street Multi-family **Proposed Use** 8 Unit Multi-family

**Assessor's Parcel #(s)** 13926410012 **Ward #** 5

**General Plan:** Existing ☒ Proposed ☐ **Zoning:** Existing ☒ Proposed ☐

**Additional Information** We are requesting a variance to back up into 9th street, a parking waiver to reduce the amount of parking spots from 12 to 6, and a landscape waiver.

**Property Owner** Square Trade Holdings LLC **Contact** Dave Walnum

**Address** 4345 Corporate Center Dr Ste200 **City** N Las Vegas **State** NV **Zip** 89030

**E-mail** Chrisi@westerntrades.net **Phone** 702-469-2543

**Applicant** Square Trade Holdings LLC **Contact** Chrisi Reyes

**Address** 4345 Corporate Center Dr Ste200 **City** N Las Vegas **State** N Las **Zip** 89030

**E-mail** Chrisi@westerntrades.net **Phone** 702-469-2543

**Representative** Square Trade Holdings LLC **Contact** N Las Vegas

**Address** 4345 Corporate Center Dr Ste200 **City** N Las Vegas **State** N Las **Zip** 89030

**E-mail** Chrisi@westerntrades.net **Phone** 702-469-2543

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

**City Official** \_\_\_\_\_ **Partner(s)** \_\_\_\_\_

**Partner(s)** \_\_\_\_\_

- I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

**Property Owner Signature** Dave Walnum

An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

**Print Name** David Walnum

Subscribed and sworn before me

This 12 day of January, 20 23

Notary Public in and for said County and State



PROJECT NAME

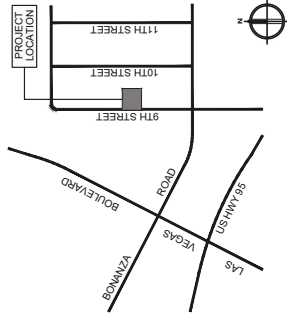
SPECIAL USE PERMIT FOR:

**9TH STREET  
8 PLEX**  
638 N. 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

PROJECT INFORMATION

OWNER: SQUARE TRADE HOLDINGS LLC  
SITE ADDRESS: 638 N. 9TH ST., LAS VEGAS NV 89101  
ASSessor'S PARCEL NUMBER: 139-26-410-012  
APPLICATOR: LAS VEGAS  
ZONING CLASSIFICATION: UNIFIED MULTIPLE RESIDENCE DISTRICT (U-MR-3)  
ESTIMATED LOT SIZE: 5,848 SQ. FT. (APPROX. 133' X 43' 6")  
BUILDING TYPE: 8 PLEX (8 UNITS)  
1ST FLOOR (4 UNITS) - 2,728 SQ. FT.  
2ND FLOOR (4 UNITS) - 3,120 SQ. FT.  
TOTAL - 5,848 SQ. FT.  
LOT COVERAGE: 40%  
MAXIMUM LOT COVERAGE PERCENTAGE: 40%  
REQUIRED PARKING STALLS: 7 STANDARD STALLS | 1 HANDICAP STALL = 8 TOTAL STALLS  
PROPOSED PARKING STALLS: 5 STANDARD STALLS | 1 HANDICAP STALL = 6 TOTAL STALLS

LOCATOR MAP



22-0675  
12/08/2022

STAMP

REVISIONS

APR 12 2022

Original

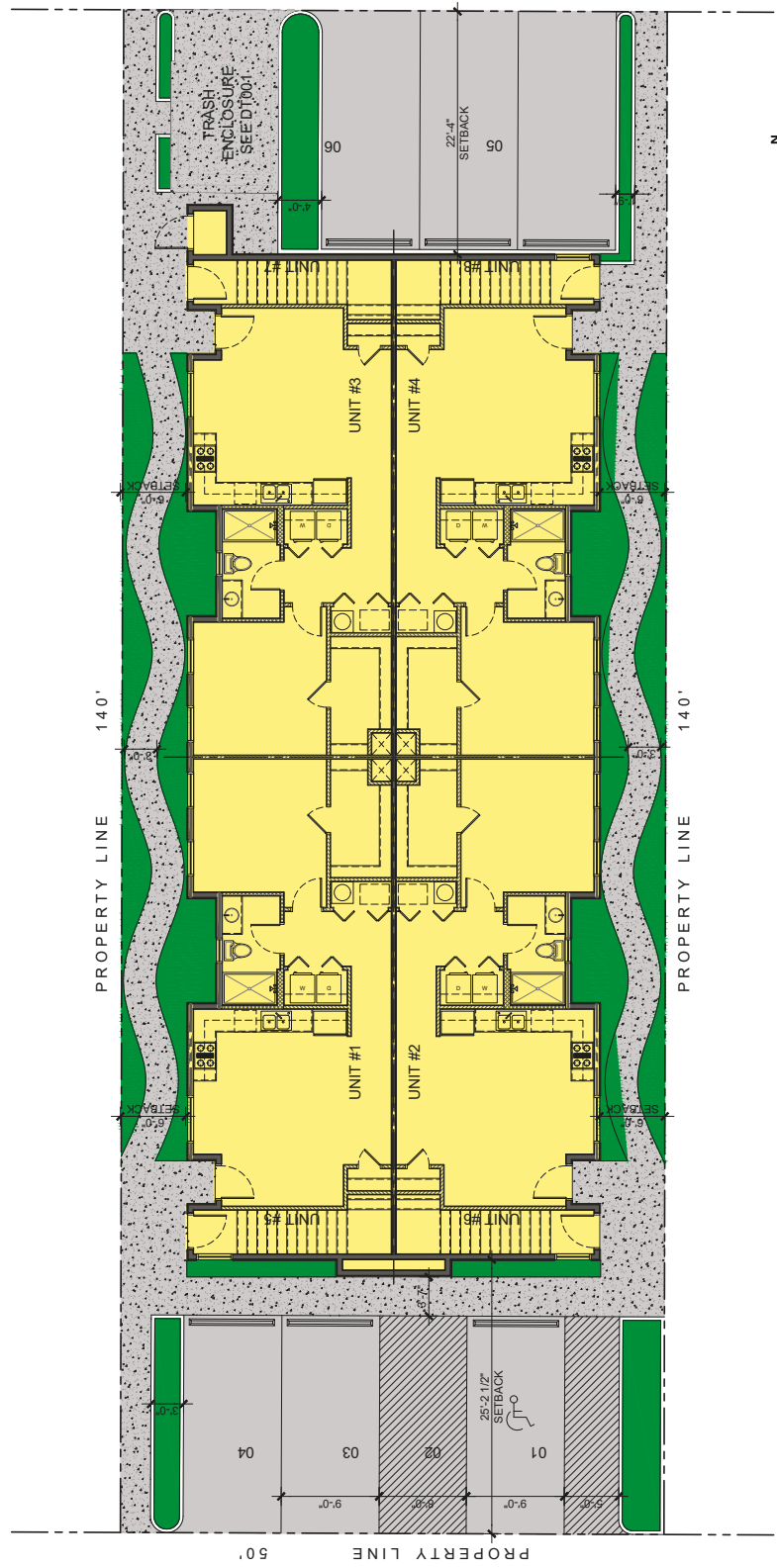
DATE

DESCRIPTION

DESIGN REVIEW SET FOR:  
9TH STREET  
8 PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

N. 9TH STREET

ALLEY WAY



1 PROPOSED SITE PLAN

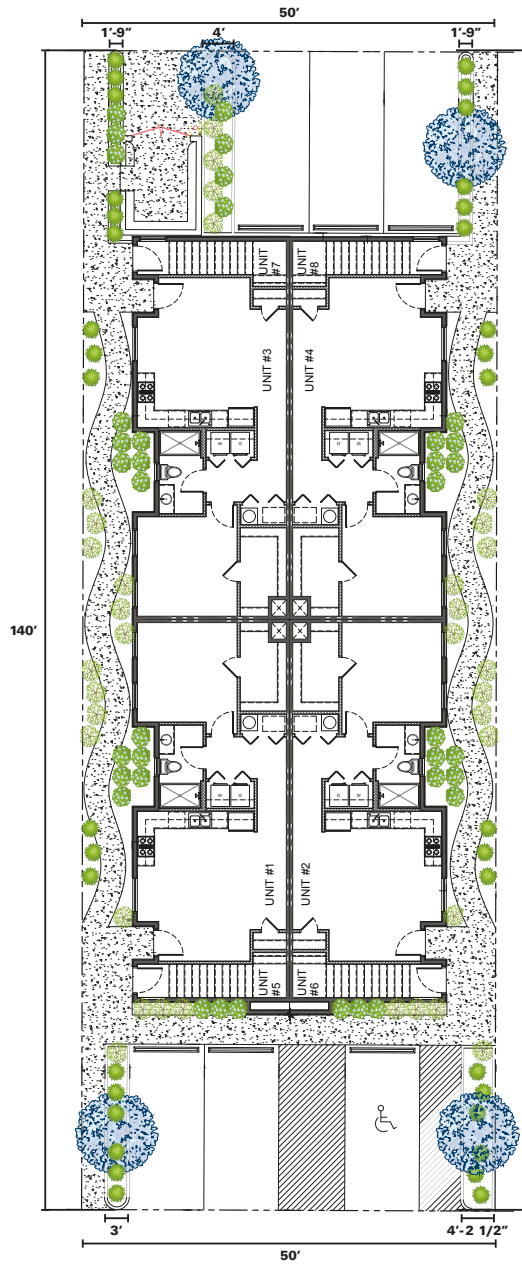
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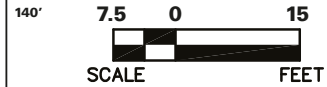
WESTERN TRADES  
CONSTRUCTION, INC.  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT  
9TH STREET  
8 PLEX  
SHEET CONTENT  
SITE PLAN

DATE: DECEMBER 8, 2022  
LOG NUMBER: 003-19008  
SHEET: SP001



**SCALE: 1" = 15'**



PLANS BY: RUSSELL WILLIAMS DESIGN

**NOTES:**

1. Install a 2" layer of 3/4" Screened Rock Mulch in all Landscape areas.
2. All flat work, pathways, curb, gutter plantmix bituminous surface and CMU walls to be constructed builder per approved plans
3. All lot grading and hose placement shall be done by builder per approved plans
4. A new irrigation system will be installed

Designs are property of Unique-Scape & Design and may not be used by anyone without written consent by Unique-Scape & Design. These plans are schematic in nature only and are a general representation of the completed product. They will vary due to the site conditions.

LEGEND: 3/4" MINUS "APACHE GOLD" ROCK MULCH

SIGNATURE: Bob Whitton  
COMPANY: Unique-Scape & Design

**9TH STREET 8 PLEX**

TYPE	SCALE	DATE	REVISION	APPROVED BY
COMPLEX EXTERIOR LANDSCAPING	1" = 15'	1/29/20	4	

**TREE SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Prunus cerasifera	PURPLE LEAF PLUM	24" BOX	4

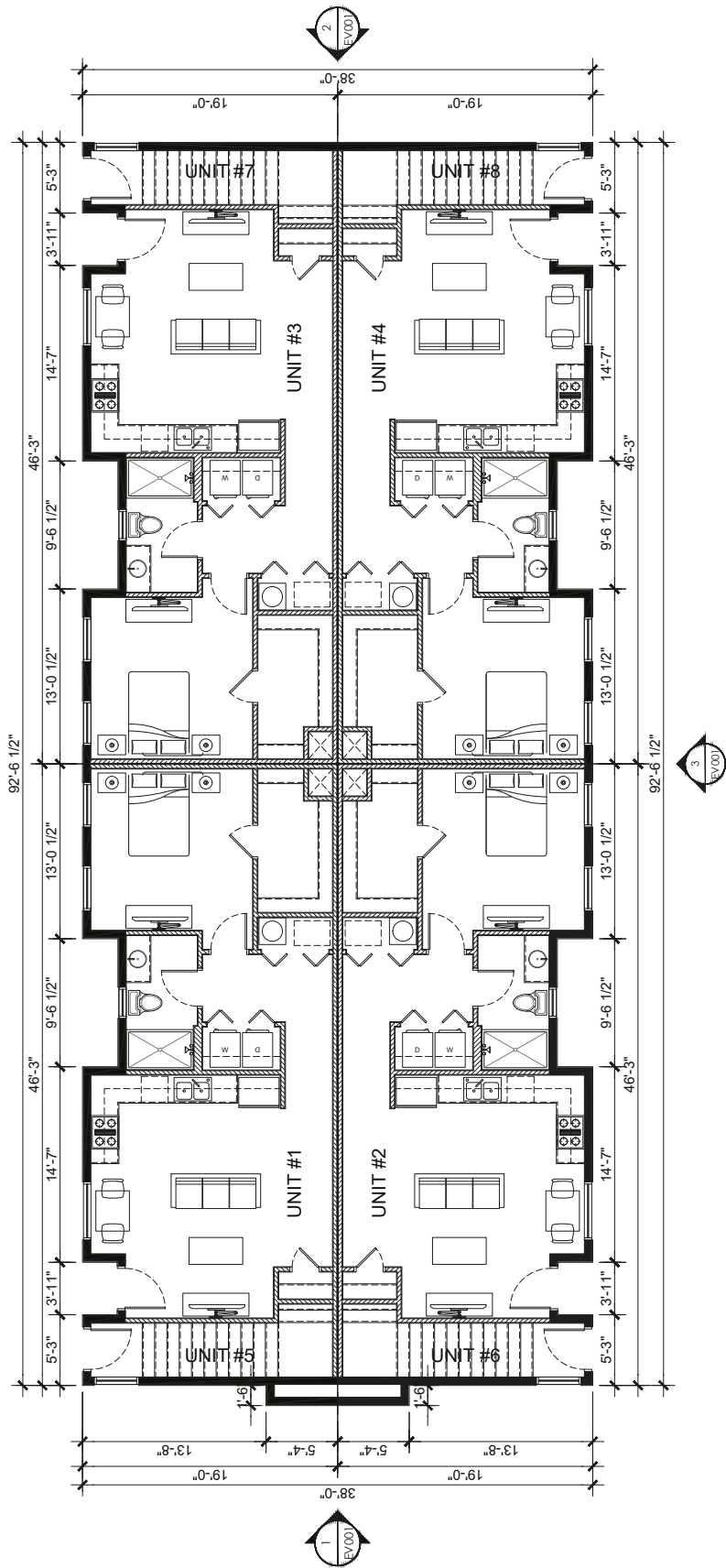
**SHRUB SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Leucophyllum frutescens 'Green Cloud'	GREEN CLOUD TEXAS RANGER	5 GAL	35
	Lantana montevidensis	TRAILING LANTANA	5 GAL	37
	Pittosporum tobira 'Wheeler's Dwarf'	DWARF MOCK ORANGE	5 GAL	36

**22-0675**  
**12/08/2022**

FLOOR AREA CALCULATION	
SUBTOTAL AREAS	2,728 SQ. FT.
STAIRS (UNITS 1-4)	3,120 SQ. FT.
STAIRS (UNITS 5-8)	5,848 SQ. FT.
TOTAL	11,696 SQ. FT.
UNIT 1	682 SQ. FT.
UNIT 2	682 SQ. FT.
UNIT 3	682 SQ. FT.
UNIT 4	682 SQ. FT.
UNIT 5	780 SQ. FT.
UNIT 6	780 SQ. FT.
UNIT 7	780 SQ. FT.
UNIT 8	780 SQ. FT.

22-0675  
12/08/2022



1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1 FP001

STAMP

REVISIONS

REV	DATE	DESCRIPTION
1	12/08/2022	Original

DESIGN REVIEW SET FOR:

9TH STREET  
8 PLEX

638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101

APN # 139-264-10-012

WESTERN TRADES  
CONSTRUCTION, INC.

4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT: 9TH STREET  
8 PLEX

SHEET: 001 OF 001

PROPOSED 1ST  
FLOOR PLAN

DATE: DECEMBER 8, 2022

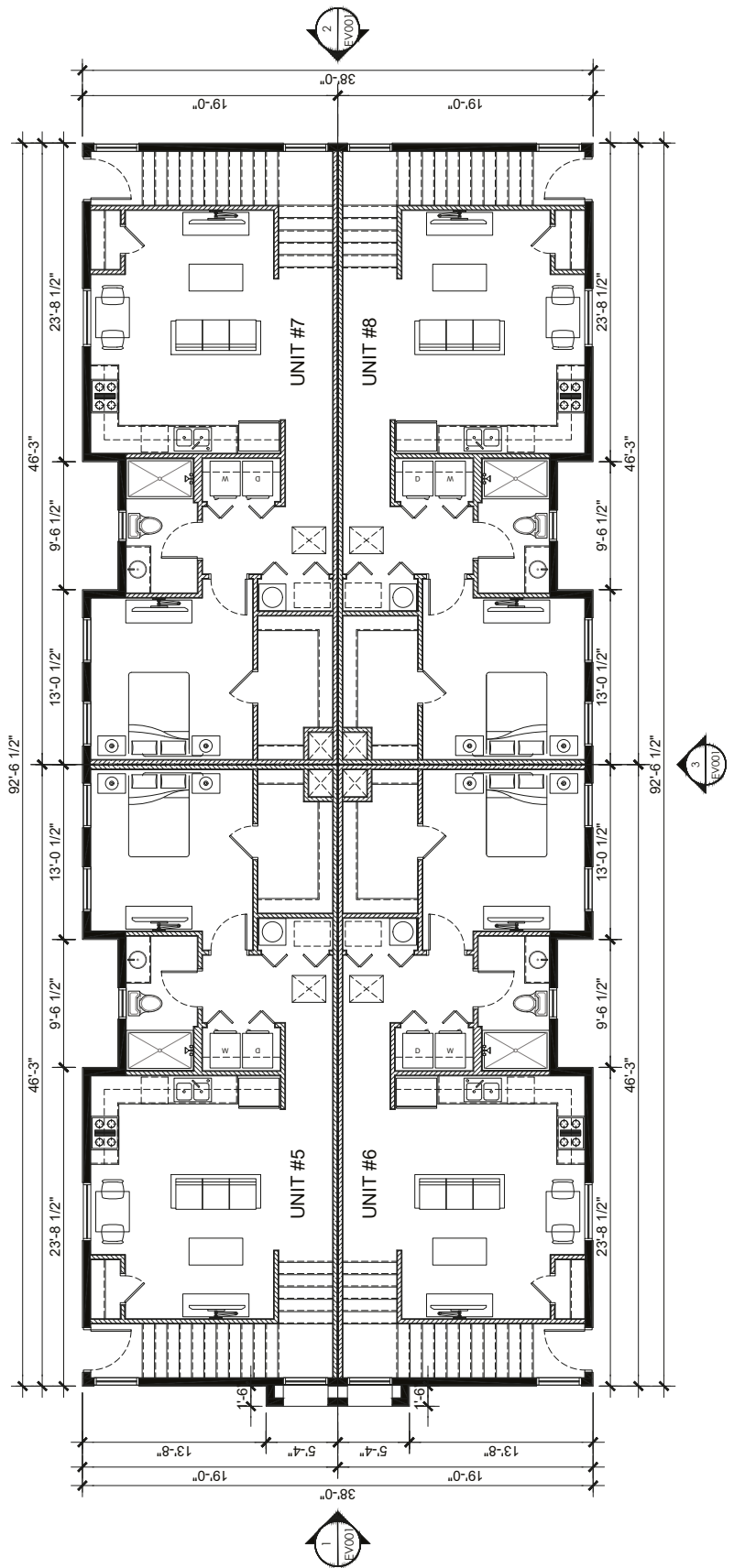
LOG NUMBER: 003-19008

SHEET: FP001



FLOOR AREA CALCULATION	
APPROX. AREA	2,728 SQ. FT.
1ST FLOOR (UNITS 1-4)	3,120 SQ. FT.
2ND FLOOR (UNITS 5-8)	5,848 SQ. FT.
TOTAL	8,968 SQ. FT.
UNIT 1	682 SQ. FT.
UNIT 2	682 SQ. FT.
UNIT 3	682 SQ. FT.
UNIT 4	682 SQ. FT.
UNIT 5	730 SQ. FT.
UNIT 6	730 SQ. FT.
UNIT 7	730 SQ. FT.
UNIT 8	730 SQ. FT.

22-0675  
12/08/2022



1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FP002

STAMP

REVISIONS

REV	DATE	DESCRIPTION
1	12/08/2022	Original

DESIGN REVIEW SET FOR:

9TH STREET  
8 PLEX

638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101

APN # 139-264-10-012

WESTERN TRADES  
CONSTRUCTION, INC.

4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

Phone: (702) 238-5211  
Fax: (702) 543-4366

PROJECT

9TH STREET  
8 PLEX

SHEET COUNT

PROPOSED 2ND  
FLOOR PLAN

DATE  
DECEMBER 8, 2022

LOG NUMBER  
003-19008

SHEET

FP002

NEW RESIDENTIAL CONSTRUCTION FOR:

# 9TH STREET 8 PLEX

638 NORTH 9TH STREET, LAS VEGAS NEVADA 89101

APN NUMBER: 139-26-410-012

22-0675  
12/08/2022

JURISDICTION: LAS VEGAS - 89101

ZONING: MEDIUM DENSITY RESIDENTIAL (R-2)



## PROJECT TEAM

<u>GENERAL CONTRACTOR:</u> WESTERN TRADES CONST. 4357 CORPORATE CENTER DR. #400 NORTH LAS VEGAS, NV 89030 PHN: (702) 238-5211	<u>STRUCTL. CONTRACTOR:</u> DAVID LIU & ASSOCIATES 9809 PANORAMA CLIFF DRIVE LAS VEGAS, NV 89134 PHN: (702) 580-0966	<u>CIVIL CONTRACTOR:</u> MHP LIMITED 6440 SKY POINTE DRIVE #140-385 LAS VEGAS, NEVADA 89131-4047 PHN: (702) 334-1331	<u>MECHANICAL CONTRACTOR:</u> COMFORT ENGINEERING INC 9175 W FLAMINGO RD, LAS VEGAS, NV 89147 PHN: (702) 367-0892	<u>PLUMBING CONTRACTOR:</u> COMFORT ENGINEERING INC 9175 W FLAMINGO RD, LAS VEGAS, NV 89147 PHN: (702) 367-0892	<u>ELECTRICAL CONTRACTOR:</u> COMFORT ENGINEERING INC 9175 W FLAMINGO RD, LAS VEGAS, NV 89147 PHN: (702) 367-0892
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## ABBREVIATIONS

[illegible]

## CODE ANALYSIS

Diagram illustrating the calculation of square footage for a building section. The diagram shows a square footprint divided into two equal rectangular sections, labeled '1' and '2'. A vertical line runs through the center, and a horizontal line runs across the middle. The total width is labeled 'R2 - TYPE V.A.' and the total height is labeled 'R2 - TYPE V.A.'. The diagram is used to illustrate the calculation of square footage for a building section.

**UNIT SQUARE FOOTAGE**

BUILDING LEVEL		UNITS PER AREA	
UNITS 101	15 FLOOR UNITS 101-104	462 SQ. FT.	3.20 S.F.
UNITS 102	2ND FLOOR UNITS 201-204	462 SQ. FT.	3.20 S.F.
UNITS 103		462 SQ. FT.	
UNITS 104		462 SQ. FT.	
UNITS 201		790 SQ. FT.	
UNITS 202		790 SQ. FT.	
UNITS 203		790 SQ. FT.	
UNITS 204		790 SQ. FT.	

\*\* ACCESSIBLE UNIT \*\*  
 △

**BUILDING SQUARE FOOTAGE**

BUILDING LEVEL	LIVABLE AREA (UNIT 1-8) S.F.
1ST FLOOR UNITS 101-104	2,728 S.F.
2ND FLOOR UNITS 201-204	3,120 S.F.

OVERALL TOTAL 5,848 S.F.  
3,120 S.F.

**DEFERRED SUBMITTALS**

2ND FLOOR UNITS 201-204

\* DEFERRED ITEMS

### SEPERATE PERMITS

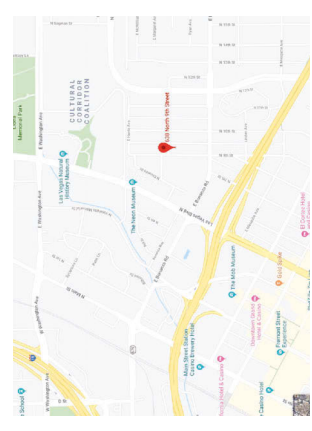
## SPECIAL INSPECTIONS

THE FOLLOWING ITEMS SHALL BE INSPECTED BY AN APPROVED SPECIAL INSPECTOR:

1. POST TENSIONED SLAB
2. FIELD WELDING

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SPECIAL INSPECTION INFORMATION.

**VICINITY MAP**  
SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SPECIAL INSPECTION INFORMATION.



SHEET INDEX
CONDITIONS OF APPROVAL

[illegible]

SYMBOLS | LEGEND
 

BN1.00	BUILDING IECC CALCULATIONS
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TYPICAL ROOM DESIGNATION	<p>ROOM NAME</p> <p>ROOM NUMBER</p> <p>CEILING HEIGHT</p> <p>FLOOR AREA</p>	<p>SECTION NUMBER</p> <p>SHEET NUMBER</p>	<p>TYPICAL DETAIL REFERENCE</p>
TYPICAL DOOR DESIGNATION	<p>DOOR NUMBER (REFER TO DOOR SCHEDULE)</p>	<p>SECTION NUMBER</p> <p>SHEET NUMBER</p>	<p>TYPICAL SECTION REFERENCE</p>
TYPICAL GLAZING DESIGNATION	<p>GLAZING NUMBER (REFER TO WINDOW SCHEDULE)</p>	<p>ELEVATION NUMBER</p> <p>SHEET NUMBER</p>	<p>TYPICAL ELEVATION REFERENCE</p>
TYPICAL WALL TYPE DESIGNATION	<p>WALL TYPE</p>	<p>SHEET NUMBER</p>	<p>TYPICAL ENLARGED DWG. REFERENCE</p>
TYPICAL CEILING DESIGNATION	<p>CEILING TYPE &amp; HEIGHT</p>	<p>KEYNOTE NUMBER</p>	

## CONDITIONS OF APPROVAL

[illegible]

13. ANY FUTURE BUILDING PERMIT APPLICATIONS RELATED TO THE SITE, ANY CITY CODE REQUIREMENTS AND DESIGN STANDARDS OF ALL CITY DEPARTMENTS MUST BE SATISFIED, EXCEPT AS MODIFIED HEREIN.

14. THE POWER FOR THE USE OF ONE CONTINUOUS DRIVEWAY IS HEREBY APPROVED.
15. THE PROPOSED SIDEWALK AND DRIVEWAY ALONG NINTH STREET SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY ENGINEER'S PLAN AND IN ACCORDANCE WITH CODE REQUIREMENTS OF THE CITY OF LAS VEGAS TO THE SATISFACTION OF THE CITY ENGINEER CONCERNING ANY REMOVALS REQUIRED BY THIS DEVELOPMENT WORK BEING ACQUIRED AT ITS ORIGINAL LOCATION AND TO ITS ORIGINAL WIDTH SHALL COMPLY WITH ITS ORIGINAL WORKING TALLS AND TO ITS ORIGINAL WIDTH SHALL BE A MINIMUM OF 22 FEET IN LENGTH.
16. THE EXISTING TRAFFIC SIGNAL ON FIRST STREET ADJACENT TO THIS SITE, ALL SIGNAGE AND PRIVATE IMPROVEMENTS INSTALLED WITH THIS PROJECT SHALL BE MAINTAINED AND MAINTAINED SO AS NOT TO INTERFERE WITH THE NORMAL FLOW OF TRAFFIC ALTHOUGH TRAFFIC ACCESS SHALL BE PRESERVED AND ADJUSTING STREET INTERSECTIONS.
17. IMPROVEMENTS TO THE NINTH STREET PUBLIC RIGHT-OF-WAY, IF ANY, ADJACENT TO THIS SITE FOR THIS ISSUANCE OF PERMITS OR POLICY FOR THE TERM OF THE LICENSE AGREEMENT AND ADD THE CITY OF LAS VEGAS AS AN ADDITIONAL INSURED PARTY ON THIS INSURANCE PROPERTY ENDORSING IN THE PUBLIC RIGHT-OF-WAY OF THE ABOVE INSTALLATION AND MAINTENANCE OF ALL PRIVATE IMPROVEMENTS IN THE PROPERTY FOR THE TERM OF THE LICENSE AGREEMENT.

WESTERN TRADES  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. # 200  
N. LAS VEGAS, NV 89030  
(702) 238-5211 Fax: (702) 543-4356

Fax: (702) 543-4356

4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89135

CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73

Phone: (702) 238-5211

PROJECT: 9TH STREET  
CITY: OAKLEY

COVER PAGE  
ABBREVIATIONS  
SHEET INDEX  
DATE: NOVEMBER 10, 2020  
JOB NUMBER: 003-19020

A0.00









**SITE INFORMATION**

ZONING: CITY OF LAS VEGAS, NEVADA  
MEDIUM DENSITY RESIDENTIAL (R-2)  
APN - 139-26-410-012

SITE AREA: ESTIMATED - 16 ACRES (6,988 S.F.)  
BUILDINGS: ONE 2-STORY RESIDENTIAL 8-PLEX

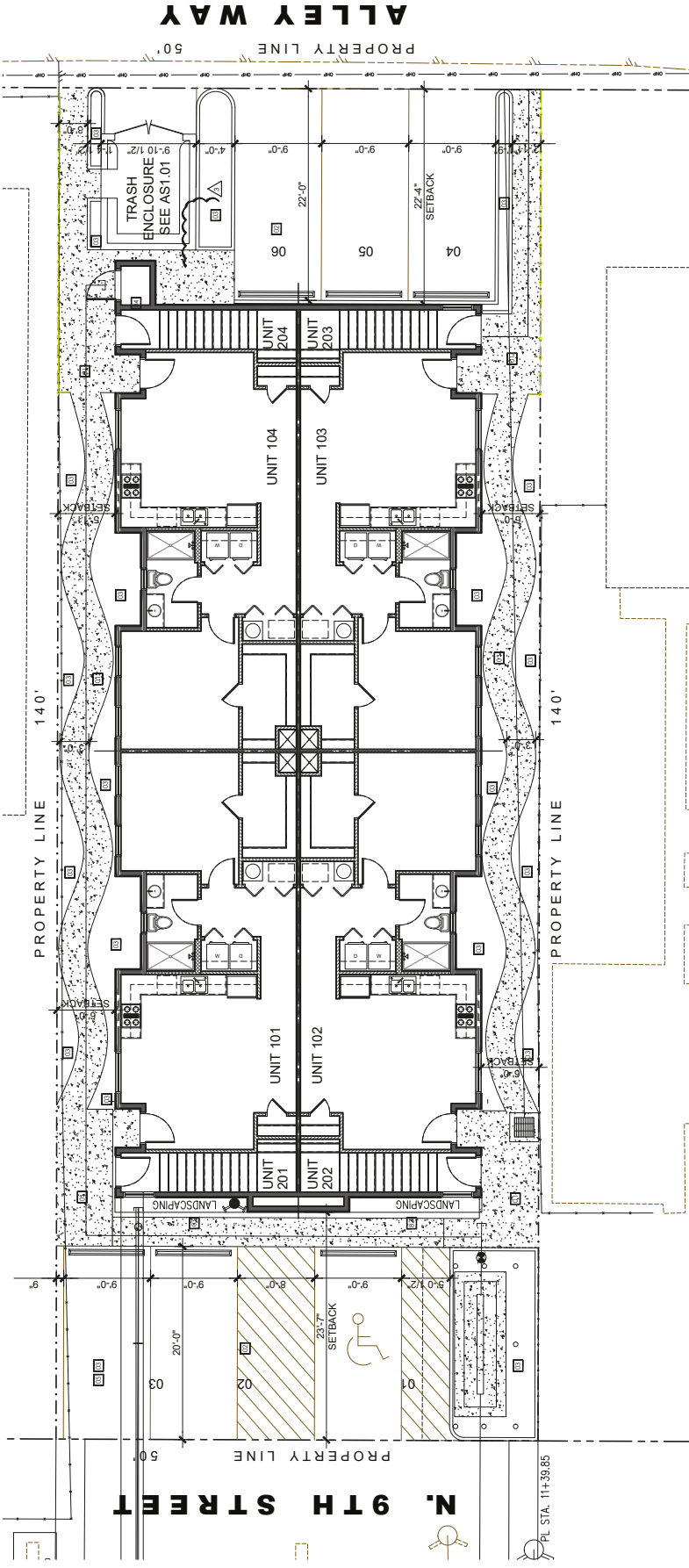
**SITE NOTES**

- CONCRETE WALKWAY
- PARKING AREA
- LANDSCAPE AREA
- ENTRY PORCH
- FRONT PORCH
- POD LOCATION

**SITE NOTES**

- REFER TO CIVIL DRAWINGS AND LANDSCAPE DRAWINGS FOR ANY INFORMATION AND CLARIFICATION NOT SHOWN ON THIS PLAN.
- REFER TO OVERALL BUILDING PLAN AND UNIT PLAN FOR DIMENSIONS AND INFORMATION PERTAINING TO THE BUILDING.

22-0675  
12/08/2022



**ARCHITECTURAL SITE PLAN**

SCALE: 3/16" = 1'-0"

1



STAMP:

REV	DATE	DESCRIPTION
1	01/21/2020	Original
2	03/20/2020	Rev. Comments
3	07/29/2020	Rev. Comments
4	11/01/2020	Rev. Comments

CONSTRUCTION DOCUMENTS FOR:  
**9TH STREET  
8-PLEX**  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

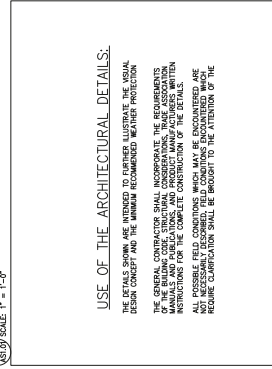
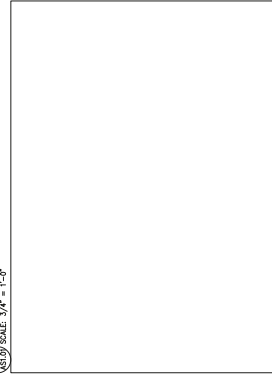
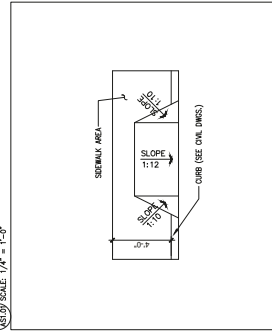
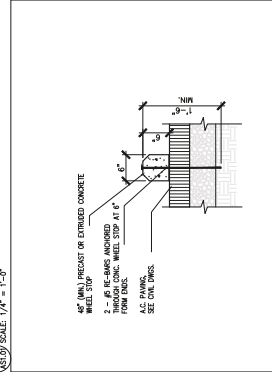
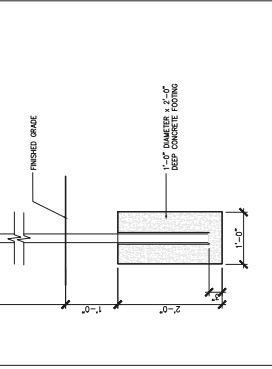
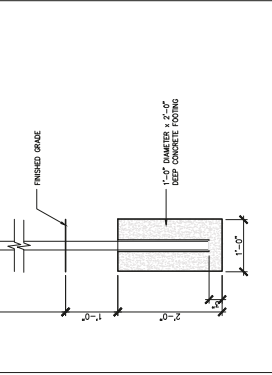
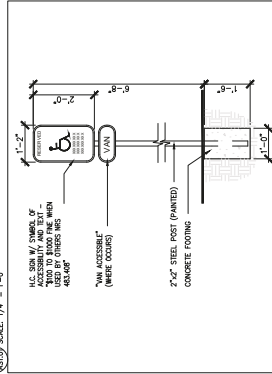
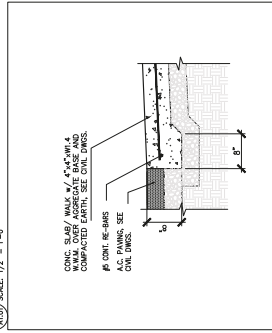
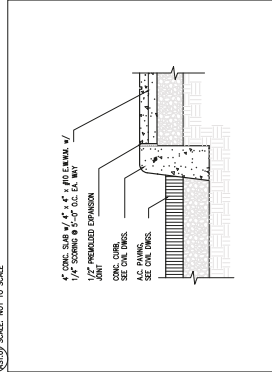
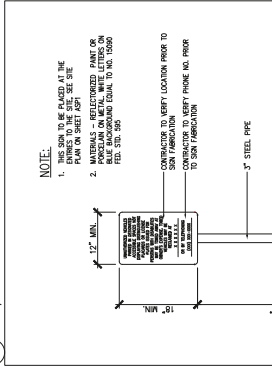
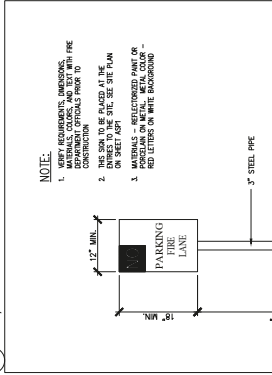
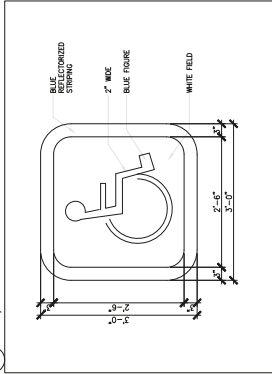
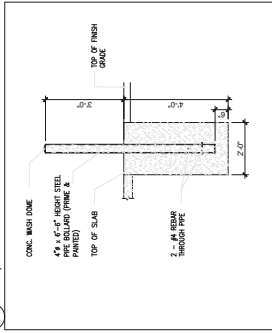
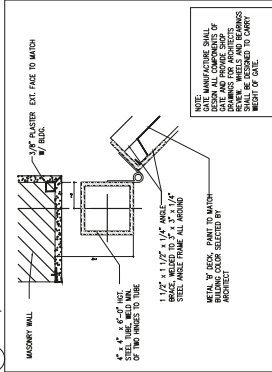
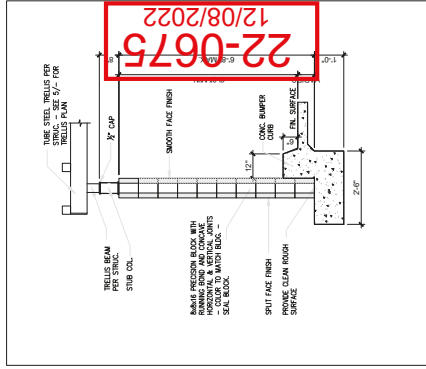
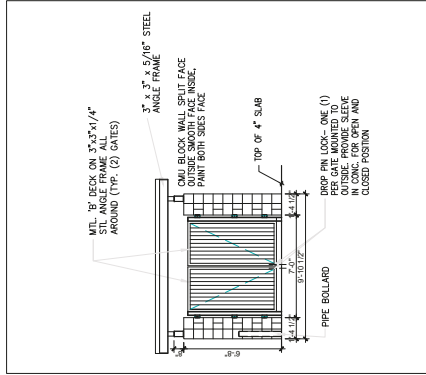
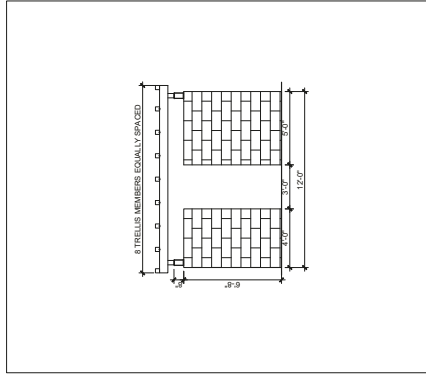
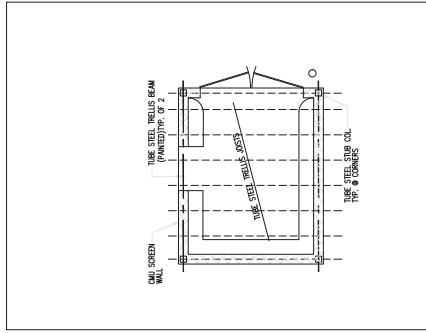
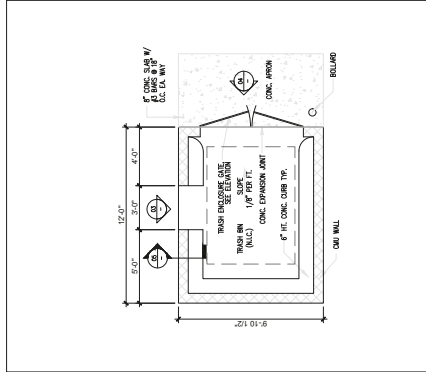
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Phone: (702) 238-5211 Fax: (702) 543-4356  
**WESTERN TRADES**  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

**9TH STREET  
8-PLEX**  
ARCHITECTURAL  
SITE PLAN

DATE: NOVEMBER 10, 2020  
UPR NUMBER: 003-19020  
SHEET:

**AS1.00**



NOT USED

NOT USED

NOT USED

NOT USED

NOT USED



**BUILDING WALL LEGEND**

(001) = EXTERIOR WALL - 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. ON INSIDE FACE STAGGERED AND SMOOTH STUCCO ON EXTERIOR SIDE. INSTALL R-19 BATT INSULATION. SEE DETAIL 2/A6.00

(002) = INTERIOR WALL - 2x4 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES. STUCCO ON INTERIOR SIDE. INSTALL SOUND BATT INSULATION AND FINISH WALLS ADJOINING A BATHROOM. SEE DETAIL 2/A6.00

(003) = INTERIOR PLUMBING WALL - 2x4 @ 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES. WATER RESISTANT DRAINAGE BOARD. STUCCO ON INTERIOR SIDE. WHERE REQUIRED PER CODE INSTALL 3/16" GYP. BOARD. STUCCO ON INTERIOR SIDE. INSULATION AT WALLS. SEE DETAIL 2/A6.00

(004) = INTERIOR (LOAD-BEARING) - SEE 3/A6.00 LEO.P. WALL ASSEMBLY

(005) = EXTERIOR (LOAD-BEARING) - SEE 2/A6.01 FOR WALL ASSEMBLY

**GENERAL BUILDING NOTES**

1. THE INTENT OF THESE CONSTRUCTION DOCUMENTS IS TO DEFINE THE SCOPE OF WORK IN ACCORDANCE WITH CITY OF LAS VEGAS, TITLE 19

2. EXTERIOR FINISH - 3 COAT STUCCO SYSTEM OVER METAL LATH OVER BUILDING PAPER

3. ALL DIMENSIONS ARE FROM FACE OF SUBSTRATE TO FACE OF SUBSTRATE, UN.O.

4. REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR AND PERIMETER WALLS OF UNIT AND BUILDING PLANS FOR FINISH SCHEDULES & DETAILS

5. TYPICAL WALL CONSTRUCTION - 2x4 and 2x6 STUDS AT 16" O.C. - UN.O. REFER TO A7.00 FOR PARTITION TYPES AND DETAILS

6. TYPICAL DOOR ROUGH OPENING BEGINS 3" FROM ADJACENT WALL, UN.O.

7. REFER TO A6.00 FOR DOOR AND WINDOW TYPES & SCHEDULES

8. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF EACH BEDROOM.

9. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBER. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION NUMBERS SHALL BE PLACED IN PLAINLY VISIBLE LOCATION FROM THE STREET OR ROAD FRONTING THE PROPERTY (RC SECTION R319.1)

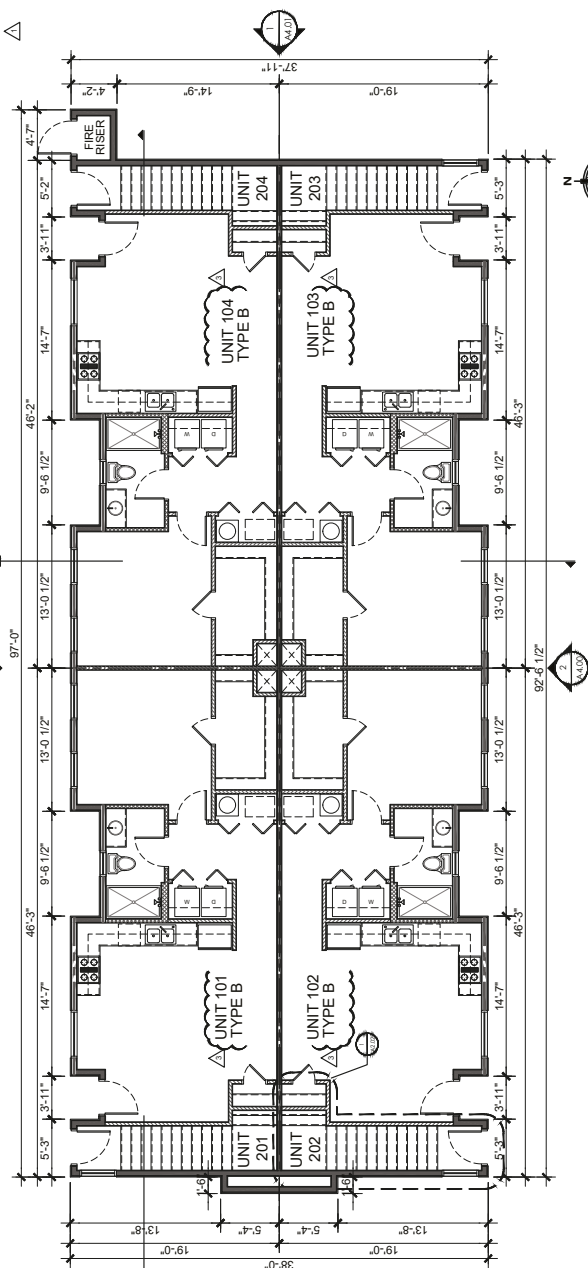
10. REFER TO BUILDING EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES

11. WHERE CONFLICTS OCCUR, THE CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL ELECTRICAL, MECHANICAL, PLUMBING, AND COMMUNICATION OUTLETS & SWITCHES WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION

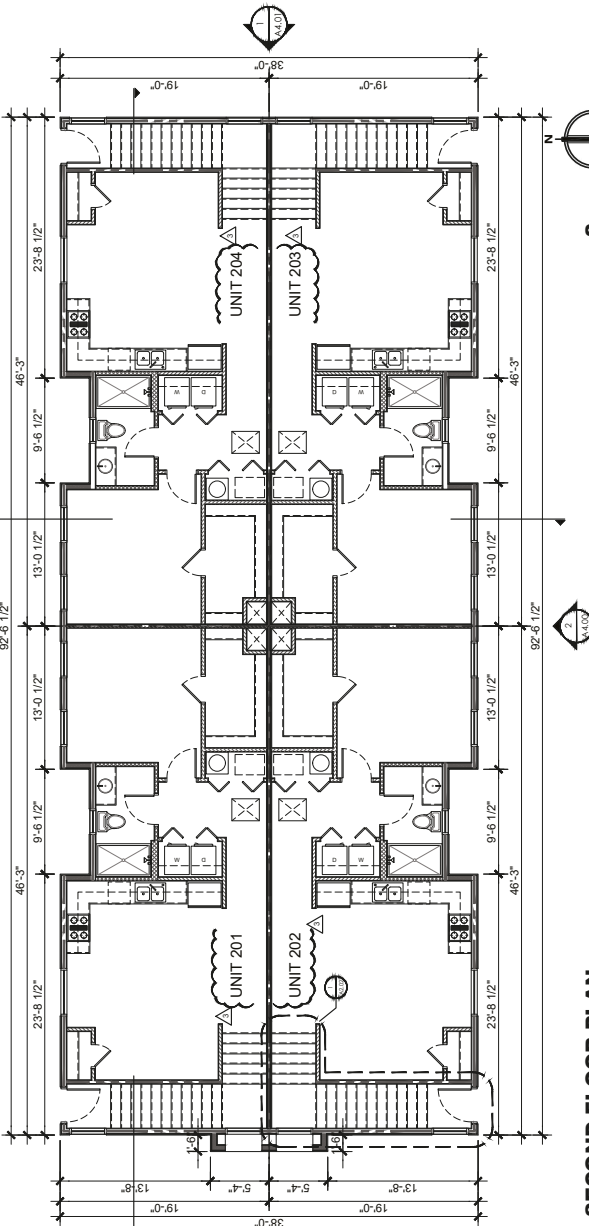
12. EXTEND FLOOR FINISH MATERIAL UNDER ALL REMOVABLE KITCHEN AND BATH BASE CABINETS, AS WELL AS ALL KITCHEN APPLIANCES.

13. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL PLANS FOR METER LOCATIONS

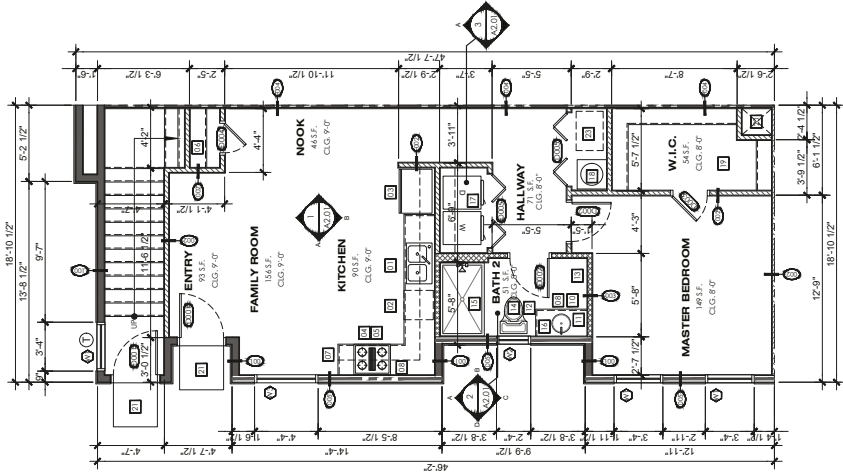
14. FOR EXHAUST DUCTS OR VENTS REFER TO MECHANICAL PLANS



**FIRST FLOOR PLAN**

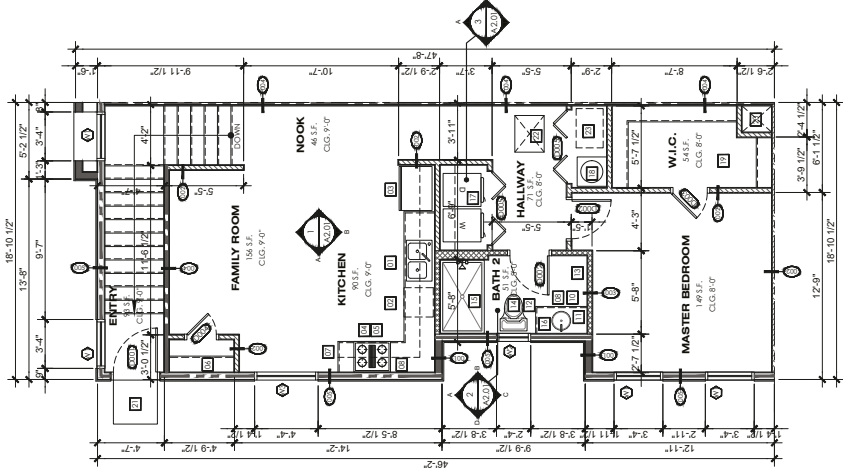


**SECOND FLOOR PLAN**



TYPICAL 1ST FLOOR UNIT

SCALE: 1/4" = 1'-0"



TYPICAL 2ND FLOOR UNIT

SCALE: 1/4" = 1'-0"



UNIT KEYNOTES

- DOUBLE SINK WITH GARBAGE DISPOSAL
- 40" WIDE BUILT-IN DISHWASHER
- 24" CLEAR REFRIGERATOR SPACE PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER
- 30" FREE-STANDING DOUBLE OVEN RANGE
- OVER-THE-RANGE MICROWAVE OVEN/hood
- COAT CLOSET WITH SELF AND POLE
- FINISHED BACK & END OF CABINET
- " BACKSLASH, TYPICAL AT KITCHEN COUNTERTOP
- 30" BASE CAB WITH COUNTERTOP
- LAVATORY
- RECESSED MEDICINE CABINET
- TOILET PAPER HOLDER 24" HIGH, PROVIDE 2x BACKING WHEN MOUNTED ON WALL
- 24" L TOWEL BAR, PROVIDE 2x BACKING SECTION 4020, SEE SPECIFICATIONS.
- WALK IN SHOWER
- BATHROOM MIRROR
- WASHER/DRYER SPACE, PROVIDE RECESSED WATER AND CONNECTIONS
- 40 GALLON WATER HEATER ON 18"x24" SQ. PLATFORM, PROVIDE PRESSURE RELIEF VALVE WITH DRAIN AND VENT TO OUTSIDE AIR, PROVIDE DRAIN OUTSIDE AIR PER U.M.C. - SEE MECH. DIVISION
- WHERE WATER HEATER IS LOCATED ON A FLOORCEILING ASSEMBLY, A DRAINAGE PAN IS REQUIRED, UPC SEC. 507.3.
- WARDROBE CLOSET W/ SINGLE SHELF & DOUBLE ROD, CARPET FIN.
- MECHANICAL CHASE
- 30" X 30" MINIMUM CONCRETE PAD
- 22" X 30" FIRE RATED INSULATED ACCESS DOOR WITH FLANGE, REFER TO DETAIL 1740.01
- FAU PER U.M.C. PROVIDE LIGHT, POWER, GAS, ACCESS AND 30" WIDE WORKSPACE, PROVIDE COMBUSTION AIR PER THE U.M.C. VENT TO OUTSIDE PLACED ON 20" PLATFORM



BUILDING WALL LEGEND

- (001) EXTERIOR WALL - 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. ON INSIDE FACE (STAGGERED) AND SMOOTH STUCCO ON EXTERIOR. SEE DETAIL 1740.01 BATH INSULATION, SEE DETAIL 1740.08
- (002) INTERIOR WALL - 2x4 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES FINISH WITH 1/2" DRYWALL. INSULATE INSIDE SOUND BATT INSULATION AT WALLS. SEE DETAIL 2146.00
- (003) INTERIOR PLUMBING WALL - 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES FINISH WITH 1/2" DRYWALL. INSULATE INSIDE SOUND BATT INSULATION AT WALLS. SEE DETAIL 2146.00
- (004) INTERIOR (LOAD-BEARING) - SEE 3146.01 L.O.P. WALL ASSEMBLY
- (005) EXTERIOR (LOAD-BEARING) - SEE 2146.01 FOR WALL ASSEMBLY.

GENERAL BUILDING NOTES

- THE INTENT OF THESE CONSTRUCTION DOCUMENTS IS TO DEFINE THE SCOPE OF WORK IN ACCORDANCE WITH CITY OF LAS VEGAS, TITLE 15
- EXTERIOR FINISH - 3 COAT STUCCO SYSTEM OVER METAL LATH OVER BUILDING PAPER
- ALL DIMENSIONS ARE FROM FACE OF SUBSTRATE TO FACE OF SUBSTRATE, U.N.O.
- REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR AND PERIMETER WALLS OF UNIT AND BUILDING PLANS FOR FRAMING SCHEDULES & DETAILS
- TYPICAL WALL CONSTRUCTION - 2x4 AND 2x6 STUDS AT 16" O.C. MAX., REFER TO 1740 FOR PARTITION TYPES AND DETAILS
- TYPICAL DOOR ROUGH OPENING BEGINS 3" FROM ADJACENT WALL, U.N.O.
- REFER TO A201 FOR DOOR AND WINDOW TYPES & SCHEDULES.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF EACH BEDROOM.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBER, IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY IBC SECTION SEC. 502.1 FINISHES
- REFER TO BUILDING EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES
- WHERE CONFLICTS OCCUR, THE CONTRACTOR SHALL CORRELATE THE LOCATION AND EXACATION OF ALL PARTITIONS, DOORS, WINDOWS, TELEPHONE, ELECTRICAL, AND COMMUNICATION OUTLETS & SWITCHES WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION
- EXTEND FLOOR FINISH MATERIAL UNDER ALL REMOVABLE KITCHEN APPLIANCES.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL PLANS FOR METER LOCATIONS
- FOR EXHAUST DUCTS OR VENTS REFER TO MECHANICAL PLANS

NOTE: VERIFY WITH OWNER ALL HOSE BIBS LOCATIONS

NOTE: VERIFY WITH OWNER ALL WATER HEATER LOCATIONS

NOTE: VERIFY WITH OWNER ALL PLUMBING LOCATIONS

NOTE: VERIFY WITH OWNER ALL PLUMBING LOCATIONS

STAMP

REV	DESCRIPTION	DATE
01/01/2020	Original	
03/20/2020	Bldg. Comments	
07/28/2020	Bldg. Comments	
11/10/2020	Bldg. Comments	

CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

Western Trades, Inc. shall not be responsible for any errors or omissions in these drawings and shall not be responsible for any construction methods or materials not specified herein. Western Trades, Inc. shall not be responsible for any construction methods or materials not specified herein.

WESTERN TRADES  
CONTRACTOR LICENSE # 73190  
N. LAS VEGAS, NV 89030  
4345 CORPORATE CENTER DR. #200  
Fax: (702) 543-4356  
Phone: (702) 238-5211

PROJECT: 9TH STREET 8-PLEX  
SHEET: 001 OF 01  
TYPICAL UNIT FLOOR PLANS  
DATE: NOVEMBER 10, 2020  
JOB NUMBER: 003-191020  
SHEET: A2.00

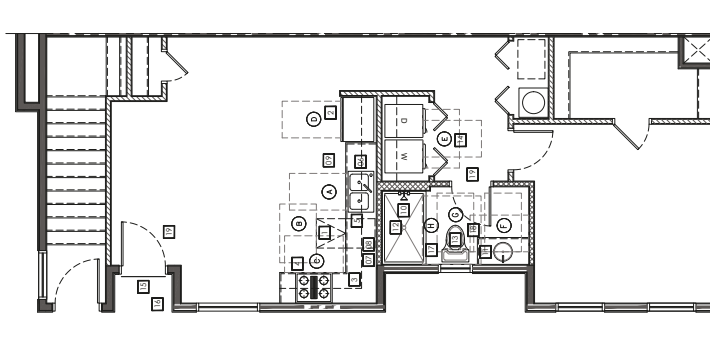
GENERAL BUILDING NOTES

REFER TO A2.00 FOR ROOM NAMES, NUMBERS, DIMENSIONS,  
DOOR AND WINDOW SIZES.

ACCESSIBLE UNIT KEYNOTES

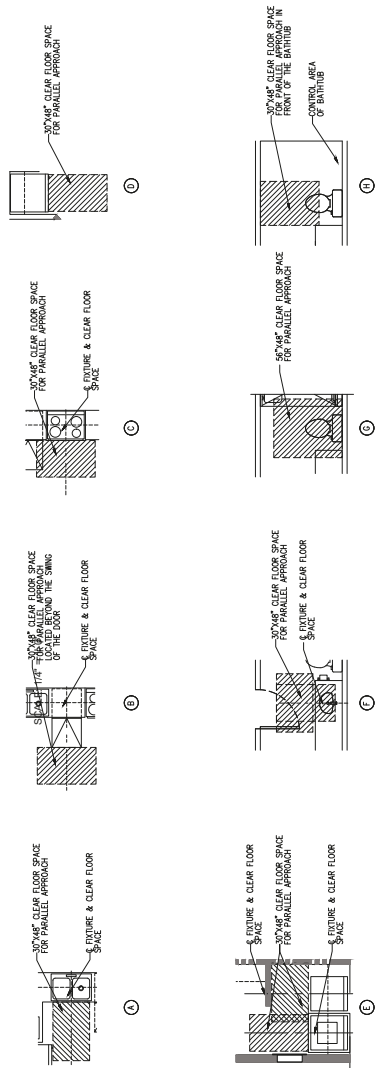
- 1 DISHWASHER, ALL BACKS, SPACE SHALL BE 100% CLEAR PER ICC / ANSI A117.1-2009 1004.12.2.2
- 2 REFRIGERATOR / FREEZER SHALL COMPLY WITH ICC / ANSI A117.1-2009 1004.12.2.5
- 3 MICROWAVE ON COUNTERTOP QS IN PANTRY SHALL COMPLY WITH ICC / ANSI A117.1-2009 1004.12.2.4
- 4 OVEN WITH CONTROL PANEL ON FRONT TO COMPLY WITH ICC / ANSI A117.1-2009 1004.12.2.4
- 5 2" MINIMUM CLEARANCE UNDER SINKS AND COUNTERS TO THE WALL, IN COMPLIANCE WITH ICC / ANSI A117.1-2009 1004.12.2.4
- 6 PIPES UNDER SINKS SHALL BE INSULATED, OR OTHERWISE, CONFIGURED TO PROTECT AGAINST DAMAGE TO THE SINKS AND COUNTERS SURFACES UNDER SINKS PER ICC / ANSI A117.1-2009 608.6
- 7 DOUBLE SINK, ONE BOWL SHALL BE 6-1/2" MAX. DEPTH WITH LOWER TYPE HARDWARE PER ICC / ANSI A117.1-2009 1004.11.3
- 8 UPPER CABINET, BOTTOM SHELF AT 48" MAX. ABOVE FINISHED FLOOR
- 9 COUNTER TOP AT 34" A.F. IF COUNTERTOP AREA INCLUDES FIXTURE, THE RIM OR TOP OF FIXTURE SHOULD BE PLACED AT 34" MAX A.F.F., LOWERING COUNTER TOP HEIGHT
- 10 CLEAR FLOOR SPACE FOR MANEUVERING (WHEN SPACE IS REQUIRED FOR MANEUVERING, THE COUNTER TOP, REMOVABLE BASE CABINET NOT ALLOWED)
- 11 FIXTURE CONTROL AREA WITH SHOWER SPRAY UNIT WITH 55" HOSE COMPLYING WITH ICC / ANSI A117.1-2009 607
- 12 LAVATORY PER ICC / ANSI A117.1-2009 1004.11.3 CLEARANCE PER SECTION 306.608.6
- 13 BATHTUB SOLID BLOCKING FOR GRAB BAR PER ICC / ANSI A117.1-2009 604
- 14 WATER CLOSET SOLID BLOCKING FOR GRAB BAR PER SECTION 604 AND ICC / ANSI A117.1-2009 1002.11
- 15 WASHER AND DRYER PER ICC / ANSI A117.1-2009 1002.10, 1004.10 AND SECTION 611
- 16 LOW THRESHOLD AT ALL DOORS PER ICC / ANSI A117.1-2009 404.2.4
- 17 CONCRETE PATIO SLAB SHALL BE FLUSH WITH UNIT FINISH FLOOR AT DOOR OPENING USE LOW THRESHOLD (1/2" MAX) ICC / ANSI A117.1-2009 404.2.4
- 18 WATER CLOSET PER ICC / ANSI A117.1-2009 1004.11.3.1.2
- 19 TOILET PAPER DISPENSERS SHALL COMPLY WITH SECTION 306.4 AND SHALL BE 7" MIN. AND 9" MAX. IN FRONT OF THE WATER CLOSET PER ICC / ANSI A117.1-2009 SECTION 604.7
- 20 DOOR CLEAR FLOOR SPACE SHALL COMPLY ICC / ANSI A117.1-2009 SECTION 404.2.3.1

22-06475  
12/08/2022



TYPICAL ACCESSIBLE 1ST FLOOR UNITS

SCALE: 1/4" = 1'-0"



STAMP:

REV	DESCRIPTION	DATE
1	Original	01/21/2020
2	Rev. Comments	03/20/2020
3	Rev. Comments	07/29/2020
4	Rev. Comments	11/01/2020

9TH STREET  
8-PLEX  
CONSTRUCTION DOCUMENTS FOR:  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

Western Trades Construction, Inc.  
10000 S. Las Vegas Blvd., Suite 100  
Las Vegas, NV 89135  
Phone: (702) 238-5211  
Fax: (702) 543-4366

WESTERN TRADES  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR #200  
N. LAS VEGAS, NV 89030

9TH STREET  
8-PLEX

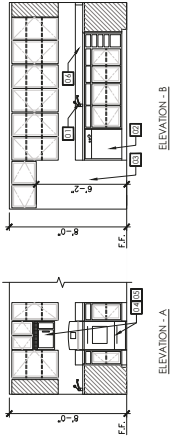
ACCESSIBLE UNIT  
FLOOR PLAN

DATE:  
NOVEMBER 10, 2020  
JOB NUMBER:  
003-19020  
SHEET:

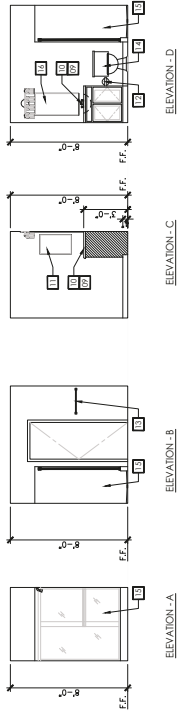
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UNIT KEYNOTES

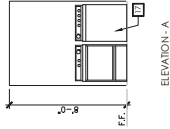
- DOUBLE SINK WITH GARBAGE DISPOSAL
- 24" WIDE BUILT IN DISHWASHER
- 40" CLEAR REFRIGERATOR SPACE PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER
- 30" FREE-STANDING DOUBLE OVEN RANGE
- OVER-THE-RANGE MICROWAVE OVEN/HOOD
- COAT CLOSET WITH SELF AND POLE
- FINISHED BACK & END OF CABINET
- 6" BACKSPLASH, TYPICAL AT KITCHEN COUNTER TOP
- 30" BASE CAB WITH COUNTERTOP
- LAVATORY
- RECESSED MEDICINE CABINET
- TOILET PAPER HOLDER 24" HIGH, PROVIDE 2x BACKING WHEN MOUNTED ON WALL.
- 24" L TOWEL BAR, PROVIDE 2x BACKING AND A MAX. OF 1.6 GAL./FLUSH PER C.F.
- SECTION SHALL BE SPECIFICATIONS.
- WALK IN SHOWER
- BATHROOM MIRROR
- WASHER/DRYER SPACE, PROVIDE RECESSED WATER AND CONNECTIONS
- 40 GALLON WATER HEATER ON 18"x24" SQ. PLATFORM W/ SEISMIC STRAPS, PROVIDE A 1 1/2" MIN. CLEARANCE FROM THE WALLS OF THE PLATFORM. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN AND VENT TO OUTSIDE AIR. PROVIDE COMBUSTION OUTSIDE AIR PER U.M.C. - SEE MECH. DWGS.
- WARDROBE CLOSET W/ SINGLE SHELF & DOUBLE RODS
- MECHANICAL CHASE
- 36" X 36" MINIMUM CONCRETE PAD
- 24" X 30" FIRE RATED ATTIC ACCESS. PROVIDE 24" WIDE CATWALK AND 30" X 30" PLATFORM IN FRONT OF ANY ATTIC MOUNTED EQUIPMENT
- FAU PER U.M.C. PROVIDE LIGHT, POWER, GAS, COMBUSTION AIR PER THE U.M.C. VENT TO OUTSIDE PLACED ON 20" PLATFORM



TYPICAL KITCHEN



TYPICAL BATHROOM



UTILITY CLOSET

STAMP:

REV	REVISIONS	Date	Description
1	01/21/2020	Original	
2	03/20/2020	Blg. Comments	
3	07/28/2020	Blg. Comments	
4	11/10/2020	Blg. Comments	

CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

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N. LAS VEGAS, NV 89030

PROJECT:  
9TH STREET  
8-PLEX

SHEET CONTENT:  
TYPICAL UNIT  
INTERIOR  
ELEVATIONS

DATE:  
NOVEMBER 10, 2020  
LOG NUMBER:  
003-19020  
SHEET:

A2.01



22-0675  
12/08/2022

REVISIONS			
REV	DATE	DESCRIPTION	BY
1	01/21/2020	Original	△
2	03/20/2020	Blg. Comments	△
3	07/29/2020	Blg. Comments	△
4	11/10/2020	Blg. Comments	△

STAMP

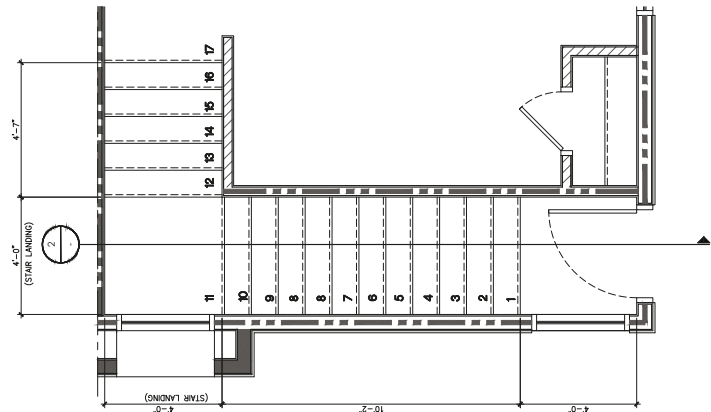
CONSTRUCTION DOCUMENTS FOR:  
**9TH STREET  
8-PLEX**  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

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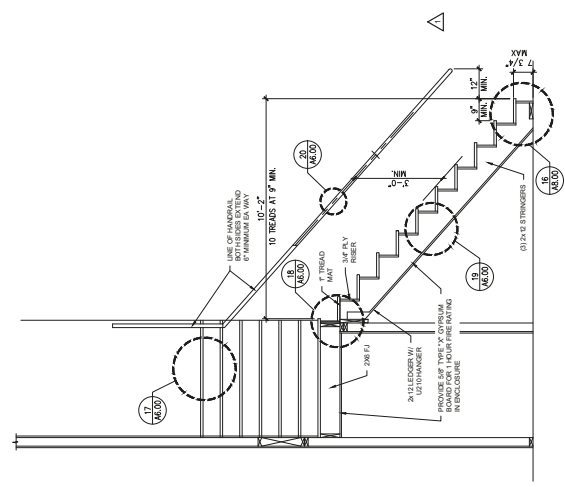
WESTERN TRADES  
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CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT  
**9TH STREET  
8-PLEX**  
SHEET CONTENT  
**TYPICAL PLAN  
STAIR DETAILS  
AND SECTION**  
NOVEMBER 10, 2020  
LOG NUMBER  
003-191020  
SHEET

**A2.02**



**ENLARGED STAIR PLAN**  
SCALE: 1/2" = 1'-0"



**STAIR SECTION**  
SCALE: 1/2" = 1'-0"

**2**





ELEVATION GENERAL NOTES

ALL EXTERIOR FINISH MATERIALS (STONE, STUCCO, SIDING, BRICK, ETC.) TO BE SHOWN ON EXTERIOR CORNER OR OTHERWISE NOTED.

GALVANIZED FLASHING (26 GA. GALVALUM) VALLEY, HIPS AND RIDGES. PREPARED BY WESTERN TRADES, INC. TO BE SHOWN ON ROOF WITH FLASHING AND EXTENDED BEYOND SLEEVE.

GALVANIZED IRON FLASHING AND FLASHING TO WALL AND ROOF TO CHIMNEY INTERFACES.

CHIMNEY TERMINATIONS TO BE SHOWN ABOVE ANY ROOF SURFACES WITH 10'-0" RADIUS.

ROOF GUTTERS AND DOWN SPOUTS TO BE SPECIFICATIONS SEE BUILDER.

CONTINUOUS GALVANIZED IRON EAVE FLASHING.

ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS. ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS TO BE SHOWN WITH FINISHED OVER LOAD BEARING COLUMNS.

(1) COAT STUCCO SHALL COMPLY WITH SECTION 1407 AND REQUIRED SPECIAL INSPECTION.

CONCRETE TILE ASSEMBLIES SHALL COMPLY WITH I.B.C. SECTION 1507.3.5

22-06-15  
12/08/2022

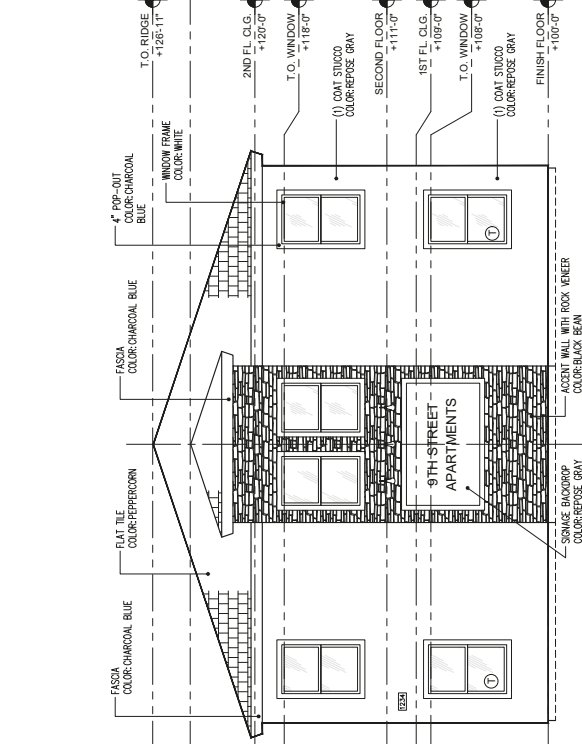
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2	Big Comments	03/20/2020
3	Big Comments	07/28/2020
4	Big Comments	11/02/2020

CONSTRUCTION DOCUMENTS FOR  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

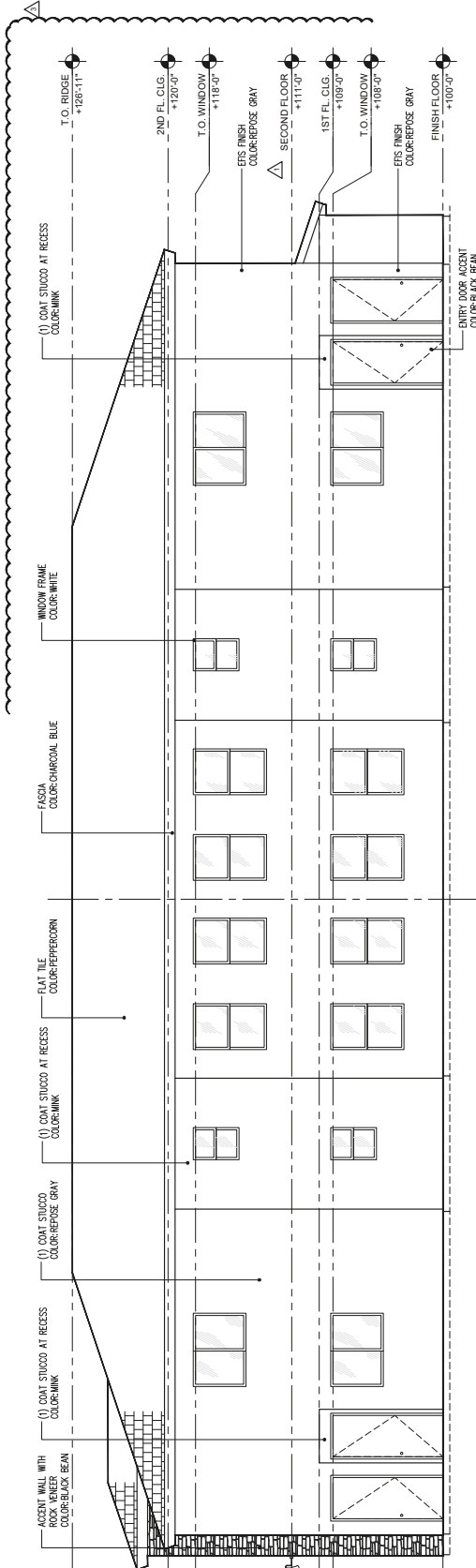
WESTERN TRADES  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT  
9TH STREET  
8-PLEX  
SHEET CONTAINS  
EXTERIOR  
ELEVATIONS  
DATE:  
NOVEMBER 10, 2020  
LSP NUMBER:  
003-19020  
SHEET

A4.00



BUILDING FRONT ELEVATION



BUILDING RIGHT ELEVATION



ELEVATION GENERAL NOTES

ALL EXTERIOR FINISH MATERIALS (STONE, STUCCO, SIDING, BRICK, ETC.) TO BE SHOWN ON EXTERIOR CORRESPONDING TO INTERIOR CORRESPONDING OTHERWISE NOTED.

GALVANIZED FLASHING (26 GA. GENERAL VALLEY, HIPS AND RIDGES, PREPARED BY WESTERN TRADES) SHALL BE USED FOR ALL ROOF FLASHING AND EXTERIOR WALLS BEYOND SLEEVE.

GALVANIZED IRON FLASHING AND FLASHING TO WALL AND ROOF TO CHIMNEY INTERFACES.

CHIMNEY TERMINATIONS TO BE 18" ABOVE ANY ROOF SURFACES WITH 10'-0" RADIUS.

ROOF GUTTERS AND DOWN SPOUTS TO BE SPECIFICATIONS SEE BUILDER.

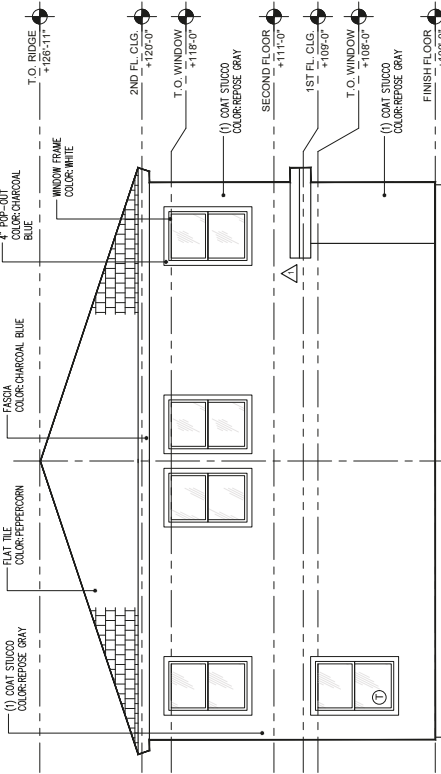
CONTINUOUS GALVANIZED IRON EAVE FLASHING.

ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS. ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS TO BE FINISHED WITH A FINISHED OVER LOAD BEARING COLUMNS.

(1) COAT STUCCO SHALL COMPLY WITH SECTION 1407 AND REQUIRED SPECIAL INSPECTION.

CONCRETE TILE ASSEMBLIES SHALL COMPLY WITH I.B.C. SECTION 1507.3.5

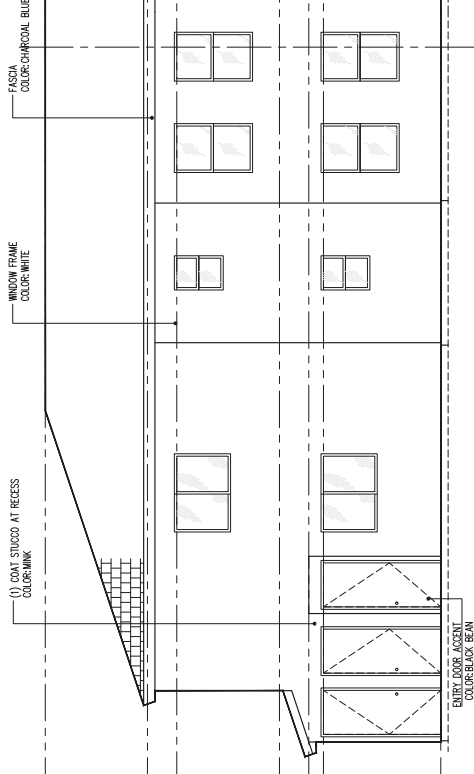
22-06-NS  
12/08/2022



BUILDING REAR ELEVATION

SCALE: 1/4" = 1'-0"

1



BUILDING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

2

CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

WESTERN TRADES  
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4345 CORPORATE CENTER DR. #200  
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PROJECT:  
9TH STREET  
8-PLEX  
SHEET CONTAINS:  
EXTERIOR  
ELEVATIONS  
DATE:  
NOVEMBER 10, 2020  
LOG NUMBER:  
003-19020  
SHEET:

A4.01

22-0675  
12/08/2022

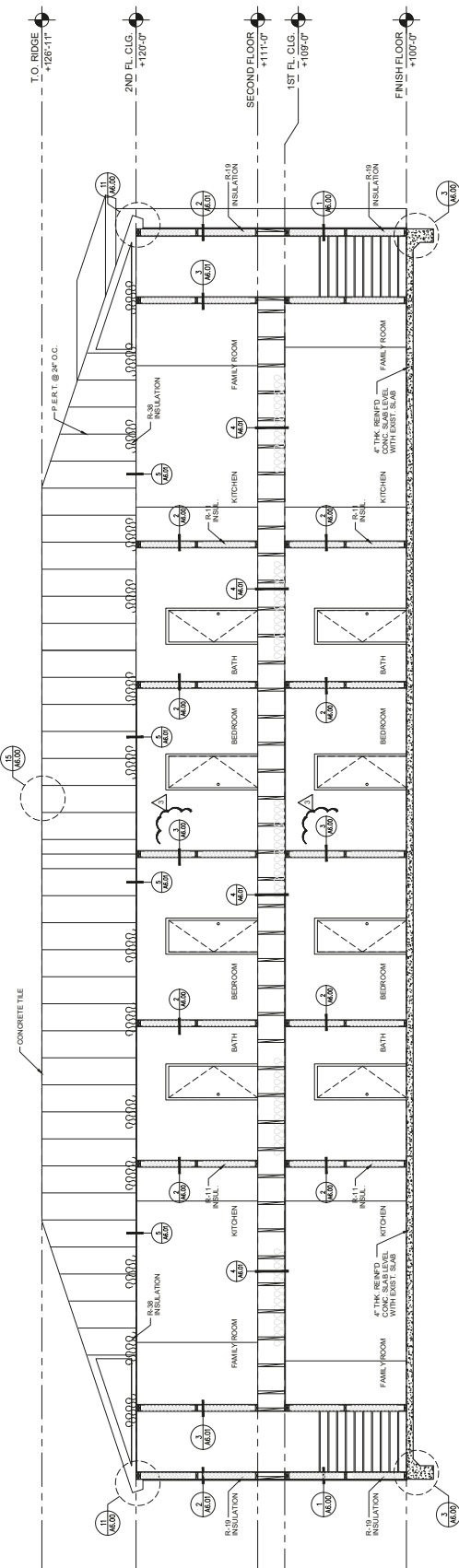
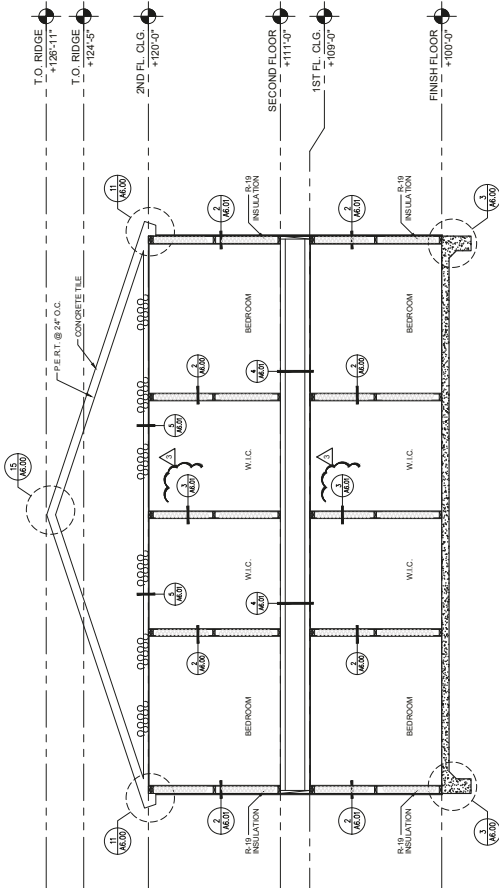
REVISIONS		
REV	DATE	DESCRIPTION
1	01/01/2020	Original
2	03/20/2020	Bldg. Comments
3	07/29/2020	Bldg. Comments
4	11/01/2020	Bldg. Comments

CONSTRUCTION DOCUMENTS FOR:  
**9TH STREET  
8-PLEX**  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

**WESTERN TRADES**  
CONSTRUCTION, INC.  
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4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4366

**PROJECT**  
9TH STREET  
8-PLEX  
**CLIENT CONTACT**  
BUILDING  
SECTIONS  
DATE: NOVEMBER 10, 2020  
JOB NUMBER: 003-19020  
SHEET

**A5.00**



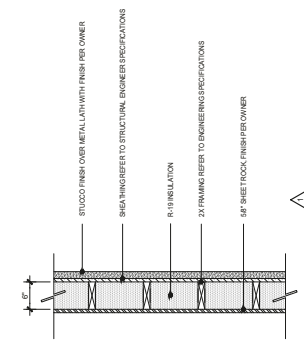
REVISIONS	DATE	DESCRIPTION
1	01/01/2020	Original
2	03/20/2020	Bldg. Comments
3	07/28/2020	Bldg. Comments
4	11/01/2020	Bldg. Comments

CONSTRUCTION DOCUMENTS FOR  
**9TH STREET  
 8-PLEX**  
 638 NORTH 9TH STREET  
 LAS VEGAS, NEVADA 89101  
 APN # 139-26-410-012

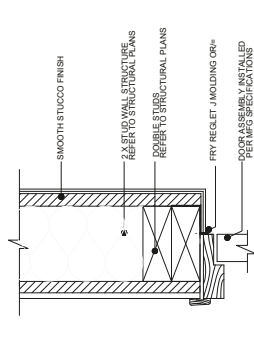
WESTERN TRADES  
 CONSTRUCTION, INC.  
 CONTRACTOR LICENSE # 73190  
 4345 CORPORATE CENTER DR. #200  
 N. LAS VEGAS, NV 89030  
 Phone: (702) 238-5211  
 Fax: (702) 543-4356

SHEET 001 OF 01  
**9TH STREET  
 8-PLEX**  
 TYPICAL  
 DETAILS  
 DATE: NOVEMBER 10, 2020  
 US NUMBER: 003-19020  
 SHEET

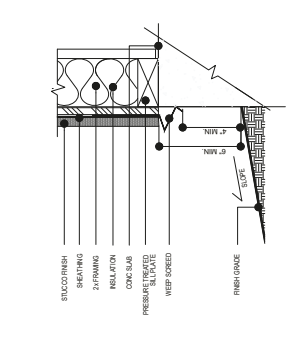
**A6.00**



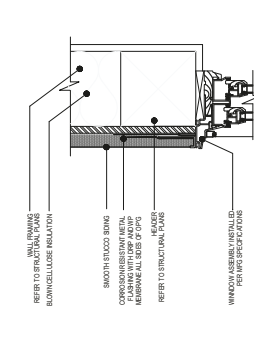
**1 EXT. NON-LOAD BEARING WALLS**



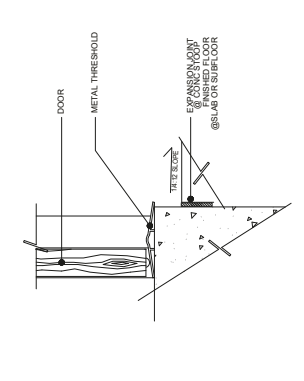
**2 INT. NON-LOAD BEARING WALLS**



**3 TYPICAL WEEP SCREED**

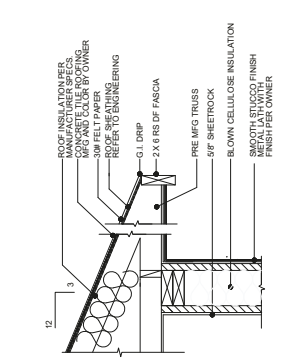


**4 TYP. DOOR THRESHOLD DETAIL**

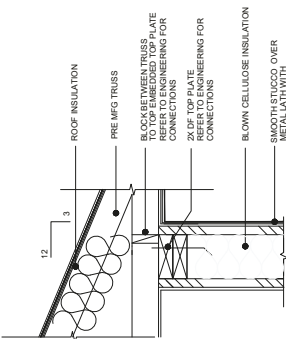


**5 TYP. EXTERIOR DOOR HEADER**

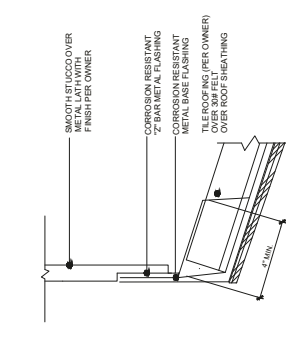
**6 TYP. EXTERIOR DOOR JAMB**



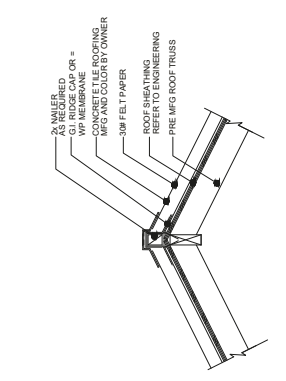
**7 EXTERIOR WINDOW JAMB (TYP)**



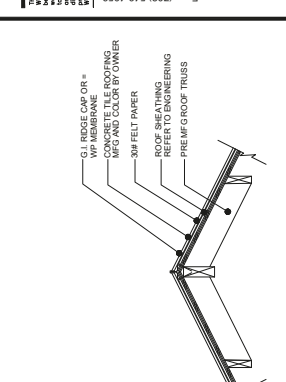
**8 EXTERIOR WINDOW HEAD (TYP)**



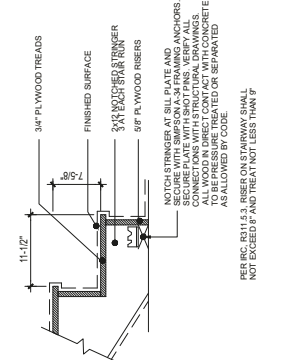
**9 INTERIOR DOOR HEAD**



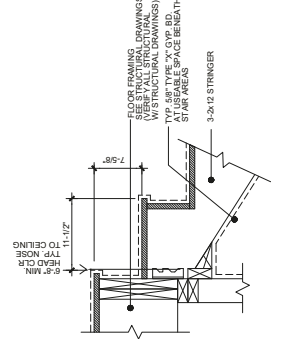
**10 INTERIOR DOOR JAMB**



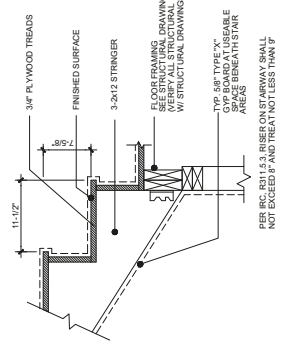
**11 TYPICAL FASCIA DETAIL**



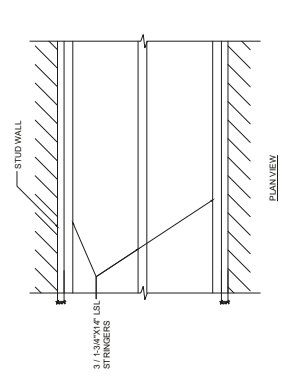
**12 TYPICAL TOP PLATE DETAIL**



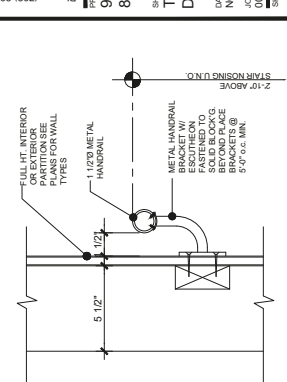
**13 ROOF FLASHING DETAIL**



**14 RIDGE DETAIL**



**15 HIP DETAIL**



**16 STRINGER @ FINISH FLOOR**



**17 STAIR DETAIL @ LANDING**



**18 STRINGER DETAIL @ LANDING**



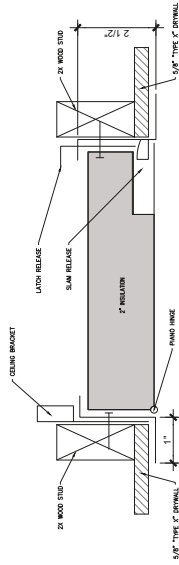
**19 TYP. STAIR STRINGER DETAIL**



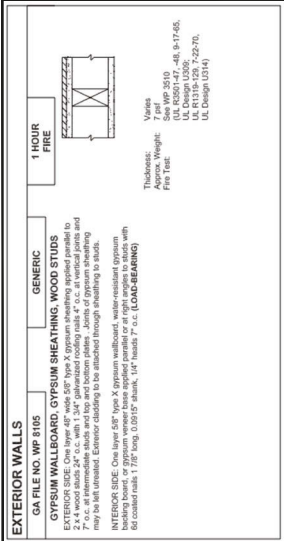
**20 TYP. HANDRAIL**



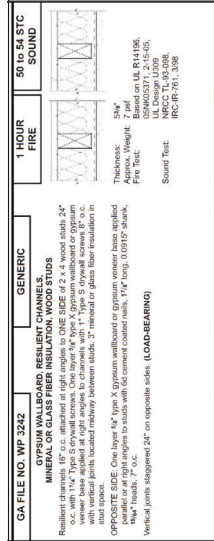
22-0675  
 12/08/2022



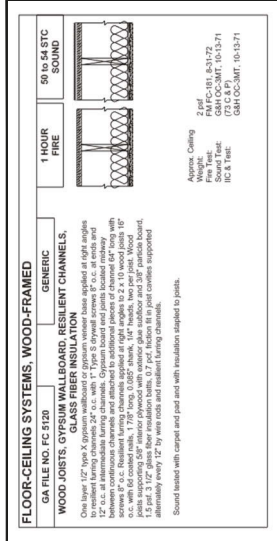
## 1 1-HR RATED ATTIC ACCESS



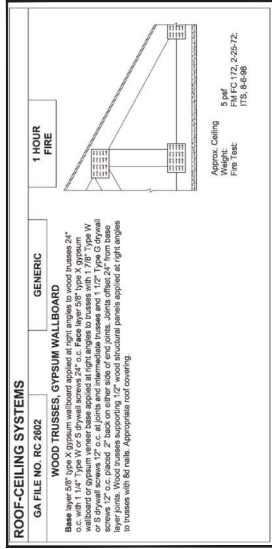
## 2 1-HOUR RATED EXTERIOR WALL ASSEMBLY



### 3 1-HOUR RATED INTERIOR WALL ASSEMBLY



#### 4 1-HOUR RATED FLOOR / CEILING ASSEMBLY



## 5 1-HR RATED ROOF / CEILING ASSEMBLY







## 1F8CF1430



Rev	Date	Description
1	12/08/2022	Original