



# DEPARTMENT OF PLANNING

## Application / Petition Form & Statement of Financial Interest

### Department Use

Case #
Meeting Date
Total Fee
Received By/Date

**Case Type** (Special Use Permit, Rezoning, Variance, Site Development Plan Review, etc) Site Development Review, Variance

**Project Address** (Location) 638 N 9th St

**Project Name** 9th Street Multi-family **Proposed Use** 8 Unit Multi-family

**Assessor's Parcel #(s)** 13926410012 **Ward #** 5

**General Plan:** Existing ☒ Proposed ☐ **Zoning:** Existing ☒ Proposed ☐

**Additional Information** We are requesting a variance to back up into 9th street, a parking waiver to reduce the amount of parking spots from 12 to 6, and a landscape waiver.

**Property Owner** Square Trade Holdings LLC **Contact** Dave Walnum

**Address** 4345 Corporate Center Dr Ste200 **City** N Las Vegas **State** NV **Zip** 89030

**E-mail** Chrisi@westerntrades.net **Phone** 702-469-2543

**Applicant** Square Trade Holdings LLC **Contact** Chrisi Reyes

**Address** 4345 Corporate Center Dr Ste200 **City** N Las Vegas **State** N Las **Zip** 89030

**E-mail** Chrisi@westerntrades.net **Phone** 702-469-2543

**Representative** Square Trade Holdings LLC **Contact** N Las Vegas

**Address** 4345 Corporate Center Dr Ste200 **City** N Las Vegas **State** N Las **Zip** 89030

**E-mail** Chrisi@westerntrades.net **Phone** 702-469-2543

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company? ☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

**City Official** \_\_\_\_\_ **Partner(s)** \_\_\_\_\_

**Partner(s)** \_\_\_\_\_

- I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in the application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.
- Application will not be deemed complete until the submitted materials have been reviewed by Department of Planning for consistency with the Zoning Ordinance.

**Property Owner Signature** Dave Walnum

An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps

**Print Name** David Walnum

Subscribed and sworn before me

This 12 day of January, 20 23

Notary Public in and for said County and State



PROJECT NAME

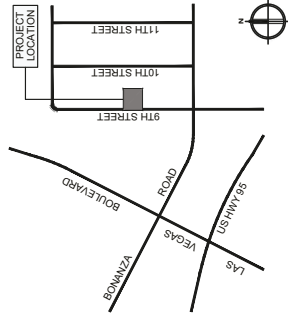
SPECIAL USE PERMIT FOR:

**9TH STREET  
8 PLEX**  
638 N. 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

PROJECT INFORMATION

OWNER: SQUARE TRADE HOLDINGS LLC  
SITE ADDRESS: 638 N. 9TH ST., LAS VEGAS NV 89101  
ASSessor'S PARCEL NUMBER: 139-26-410-012  
APPROXIMATE: LAS VEGAS  
ZONING CLASSIFICATION: UNIFIED MULTIPLE RESIDENCE DISTRICT (U-MR-3)  
ESTIMATED LOT SIZE: 5,848 SQ. FT. (APPROX. 133' X 43')  
BUILDING TYPE: 8 PLEX (8 UNITS)  
1ST FLOOR (4 UNITS) - 2,728 SQ. FT.  
2ND FLOOR (4 UNITS) - 3,120 SQ. FT.  
TOTAL - 5,848 SQ. FT.  
LOT COVERAGE: 40%  
MAXIMUM LOT COVERAGE PERCENTAGE: 40%  
REQUIRED PARKING STALLS: 7 STANDARD STALLS | 1 HANDICAP STALL = 8 TOTAL STALLS  
PROPOSED PARKING STALLS: 5 STANDARD STALLS | 1 HANDICAP STALL = 6 TOTAL STALLS

LOCATOR MAP



22-0675  
12/08/2022

STAMP

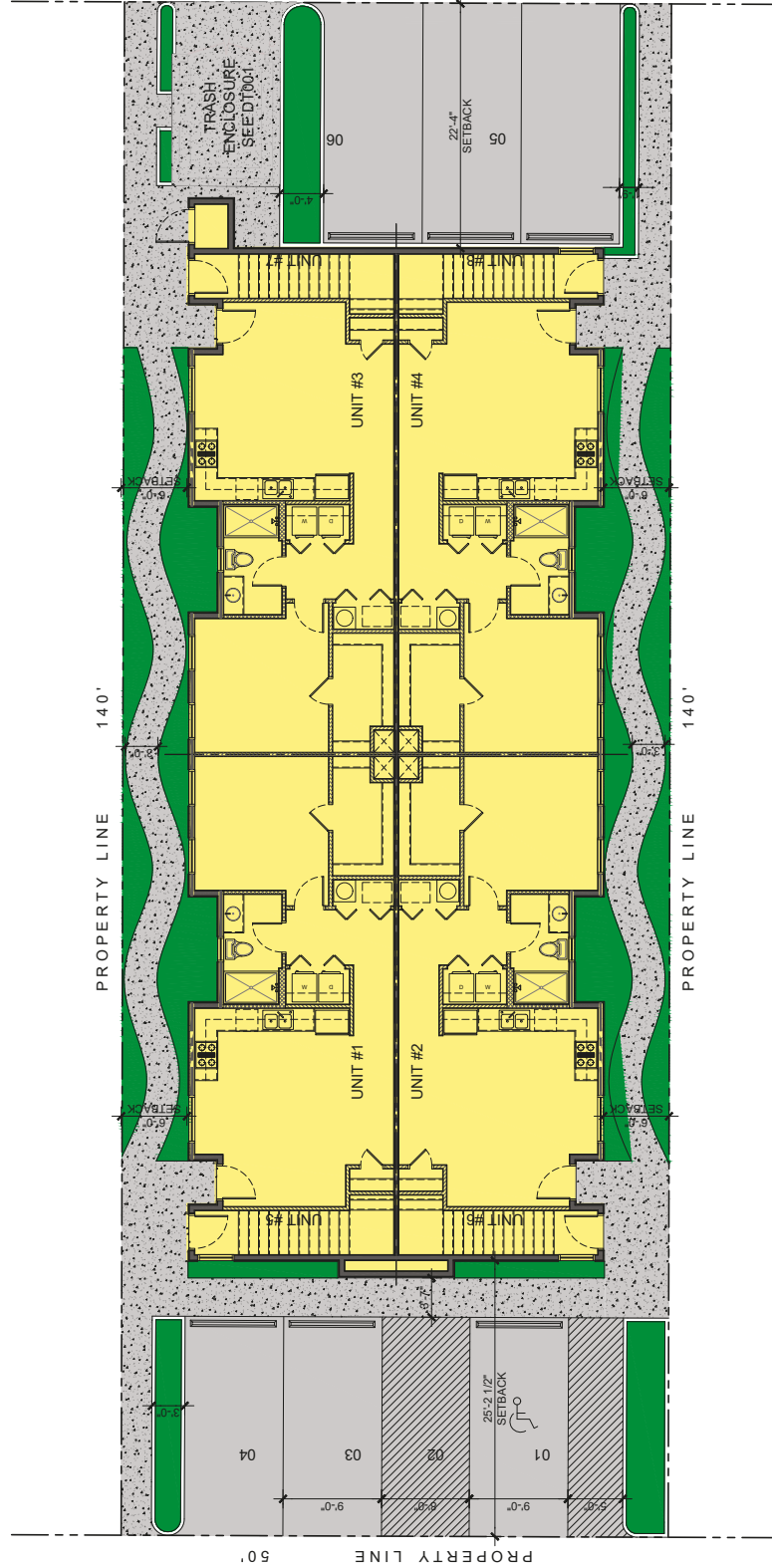
REVISIONS

Rev	Date	Description
1	12/08/2022	Original

DESIGN REVIEW SET FOR:  
9TH STREET  
8 PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

N. 9TH STREET

ALLEY WAY



1

PROPOSED SITE PLAN

SCALE: 3/16" = 1'-0"

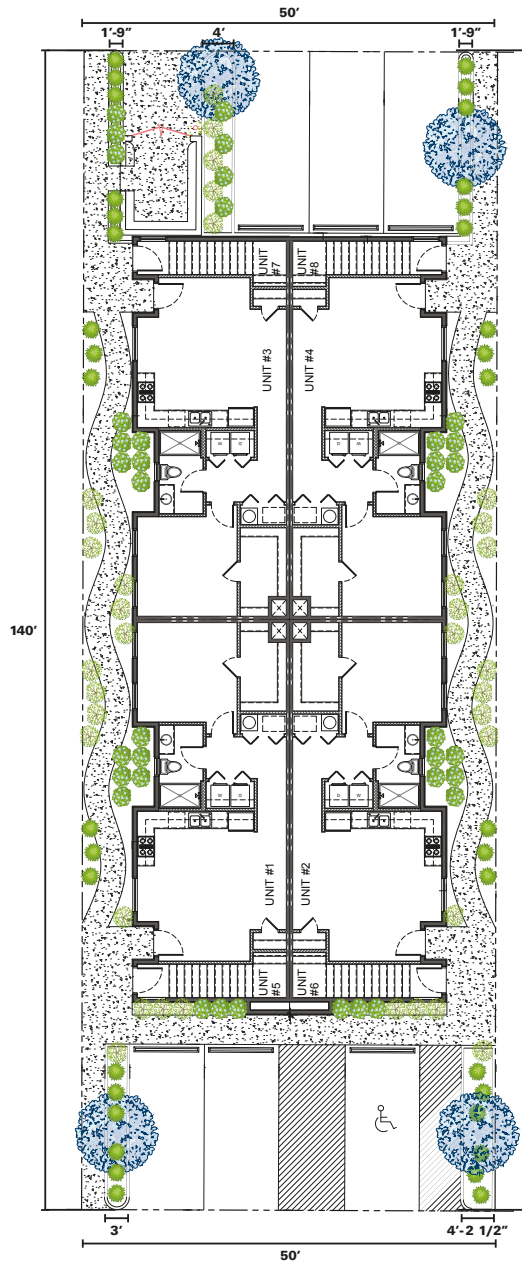
SP001



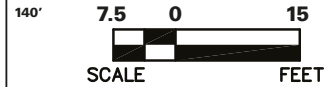
WESTERN TRADES  
CONSTRUCTION, INC.  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT  
9TH STREET  
8 PLEX  
SHEET CONTENT  
SITE PLAN

DATE: DECEMBER 8, 2022  
LPS NUMBER: 003-19008  
SHEET: SP001



**SCALE: 1" = 15'**




PLANS BY: RUSSELL WILLIAMS DESIGN

**NOTES:**

1. Install a 2" layer of 3/4" Screened Rock Mulch in all Landscape areas.
2. All flat work, pathways, curb, gutter plantmix bituminous surface and CMU walls to be constructed builder per approved plans
3. All lot grading and hose placement shall be done by builder per approved plans
4. A new irrigation system will be installed

Designs are property of Unique-Scape & Design and may not be used by anyone without written consent by Unique-Scape & Design. These plans are schematic in nature only and are a general representation of the completed product. They will vary due to the site conditions.


LEGEND:  **3/4" MINUS  
"APACHE GOLD"  
ROCK MULCH**

SIGNATURE: Bob Whitton  
COMPANY: Unique-Scape & Design




**9TH STREET 8 PLEX**

TYPE	SCALE	DATE	REVISION	APPROVED BY
COMPLEX EXTERIOR LANDSCAPING	1" = 15'	1/29/20	4	

**TREE SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Prunus cerasifera	PURPLE LEAF PLUM	24" BOX	4

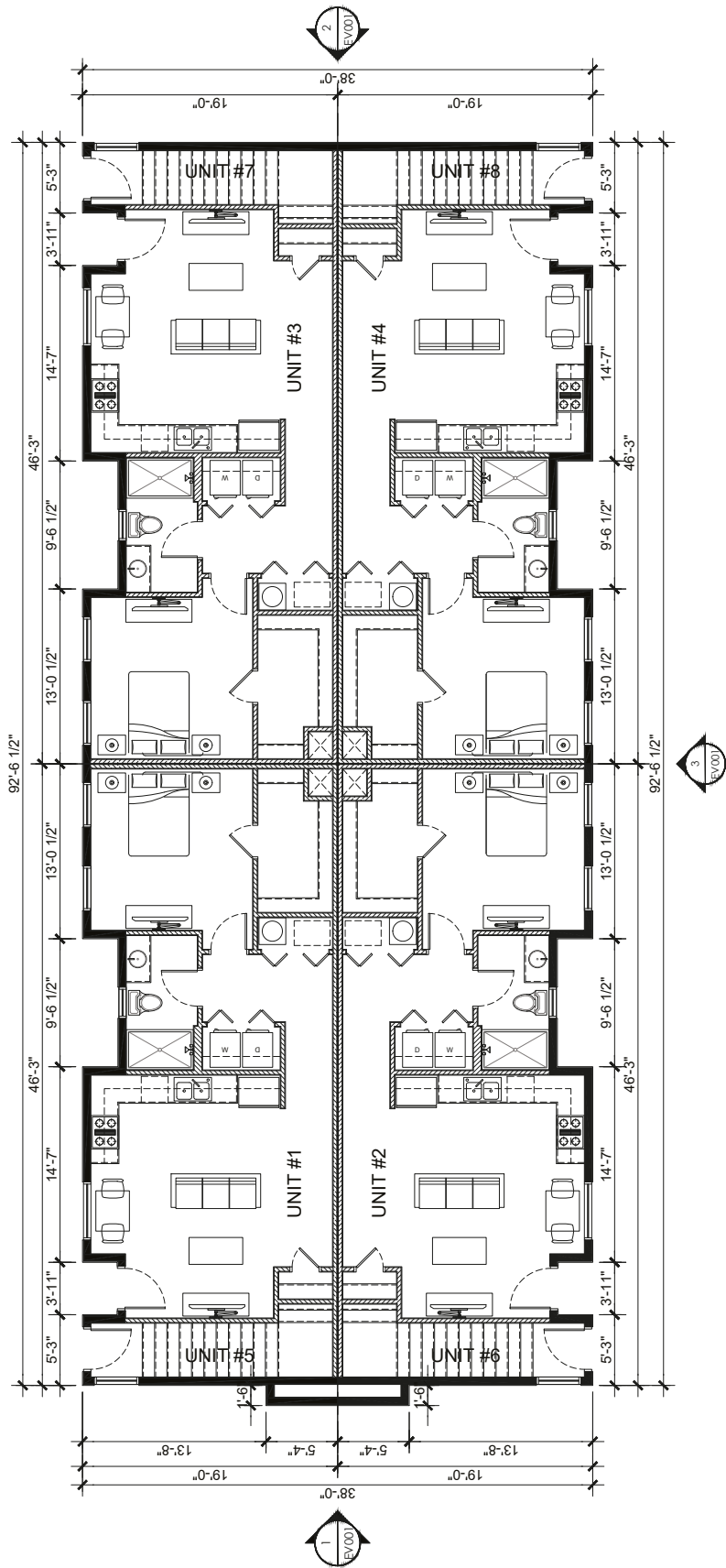
**SHRUB SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	Leucophyllum frutescens 'Green Cloud'	GREEN CLOUD TEXAS RANGER	5 GAL	35
	Lantana montevidensis	TRAILING LANTANA	5 GAL	37
	Pittosporum tobira 'Wheeler's Dwarf'	DWARF MOCK ORANGE	5 GAL	36

**22-0675**  
**12/08/2022**

FLOOR AREA CALCULATION	
APPROX. AREA	2,728 SQ. FT.
1ST FLOOR (UNITS 1-4)	3,120 SQ. FT.
2ND FLOOR (UNITS 5-8)	5,848 SQ. FT.
TOTAL	
UNIT 1	682 SQ. FT.
UNIT 2	682 SQ. FT.
UNIT 3	682 SQ. FT.
UNIT 4	682 SQ. FT.
UNIT 5	730 SQ. FT.
UNIT 6	730 SQ. FT.
UNIT 7	730 SQ. FT.
UNIT 8	730 SQ. FT.

22-0675  
12/08/2022



1 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1  
FP001

STAMP

REVISIONS

REV	DATE	DESCRIPTION
1	12/08/2022	Original

DESIGN REVIEW SET FOR:

9TH STREET  
8 PLEX

638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101

APN # 139-264-10-012

WESTERN TRADES  
CONSTRUCTION, INC.

4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT  
9TH STREET  
8 PLEX

SHEET COUNT  
PROPOSED 1ST  
FLOOR PLAN

DATE  
DECEMBER 8, 2022

LOG NUMBER  
003-19008

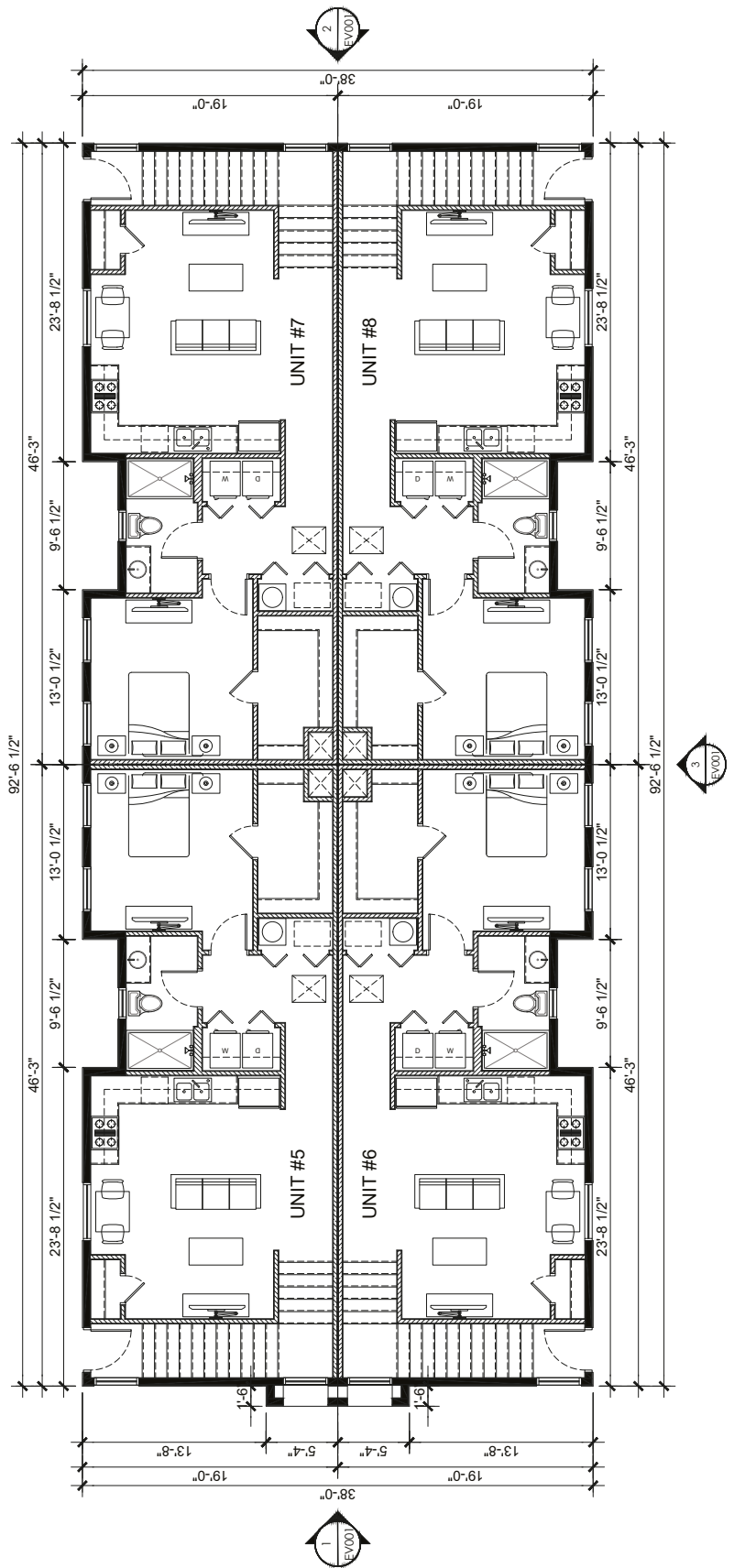
SHEET

FP001



FLOOR AREA CALCULATION	
APPROX. AREA	2,728 SQ. FT.
1ST FLOOR (UNITS 1-4)	3,120 SQ. FT.
2ND FLOOR (UNITS 5-8)	5,848 SQ. FT.
TOTAL	8,968 SQ. FT.
UNIT 1	682 SQ. FT.
UNIT 2	682 SQ. FT.
UNIT 3	682 SQ. FT.
UNIT 4	682 SQ. FT.
UNIT 5	730 SQ. FT.
UNIT 6	730 SQ. FT.
UNIT 7	730 SQ. FT.
UNIT 8	730 SQ. FT.

22-0675  
12/08/2022



1 PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FP002

STAMP

REVISIONS

Rev. Date Description

12/08/2022 Original

DESIGN REVIEW SET FOR:

9TH STREET  
8 PLEX

638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101

APN # 139-264-10-012

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WESTERN TRADES  
CONSTRUCTION, INC.

4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

Phone: (702) 238-5211  
Fax: (702) 543-4366

PROJECT: 9TH STREET  
8 PLEX

SHEET CONTENT: PROPOSED 2ND  
FLOOR PLAN

DATE: DECEMBER 8, 2022

LOG NUMBER: 003-19008

SHEET: FP002

NEW RESIDENTIAL CONSTRUCTION FOR:

# 9TH STREET 8 PLEX

638 NORTH 9TH STREET, LAS VEGAS NEVADA 89101

APN NUMBER: 139-26-410-012

22-0675  
12/08/2022

JURISDICTION: LAS VEGAS - 89101

ZONING: MEDIUM DENSITY RESIDENTIAL (R-2)



## PROJECT TEAM

<u>GENERAL CONTRACTOR:</u> WESTERN TRADES CONST. 4357 CORPORATE CENTER DR. #400 NORTH LAS VEGAS, NV 89030 PHN: (702) 238-5211	<u>STRUCTL. CONTRACTOR:</u> DAVID LIU & ASSOCIATES 9809 PANORAMA CLIFF DRIVE LAS VEGAS, NV 89134 PHN: (702) 580-0966	<u>CIVIL CONTRACTOR:</u> MHP LIMITED 6440 SKY POINTE DRIVE #140-385 LAS VEGAS, NEVADA 89131-4047 PHN: (702) 334-1331	<u>MECHANICAL CONTRACTOR:</u> COMFORT ENGINEERING INC 9175 W FLAMINGO RD, LAS VEGAS, NV 89147 PHN: (702) 367-0892	<u>PLUMBING CONTRACTOR:</u> COMFORT ENGINEERING INC 9175 W FLAMINGO RD, LAS VEGAS, NV 89147 PHN: (702) 367-0892	<u>ELECTRICAL CONTRACTOR:</u> COMFORT ENGINEERING INC 9175 W FLAMINGO RD, LAS VEGAS, NV 89147 PHN: (702) 367-0892
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**SITE INFORMATION**

ZONING: CITY OF LAS VEGAS, NEVADA  
MEDIUM DENSITY RESIDENTIAL (R-2)  
APN - 139-26-410-012

SITE AREA: ESTIMATED - 16 ACRES (6,968 S.F.)

BUILDINGS: ONE 2-STORY RESIDENTIAL 8-PLEX

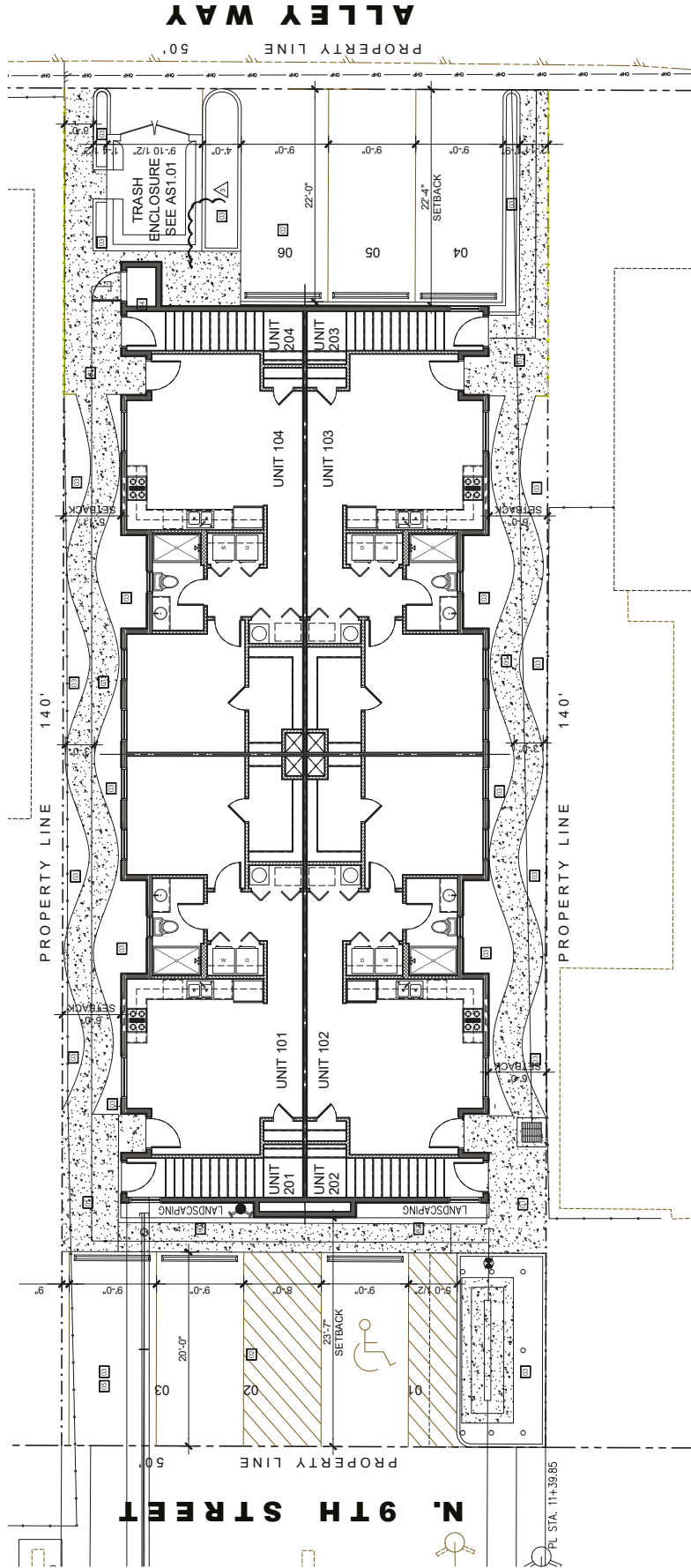
**SITE NOTES**

- CONCRETE WALKWAY
- PARKING AREA
- LANDSCAPE AREA
- FRONT PORCH
- FRONT PORCH
- FRONT PORCH
- FRONT PORCH

**SITE NOTES**

- REFER TO CIVIL DRAWINGS AND LANDSCAPE DRAWINGS FOR ANY INFORMATION AND CLARIFICATION NOT SHOWN ON THIS PLAN.
- REFER TO OVERALL BUILDING PLAN AND UNIT PLAN FOR DIMENSIONS AND INFORMATION PERTAINING TO THE BUILDING.

22-0675  
12/08/2022



**ARCHITECTURAL SITE PLAN**

SCALE: 3/16" = 1'-0"

1



STAMP:

REV	DATE	DESCRIPTION
1	01/21/2020	Original
2	03/20/2020	Rev. Comments
3	07/29/2020	Rev. Comments
4	11/01/2020	Rev. Comments

CONSTRUCTION DOCUMENTS FOR:  
**9TH STREET  
8-PLEX**  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

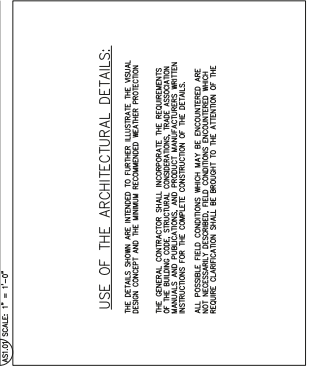
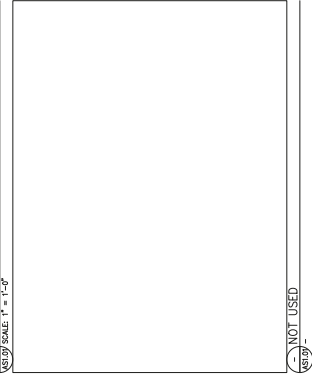
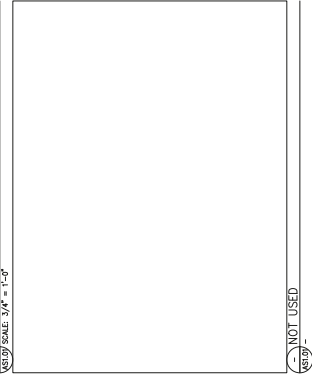
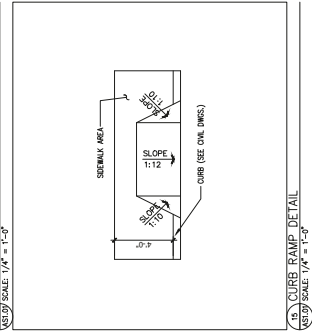
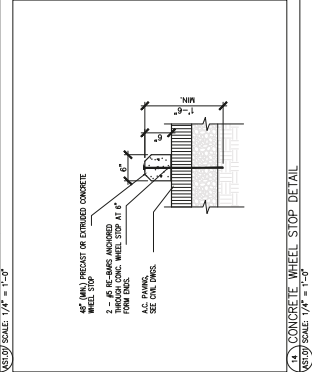
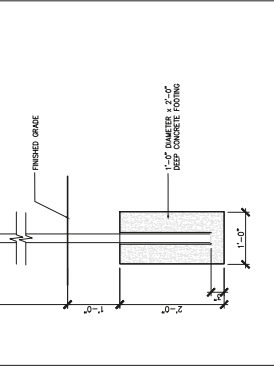
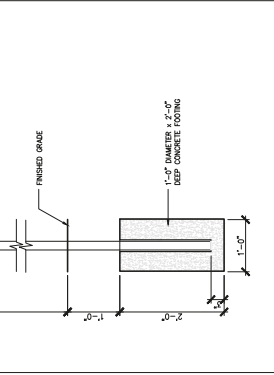
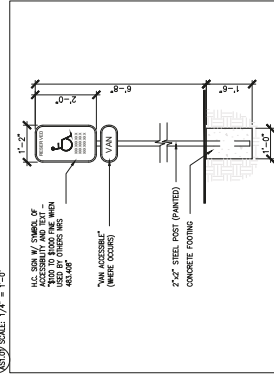
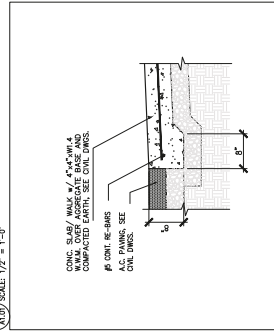
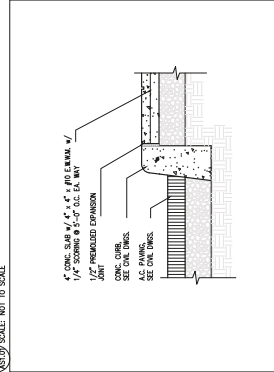
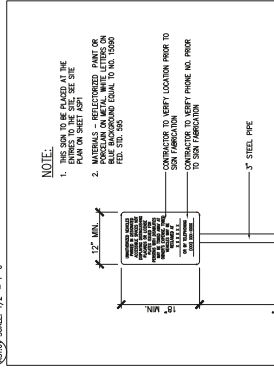
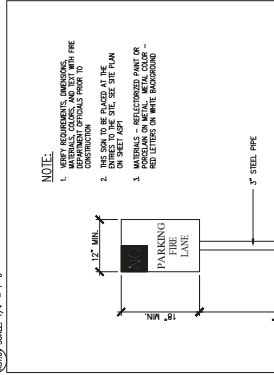
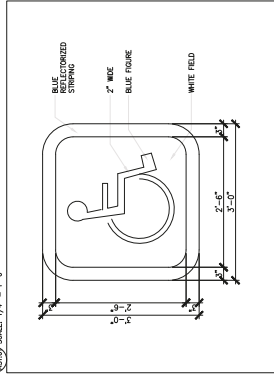
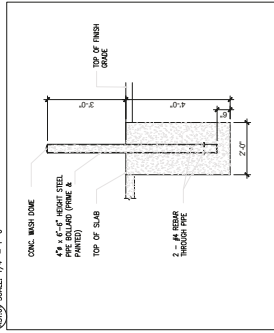
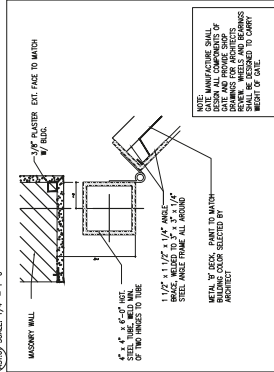
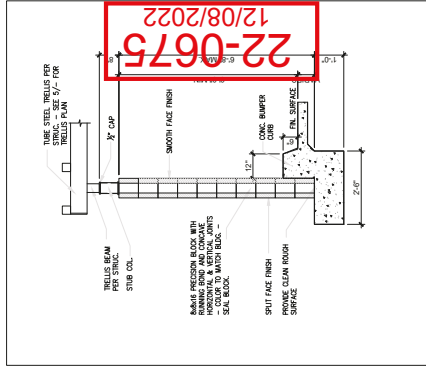
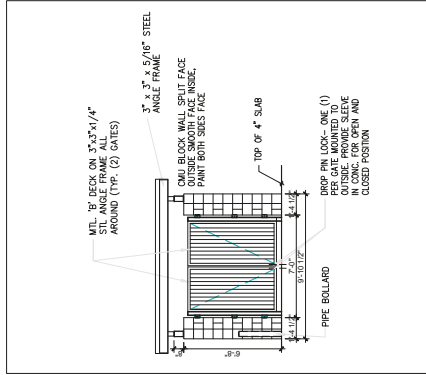
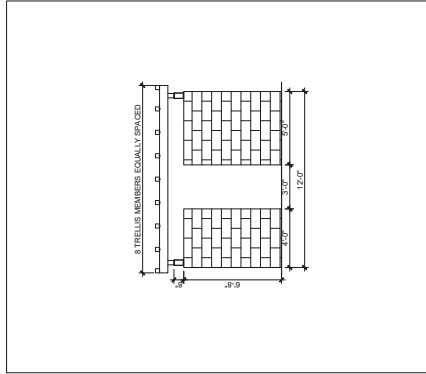
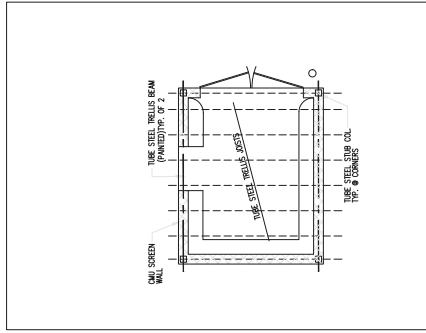
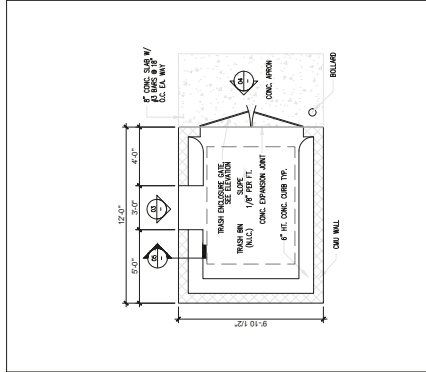
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Phone: (702) 238-5211 Fax: (702) 543-4356  
**WESTERN TRADES**  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

**9TH STREET  
8-PLEX**  
ARCHITECTURAL  
SITE PLAN

DATE: NOVEMBER 10, 2020  
UPR NUMBER: 003-19020  
SHEET:

**AS1.00**





**BUILDING WALL LEGEND**

(001) = EXTERIOR WALL - 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. ON INSIDE FACE STAGGERED AND SMOOTH STUCCO ON EXTERIOR SIDE. INSTALL R-19 BATT INSULATION. SEE DETAIL 2/A6.00

(002) = INTERIOR WALL - 2x4 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES. STUCCO ON INTERIOR SIDE. INSTALL SOUND BATT INSULATION AND FINISH WALLS ADJOINING A BATHROOM. SEE DETAIL 2/A6.00

(003) = INTERIOR PLUMBING WALL - 2x4 GY 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES. WATER RESISTANT DRAINAGE BOARD. STUCCO ON INTERIOR SIDE. WHERE REQUIRED PER CODE INSTALL 3/16" GYP. BOARD. STUCCO ON INTERIOR SIDE. INSULATION AT WALLS. SEE DETAIL 2/A6.00

(004) = INTERIOR (LOAD-BEARING) - SEE 3/A6.00 LEO.P. WALL ASSEMBLY.

(005) = EXTERIOR (LOAD-BEARING) - SEE 2/A6.01 FOR WALL ASSEMBLY.

**GENERAL BUILDING NOTES**

1. THE INTENT OF THESE CONSTRUCTION DOCUMENTS IS TO DEFINE THE SCOPE OF WORK IN ACCORDANCE WITH CITY OF LAS VEGAS, TITLE 19

2. EXTERIOR FINISH - 3 COAT STUCCO SYSTEM OVER METAL LATH OVER BUILDING PAPER

3. ALL DIMENSIONS ARE FROM FACE OF SUBSTRATE TO FACE OF SUBSTRATE, UN.O.

4. REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR AND PERIMETER WALLS OF UNIT AND BUILDING PLANS FOR FINISH SCHEDULES & DETAILS

5. TYPICAL WALL CONSTRUCTION - 2x4 and 2x6 STUDS AT 16" O.C. - UN.O. REFER TO A7.00 FOR PARTITION TYPES AND DETAILS

6. TYPICAL DOOR ROUGH OPENING BEGINS 3" FROM ADJACENT WALL, UN.O.

7. REFER TO A6.00 FOR DOOR AND WINDOW TYPES & SCHEDULES.

8. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF EACH BEDROOM.

9. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBER. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION NUMBERS SHALL BE PLACED IN PLAINLY LEGIBLE LOCATION FROM THE STREET OR ROAD FRONTING THE PROPERTY (RC SECTION R319.1)

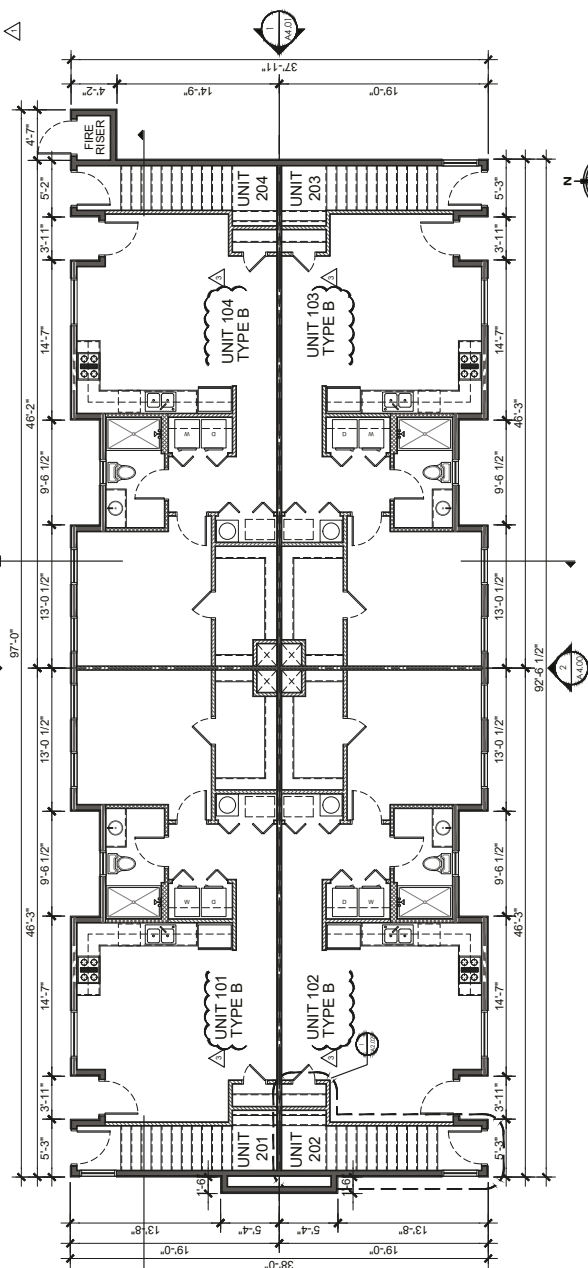
10. REFER TO BUILDING EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES

11. WHERE CONFLICTS OCCUR, THE CONTRACTOR SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL ELECTRICAL, PLUMBING, MECHANICAL, AND COMMUNICATION OUTLETS & SWITCHES WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION

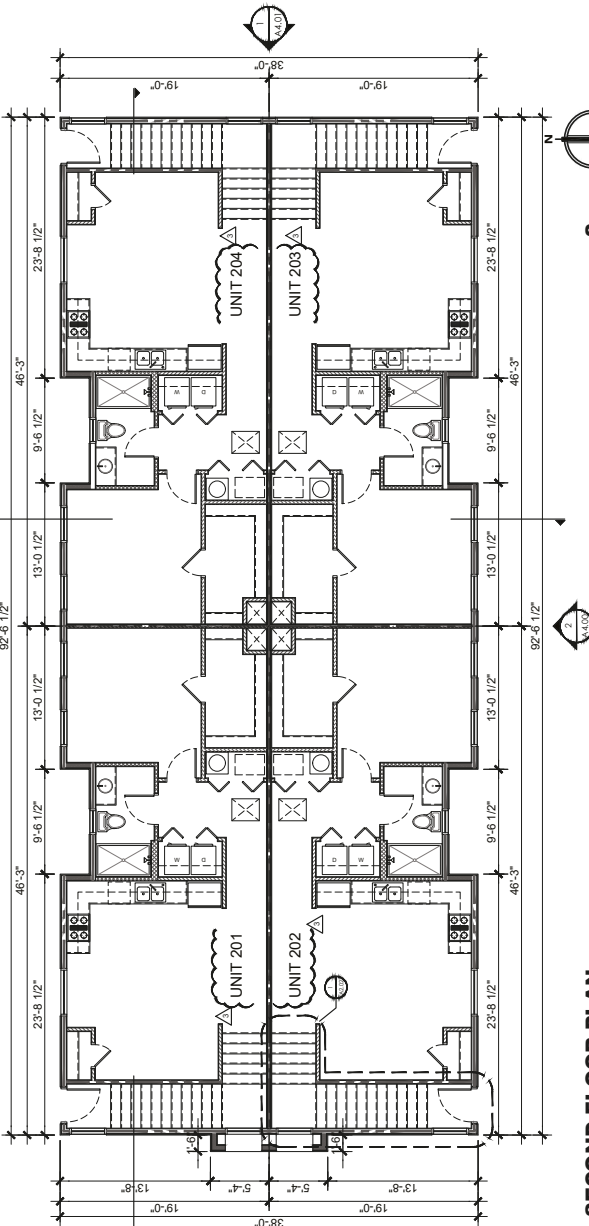
12. EXTEND FLOOR FINISH MATERIAL UNDER ALL REMOVABLE KITCHEN AND BATH BASE CABINETS, AS WELL AS ALL KITCHEN APPLIANCES.

13. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL PLANS FOR METER LOCATIONS

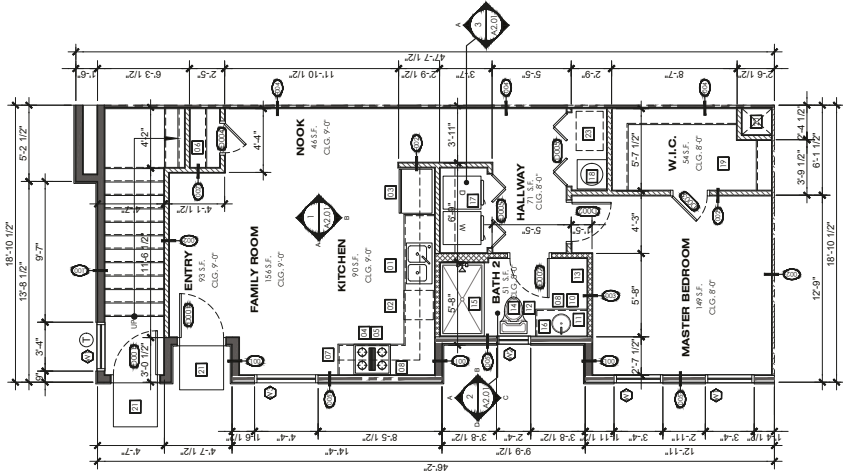
14. FOR EXHAUST DUCTS OR VENTS REFER TO MECHANICAL PLANS



**FIRST FLOOR PLAN**

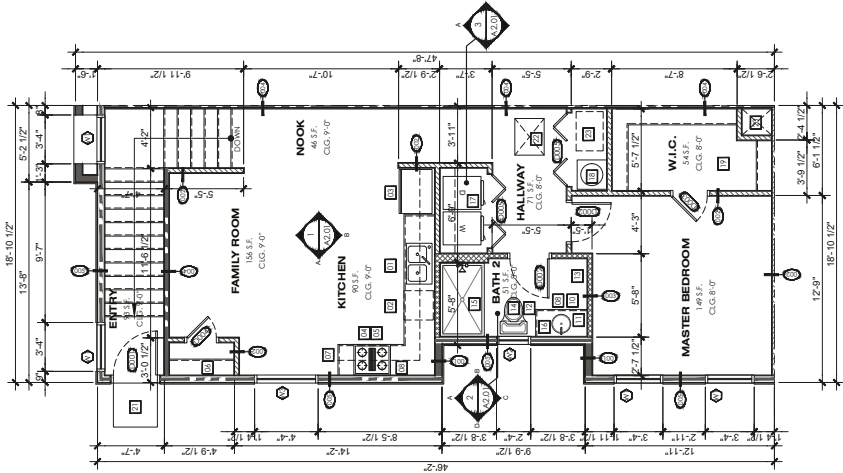


**SECOND FLOOR PLAN**



TYPICAL 1ST FLOOR UNIT

SCALE: 1/4" = 1'-0"



TYPICAL 2ND FLOOR UNIT

SCALE: 1/4" = 1'-0"



UNIT KEYNOTES

- DOUBLE SINK WITH GARBAGE DISPOSAL
- 40" WIDE BUILT-IN DISHWASHER
- 40" CLEAR REFRIGERATOR SPACE PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER
- 30" FREE-STANDING DOUBLE OVEN RANGE
- OVER-THE-RANGE MICROWAVE OVEN/hood
- COAT CLOSET WITH SELF AND POLE
- FINISHED BACK & END OF CABINET
- " BACKSLASH, TYPICAL AT KITCHEN COUNTERTOP
- 30" BASE CAB WITH COUNTERTOP
- LAVATORY
- RECESSED MEDICINE CABINET
- TOILET PAPER HOLDER 24" HIGH, PROVIDE 2x BACKING WHEN MOUNTED ON WALL
- 24" L TOWEL BAR, PROVIDE 2x BACKING SECTION 4000, SEE SPECIFICATIONS.
- WALK IN SHOWER
- BATHROOM MIRROR
- WASHER/DRYER SPACE, PROVIDE RECESSED WATER AND CONNECTIONS
- 40 GALLON WATER HEATER ON 18"x24" SQ. PLATFORM, PROVIDE PRESSURE RELIEF VALVE WITH DRAIN AND VENT TO OUTSIDE AIR, PROVIDE DRAINAGE OUTSIDE AIR PER U.M.C. - SEE MECH. DIVISION
- WHERE WATER HEATER IS LOCATED ON A FLOORCEILING ASSEMBLY, A DRAINAGE PAN IS REQUIRED, UPC SEC. 507.3.
- WARDROBE CLOSET W/ SINGLE SHELF & DOUBLE ROD, CARPET FIN.
- MECHANICAL CHASE
- 30" X 30" MINIMUM CONCRETE PAD
- 22' X 30' FIRE RATED INSULATED ACCESS DOOR WITH FLANGE, REFER TO DETAIL 1740.01
- FAU PER U.M.C. PROVIDE LIGHT, POWER, GAS, ACCESS AND 30" WIDE WORKSPACE, PROVIDE COMBUSTION AIR PER THE U.M.C. VENT TO OUTSIDE PLACED ON 20" PLATFORM



BUILDING WALL LEGEND

- (001) EXTERIOR WALL - 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. ON INSIDE FACE (STAGGERED) AND SMOOTH STUCCO ON EXTERIOR. SEE DETAIL 1740.00 BATH INSULATION, SEE DETAIL 1740.00
- (002) INTERIOR WALL - 2x4 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES FINISH WITH 1/2" DRYWALL. INSULATE WALLS ADJOINING BATHROOM. SEE DETAIL 2746.00
- (003) INTERIOR PLUMBING WALL - 2x6 WOOD STUD, SPACED 16" O.C. W/ 5/8" GYP. BD. BOTH SIDES FINISH WITH 1/2" DRYWALL. USE WATER RESISTANT DRYWALL WHERE REQUIRED PER CODE. INSTALL SOUND INSULATION AT WALLS. SEE DETAIL 2746.00
- (004) INTERIOR (LOAD-BEARING) - SEE 3746.00 L.O.P. WALL ASSEMBLY.
- (005) EXTERIOR (LOAD-BEARING) - SEE 2746.01 FOR WALL ASSEMBLY.

GENERAL BUILDING NOTES

- THE INTENT OF THESE CONSTRUCTION DOCUMENTS IS TO DEFINE THE SCOPE OF WORK IN ACCORDANCE WITH CITY OF LAS VEGAS, TITLE 15
- EXTERIOR FINISH - 3 COAT STUCCO SYSTEM OVER METAL LATH OVER BUILDING PAPER
- ALL DIMENSIONS ARE FROM FACE OF SUBSTRATE TO FACE OF SUBSTRATE, U.N.O.
- REFER TO STRUCTURAL DRAWINGS FOR ALL EXTERIOR AND PERIMETER WALLS OF UNIT AND BUILDING PLANS FOR FRAMING SCHEDULES & DETAILS
- TYPICAL WALL CONSTRUCTION - 2x4 AND 2x6 STUDS AT 16" O.C. MAX., REFER TO 77.00 FOR PARTITION TYPES AND DETAILS
- TYPICAL DOOR ROUGH OPENING BEGINS 3" FROM ADJACENT WALL, U.N.O.
- REFER TO A201 FOR DOOR AND WINDOW TYPES & SCHEDULES.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF EACH BEDROOM.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBER, IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY IBC SECTION SEC. 502.1 FINISHES
- REFER TO BUILDING EXTERIOR ELEVATIONS FOR EXTERIOR FINISHES
- WHERE CONFLICTS OCCUR, THE CONTRACTOR SHALL CORRELATE THE LOCATION AND EXACT LOCATION OF ALL PARTITIONS, DOORS, WINDOWS, TELEPHONE, ELECTRICAL, AND COMMUNICATION OUTLETS & SWITCHES WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION
- EXTEND FLOOR FINISH MATERIAL UNDER ALL REMOVABLE KITCHEN AND BATH BASE CABINETS, AS WELL AS ALL KITCHEN APPLIANCES.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL PLANS FOR METER LOCATIONS
- FOR EXHAUST DUCTS OR VENTS REFER TO MECHANICAL PLANS

NOTE: VERIFY WITH OWNER ALL HOSE BIBS LOCATIONS

NOTE: VERIFY WITH OWNER ALL WATER HEATER LOCATIONS

NOTE: VERIFY WITH OWNER ALL HOSE BIBS LOCATIONS

NOTE: VERIFY WITH OWNER ALL PLUMBING LOCATIONS

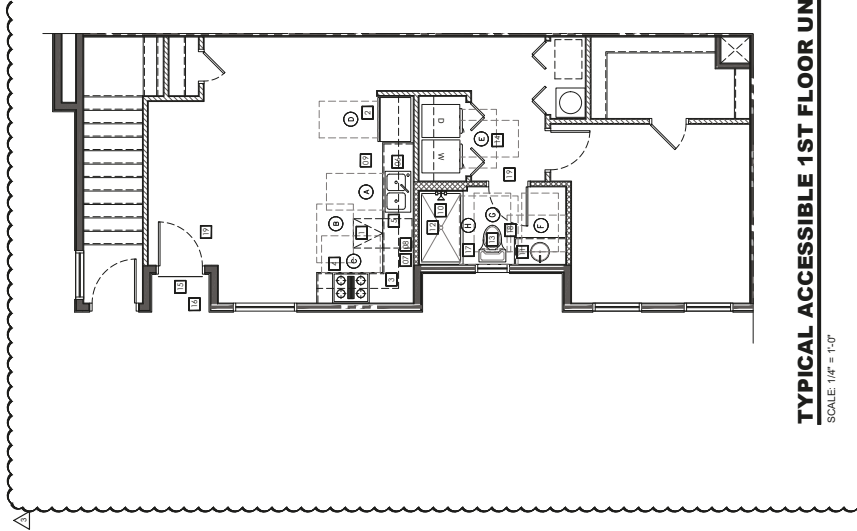
GENERAL BUILDING NOTES

REFER TO A2.00 FOR ROOM NAMES, NUMBERS, DIMENSIONS,  
DOOR AND WINDOW SIZES.

ACCESSIBLE UNIT KEYNOTES

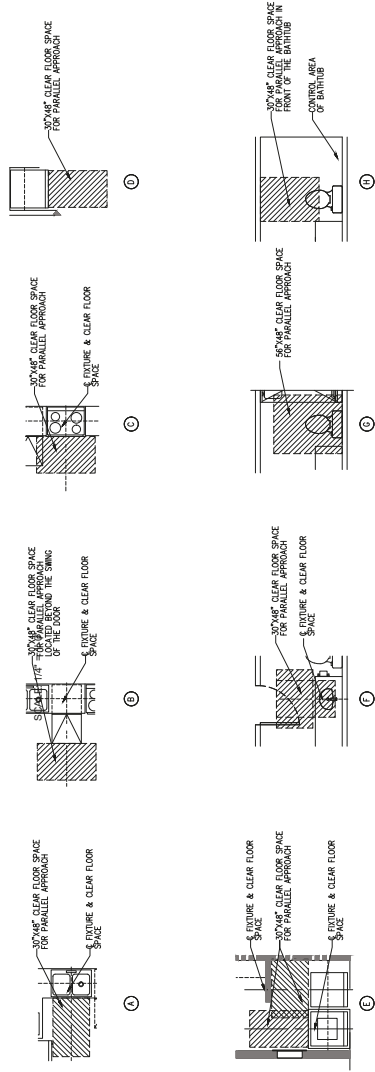
- DISHWASHER, ALL BACKS, SPACE SHALL BE 100% CLEAR PER ICC / ANSI A117.1-2009 1004.12.2.2
- REFRIGERATOR / FREEZER SHALL COMPLY WITH ICC / ANSI A117.1-2009 1004.12.2.5
- MICROWAVE ON COUNTERTOP OR IN PANTRY SHALL COMPLY WITH ICC / ANSI A117.1-2009 1004.12.2.4
- OVEN WITH CONTROL PANEL ON FRONT TO COMPLY WITH ICC / ANSI A117.1-2009 1004.12.2.4
- 2" MINIMUM CLEARANCE UNDER SINKS AND COUNTERS TO THE WALL, IN COMPLIANCE WITH ICC / ANSI A117.1-2009 1004.12.2.4
- PIPES UNDER SINKS SHALL BE INSULATED, OR OTHERWISE CONFIGURED TO PROTECT AGAINST DAMAGE TO THE SINKS AND COUNTERS
- DOUBLE SINK, ONE BOWL SHALL BE 6-1/2" MAX. DEPTH WITH LOWER TYPE HARDWARE PER ICC / ANSI A117.1-2009 1004.11.3
- UPPER CABINET, BOTTOM SHELF AT 48" MAX. ABOVE FINISHED FLOOR
- COUNTER TOP AT 34" A.F. IF COUNTERTOP AREA INCLUDES FIXTURE, THE RIM OR TOP OF FIXTURE SHOULD BE PLACED AT 34" MAX A.F.F., LOWERING COUNTER TOP HEIGHT
- CLEAR FLOOR SPACE FOR MANEUVERING (WHEN SPACE IS REQUIRED FOR MANEUVERING, THE COUNTER TOP, REMOVABLE BASE CABINET NOT ALLOWED)
- FIXTURE CONTROL AREA WITH SHOWER SPRAY UNIT WITH 59" HOSE COMPLYING WITH ICC / ANSI A117.1-2009 807
- LAVATORY PER ICC / ANSI A117.1-2009 1004.11.3 CLEARANCE PER SECTION 306.606.8
- BATH TUB SOLID BLOCKING FOR GRAB BAR PER ICC / ANSI A117.1-2009 804
- WATER CLOSET SOLID BLOCKING FOR GRAB BAR PER SECTION 604 AND ICC / ANSI A117.1-2009 1002.11
- WASHER AND DRYER PER ICC / ANSI A117.1-2009 1002.10, 1004.10 AND SECTION 611
- LOW THRESHOLD AT ALL DOORS PER ICC / ANSI A117.1-2009 404.2.4
- CONCRETE PATIO SLAB SHALL BE FLUSH WITH UNIT FINISH FLOOR AT DOOR OPENING USE LOW THRESHOLD (1/2" MAX) ICC / ANSI A117.1-2009 404.2.4
- WATER CLOSET PER ICC / ANSI A117.1-2009 1004.11.3.1.2
- TOILET PAPER DISPENSERS SHALL COMPLY WITH SECTION 306.4 AND SHALL BE 7" MIN. AND 9" MAX. IN FRONT OF THE WATER CLOSET PER ICC / ANSI A117.1-2009 SECTION 604.7
- DOOR CLEAR FLOOR SPACE SHALL COMPLY ICC / ANSI A117.1-2009 SECTION 404.2.3.1

22-06475  
12/08/2022



TYPICAL ACCESSIBLE 1ST FLOOR UNITS

SCALE: 1/4" = 1'-0"



STAMP:

REV	DESCRIPTION	DATE
1	Original	01/21/2020
2	Rev. Comments	03/20/2020
3	Rev. Comments	07/29/2020
4	Rev. Comments	11/01/2020

CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-01-2

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WESTERN TRADES  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR #200  
N LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4366

PROJECT:  
9TH STREET  
8-PLEX

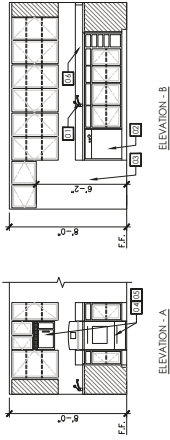
SHEET CONTAINS:  
ACCESSIBLE UNIT  
FLOOR PLAN

DATE:  
NOVEMBER 10, 2020  
SHEET NUMBER:  
003-19020  
SHEET:

A2.00A

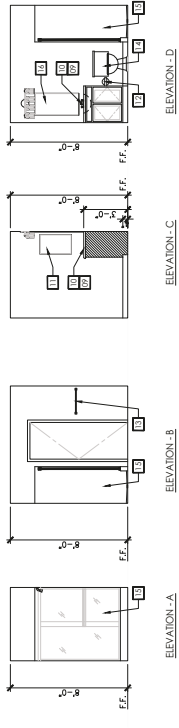
UNIT KEYNOTES

- DOUBLE SINK WITH GARBAGE DISPOSAL
- 24" WIDE BUILT IN DISHWASHER
- 40" CLEAR REFRIGERATOR SPACE PROVIDE RECESSED COLD WATER BIB AND SHUT-OFF FOR ICE MAKER
- 30" FREE-STANDING DOUBLE OVEN RANGE
- OVER-THE-RANGE MICROWAVE OVEN/HOOD
- COAT CLOSET WITH SELF AND POLE
- FINISHED BACK & END OF CABINET
- 6" BACKSPLASH, TYPICAL AT KITCHEN COUNTER TOP
- 30" BASE CAB WITH COUNTERTOP
- LAVATORY
- RECESSED MEDICINE CABINET
- TOILET PAPER HOLDER 24" HIGH, PROVIDE 2x BACKING WHEN MOUNTED ON WALL.
- 24" L TOWEL BAR, PROVIDE 2x BACKING AND A MAX. OF 18 GAL./FLUSH PER C.F.
- SECTION SHALL BE SPECIFICATIONS.
- WALK IN SHOWER
- BATHROOM MIRROR
- WASHER/DRYER SPACE, PROVIDE RECESSED WATER AND CONNECTIONS
- 40 GALLON WATER HEATER ON 18"x24" SQ. PLATFORM W/ SEISMIC STRAPS, PROVIDE A 1 1/2" MIN. CLEARANCE FROM THE WALLS OF THE PLATFORM. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN AND VENT TO OUTSIDE AIR. PROVIDE COMBUSTION OUTSIDE AIR PER U.M.C. - SEE MECH. DWGS.
- WARDROBE CLOSET W/ SINGLE SHELF & DOUBLE RODS
- MECHANICAL CHASE
- 36" X 36" MINIMUM CONCRETE PAD
- 24" X 30" FIRE RATED ATTIC ACCESS. PROVIDE 24" WIDE CATWALK AND 30" X 30" PLATFORM IN FRONT OF ANY ATTIC MOUNTED EQUIPMENT
- FAU PER U.M.C. PROVIDE LIGHT, POWER, GAS, COMBUSTION AIR PER U.M.C. PROVIDE COMBUSTION AIR PER THE U.M.C. VENT TO OUTSIDE PLACED ON 20" PLATFORM



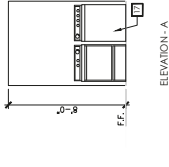
TYPICAL KITCHEN

SCALE: 1/4" = 1'-0"



TYPICAL BATHROOM

SCALE: 1/4" = 1'-0"



UTILITY CLOSET

SCALE: 1/4" = 1'-0"

STAMP:

REV	REVISIONS	Date	Description
1	01/21/2020	Original	
2	03/20/2020	Blg. Comments	
3	07/28/2020	Blg. Comments	
4	11/10/2020	Blg. Comments	

CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

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CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

PROJECT:  
9TH STREET  
8-PLEX

SHEET CONTENT:  
TYPICAL UNIT  
INTERIOR  
ELEVATIONS

DATE:  
NOVEMBER 10, 2020  
LOG NUMBER:  
003-19020  
SHEET:

A2.01



22-0675  
12/08/2022

REVISIONS			
REV	DATE	DESCRIPTION	BY
1	01/21/2020	Original	AV
2	03/20/2020	Blg. Comments	AV
3	07/29/2020	Blg. Comments	AV
4	11/10/2020	Blg. Comments	AV

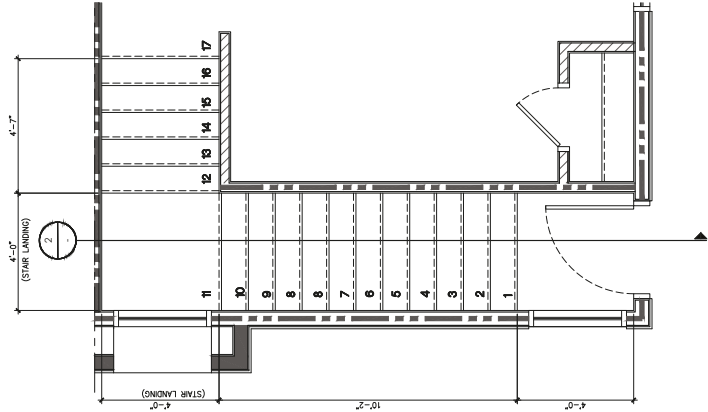
CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

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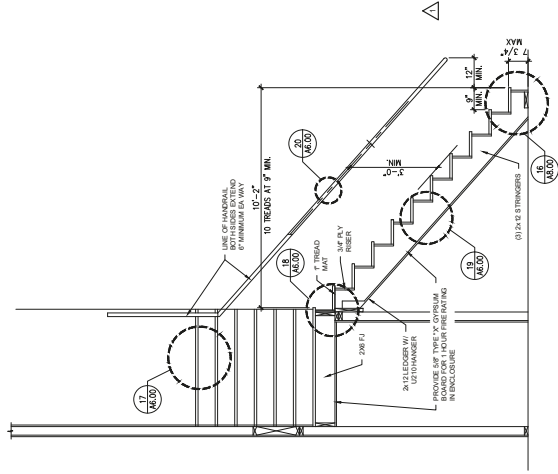
WESTERN TRADES  
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N. LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT:  
9TH STREET  
8-PLEX  
SHEET CONTENT:  
TYPICAL PLAN  
STAIR DETAILS  
AND SECTION  
NOVEMBER 10, 2020  
LOG NUMBER:  
003-191020  
SHEET:

A2.02



ENLARGED STAIR PLAN  
SCALE: 1/2" = 1'-0"



STAIR SECTION  
SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE						
TAG	WIDTH	HEIGHT	QTY	A.F.F.	TYPE	DESCRIPTION
(W)	3'-0"	5'-0"	5	96" A.F.F.	SINGLE HUNG	TEMPERED WHERE REQUIRED BY CODE
(W)	2'-0"	3'-0"	5	96" A.F.F.	SINGLE HUNG	TEMPERED WHERE REQUIRED BY CODE
(W)	4'-0"	3'-0"	1	96" A.F.F.	HORIZONTAL SLIDER	TEMPERED WHERE REQUIRED BY CODE
NOTE: ALL NEW WINDOWS TO HAVE DOUBLE GLAZING W/ LOW-E FACTOR 0.860 / SHGC 0.280						

DOOR SCHEDULE						
DOOR TAG	WIDTH	HEIGHT	THICK	HW1	DOOR TYPE	DESCRIPTION
D001	3'-0"	8'-0"	1-3/4"	HW1	SOLID CORE	
D002	2'-0"	8'-0"	1-3/4"	HW2	HOLLOW CORE	
D003	2'-0"	6'-0"	1-3/4"	HW2	HOLLOW CORE	
D004	2'-0"	6'-0"	1-3/4"	HW3	HOLLOW CORE	
D005	5'-0"	8'-0"	1-3/4"		HOLLOW CORE	

DOOR HARDWARE SCHEDULE									
VERIFY ALL FINAL HARDWARE SELECTIONS WITH OWNER									
	● LEVER HANDLE (KEY LOCK OUTSIDE/ DEAD BOLT INSIDE)		● LEVER HANDLE (PRIVACY LOCK INSIDE)		● DOOR STOP (WALL MOUNT)		● DOOR STOP (WALL MOUNT)		● HARDWARE PER MANUFACTURER
STANDARD HARDWARE NOTE:									

STANDARD HARDWARE NOTE:  
CONTRACTOR TO HAVE DOOR AND HARDWARE SUB-CONTRACTOR COORDINATE WITH OWNER TO SELECT ALL HINGES, LEVERS, LATCHES AND STOPS PRIOR TO PURCHASE AND INSTALLATION.

ACCESSIBLE UNIT HARDWARE NOTE:  
EGRESS AND ENTRANCE DOORS SHALL HAVE ACCESSIBLE HARDWARE. LATCHES, LOCKS AND OTHER OPERABLE PARTS ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP. HARDWARE SHALL BE 34 INCHES (865 MM) MINIMUM AND 48 INCHES (1220 MM) MAXIMUM ABOVE THE FLOOR. WHERE SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED USABLE FROM BOTH SIDES.

### DOOR / WINDOW GENERAL NOTES

FOR ALUMINUM WINDOW FRAME FINISH, SEE SPECIFICATION SECTION 088000, ALUMINUM DOORS AND WINDOWS, ARTICLE 204 FINISHES.

FOR WINDOW GLAZING, SEE SPECIFICATION SECTION 088000, GLAZING ARTICLE 2.01, GLASS.

FOR ELECTROMETRIC SHEET MEMBRANE FLASHING AT ALL WINDOW AND DOOR INSTALLATIONS, SEE SPEC. SECTION 071413, MEMBRANE WATERPROOFING, ARTICLE 2.02, MATERIALS.

EGRESS WINDOW: REQUIRED AT ALL BEDROOMS AND TO COMPLY WITH IRC SECTION E312.

TEMPERED GLAZING: REQUIRED AT ALL LOCATIONS PER IRC SECTIONS 308, HAZARDOUS LOCATIONS.

OPENING SIZE: CLEAR DIMENSIONS INSIDE OF DOOR FRAME.

ALL EXIT DOORS TO BE OPENED FROM INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.

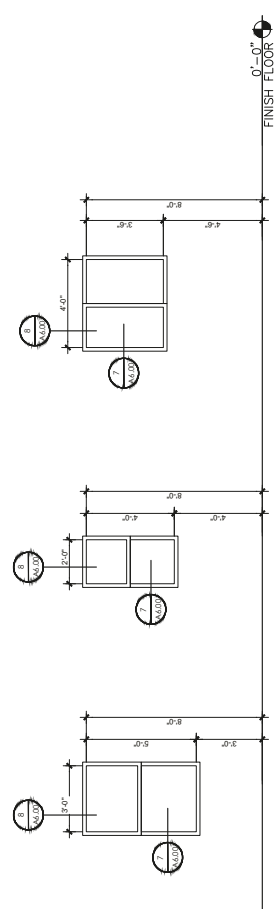
AT 1-HOUR RATED PARTITION PROVIDE A TIGHT FITTING / SELF CLOSING DOOR

MAXIMUM DOOR OPENING EFFORT OF 5 LBS. AT EXTERIOR AND INTERIOR DOORS WHERE CLOSER IS PROVIDED.

DOORS TO BE EQUIPPED WITH SINGLE EFFORT, NON-GRASP HARDWARE (LEVER) CENTERED BETWEEN 30" & 48" AFF.

DOOR HARDWARE TO BE INSTALLED PER THE APPROVED DOOR HARDWARE SCHEDULE (BY GROUP OR TYPE PREPARED BY SUB-CONTRACTOR/SUPPLIER AND AS APPROVED BY OWNER, SEE SPECIFICATION SECTION 087100, FINISH HARDWARE, ARTICLES 1.04 AND 3.02.

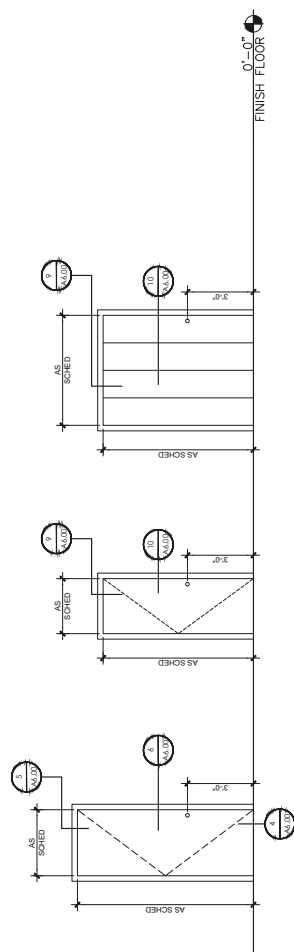
ABBREVIATIONS:	
WD.	WOOD
SCWD.	SOLID CORE WOOD
AL.	ALUMINUM
HALT.	HOLLOW METAL
HW1.	HOLLOW CORE WOOD
VCWD.	VINYL CLAD WOOD CORE
AFF.	ABOVE FINISH FLOOR
GALV.	GALVANIZED
TEMP.	TEMPERED GLAZING
E	EGRESS WINDOW



(A) ALUMINUM NAIL-FIN DOUBLE GLAZED, LOW-E GLASS SINGLE HUNG

(B) ALUMINUM NAIL-FIN DOUBLE GLAZED, LOW-E GLASS SINGLE HUNG

(C) ALUMINUM NAIL-FIN DOUBLE GLAZED, LOW-E GLASS HORIZONTAL SLIDER



(A) EXTERIOR DOOR VINYL CLAD WOOD CORE

(B) INTERIOR DOOR 1-3/4" HOLLOW CORE WOOD

(C) INTERIOR BI-FOLD DOOR 1-3/4" HOLLOW CORE WOOD

STAMP:

REVISIONS	Date	Description
1	01/01/2020	Original
2	03/20/2020	Bldg. Comments
3	07/28/2020	Bldg. Comments
4	11/10/2020	Bldg. Comments

CONSTRUCTION DOCUMENTS FOR:  
**9TH STREET  
8-PLEX**  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

WESTERN TRADES  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030  
Fax: (702) 543-4366

PROJECT:  
**9TH STREET  
8-PLEX**  
SHEET CONTENT:  
**DOOR & WINDOW  
SCHEDULE**  
DATE:  
NOVEMBER 10, 2020  
JOB NUMBER:  
003-19020  
SHEET:  
**A2.03**

ROOF GENERAL NOTES

1. DASHED LINES DENOTE WALLS BELOW THE ROOF FRAMING. SEE ELEVATIONS FOR ROOF SLOPES.
2. PROVIDE ALL BLOCKING AND FIRE STOPS AS REQUIRED.
3. ROOF IS TO BE FLASHED AND COUNTER FLASHED AT WALLS, VALLEYS, PENETRATIONS, AND ALL APPROPRIATE AREAS.
4. PROVIDE FLASHING AT ALL PENETRATIONS AND FLASHING THROUGHOUT AND PROVIDE INSTALLATION.
5. PROVIDE LEAD FLASHING AT PROTRUDING PIPES THROUGH ROOF AND AT CURVED WALL TO ROOF CONNECTIONS. PAINT WITH AN ANTI-RUST PAINT.
6. ALL ROOF PENETRATIONS TO BE A MINIMUM OF 1/4" FROM EDGE OF ROOF CRICKETS OR CANT STRIPS (TYPICAL).
7. ALL ROOF PENETRATIONS TO BE FIELD VERIFIED BETWEEN TRADES PRIOR TO INSTALLATION TO AVOID CONFLICTS.
8. O.S.B. FLOOR SHEATHING PROVIDE DREW COAT OVER WATERPROOF DECKING MEMBRANE OVER THIS AREA OR EQUAL.
9. PROVIDE TWO (2) THERMOPLASTIC POLYOLEFIN WATERPROOF MEMBRANE AT ALL HORIZ. APPLICATIONS OF

11. QUANTITIES, SHAPES, SIZES, CONFIGURATIONS, ETC. OF ALL TRUSSES, JOISTS, AND OTHER ROOF SYSTEM COMPONENTS ARE ASSUMED TO BE SUPPLIED IN THE "TRUSS PACKAGE" BY THE TRUSS MANUFACTURER.
12. PROVIDE TRUSS SYSTEM ON SITE FILLS, "JOIST AND STACK" FRAMING AND ALLOW FRAMING TO BE THE RESPONSIBILITY OF THE FRAMING CONTRACTOR OR AS SPECIFIED BY THE ENGINEER OF RECORD OR THE FRAMING CONTRACTOR.
13. ON SITE VERIFICATION OF ALL CONDITIONS REQUIRED OF THE TRUSS SUPPLIER OR CONTRACTOR PRIOR TO MANUFACTURING OF ANY TRUSSES OR COMPONENTS. THIS IS TO ENSURE PROPER SIZES AND QUANTITIES OF TRUSSES, JOISTS, AND OTHER ROOF SYSTEM COMPONENTS TO ANY AND ALL SPECIFICATIONS OF THE ENGINEER OF RECORD PERTAINING TO DRAG TRUSSES, SHEAR TRUSSES, ETC. AS SUPPLIED TO ENSURE THAT ALL TRUSSES CONFORM TO ANY AND ALL SPECIFICATIONS REGARDING THE

ACCOMMODATION OF THE INSTALLATION OF THE HEATING, VENTILATION AND AIR CONDITIONING (HVAC) SYSTEM AND ITS COMPONENTS.

16. ROOF TRUSS SYSTEM TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS USING ALL APPROVED MATERIALS AND METHODS.
17. FRAMING CONTRACTOR TO USE SIMPSON HURRICANE CLIPS 2.5 OR BETTER AT THE END OF ALL TRUSSES OR AS SPECIFIED BY THE ENGINEER OF RECORD OR TRUSS MANUFACTURER.
18. ANY CHANGES IN THE ROOF SYSTEM (IE. SIZE, SHAPE, ETC.) TO BE REPORTED IN WRITING TO THE DESIGN PROFESSIONAL IMMEDIATELY.
19. WHERE EAVE VENTING OCCURS, FIRE BLOCK BELOW FASCIA TO BE INSTALLED AT EVERY THIRD VENT BLOCK HORIZ. W/ BAFFLE AT INSULATION.
20. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET (914 MM) BELOW THE RIDGE OR HIGHEST POINT OF THE ROOF. LOWER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3'-0" BELOW THE RIDGE.

LOW / MEDIUM PROFILE ROOF VENT

ATTIC VENT CALCULATIONS

REQUIRED VENTILATION @ 1:300 = 11,30 S.F. (1,680 SQ. FT.)

PROVIDED VENTILATION:

12 LOW VENTS @ 86.25 SQ. IN. = 1,035 SQ. IN.

10 HIGH VENTS @ 86.25 SQ. IN. = 862.5 SQ. IN.

TOTAL PROVIDED = 1,897.5 SQ. IN.

UPPER VENTS SHALL NOT BE MORE THAN 3'-0" BELOW THE RIDGE

STAMP

REV	DESCRIPTION	DATE
01/01/2020	Original	
03/20/2020	Big Comments	
07/28/2020	Big Comments	
11/10/2020	Big Comments	

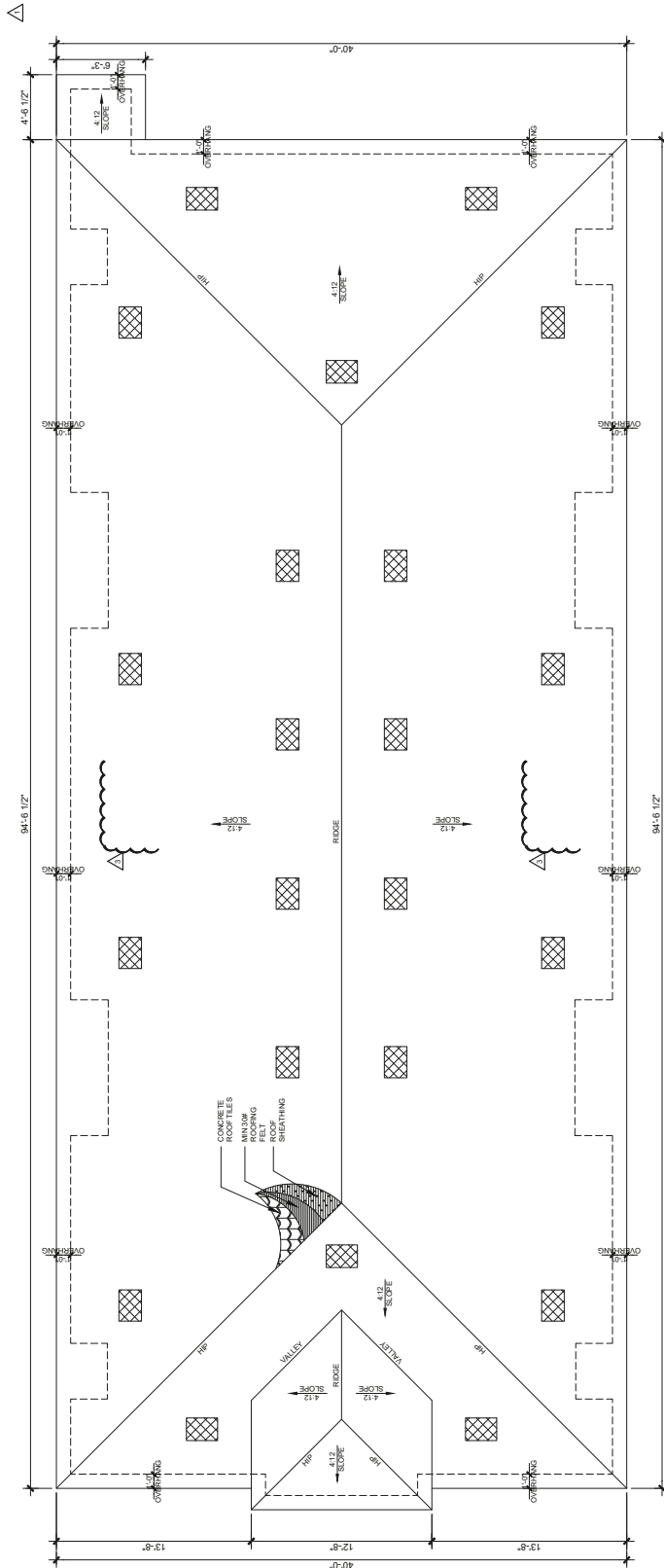
CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

WESTERN TRADES  
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Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT  
9TH STREET  
8-PLEX  
SHEET 001-010  
ROOF PLAN

DATE:  
NOVEMBER 10, 2020  
JOB NUMBER:  
003-19020  
SHEET

A3.00



1  
ROOF PLAN  
SCALE: 1/4" = 1'-0"

STAMP:

22-0675  
12/08/2022

REVISIONS:			Description
Rev	Date		
-	01/21/2020		Original
1	03/20/2020		Bldg. Comments
2	07/28/2020		Bldg. Comments
3	11/10/2020		Bldg. Comments

CONCRETE TILE ASSEMBLIES SHALL COMPLY WITH I.R.C. SECTION 1507.3.5

CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

9TH STREET  
8-PLEX

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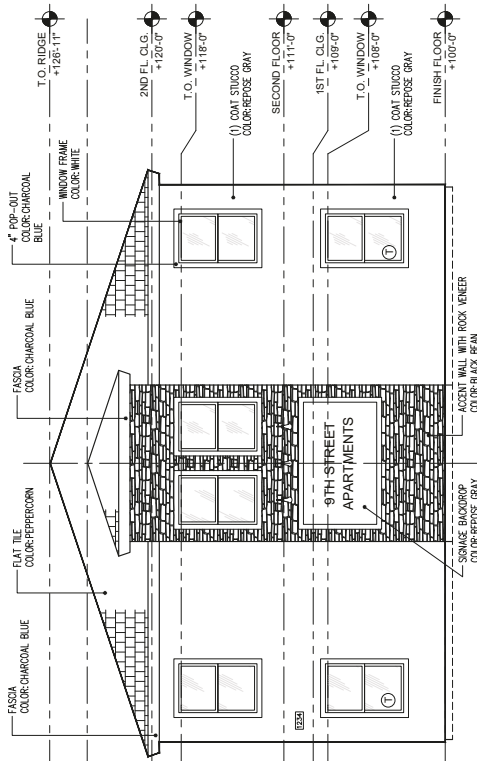
238-5211 Fax: (702) 543-4356

PROJECT:  
9TH STREET  
8-PLEX

**SHEET CONTENT:**  
**EXTERIOR**  
**ELEVATIONS**

DATE: NOVEMBER 10, 2020  
JOB NUMBER: 003-19020  
SHEET:

A4.00

SCALE:  $1/4'' = 1'-0''$ SCALE:  $1/4'' = 1'-0''$



ELEVATION GENERAL NOTES

ALL EXTERIOR FINISH MATERIALS (STONE, STUCCO, SIDING, BRICK, ETC.) TO BE MATCHED TO EXISTING EXTERIOR CONDITIONS UNLESS OTHERWISE NOTED.

GALVANIZED FLASHING (26 GA. GENERAL) SHALL BE USED FOR ALL ROOF FLASHINGS, VALLEYS, HIPS AND RIDGES. PROVIDE 18" MIN. OVERLAP AND 3" MIN. INTO ROOF WITH FLASHING AND EXTEND 12" BEYOND SLEEVE.

GALVANIZED IRON/FLASHING ANCHORS TO WALL AND ROOF TO CHIMNEY INTERFACES.

CHIMNEY TERMINATIONS TO BE 18" ABOVE ANY ROOF SURFACES WITH 10'-0" RADIUS.

ROOF GUTTERS AND DOWN SPOUTS TO BE SPECIFICATIONS SEE BUILDER.

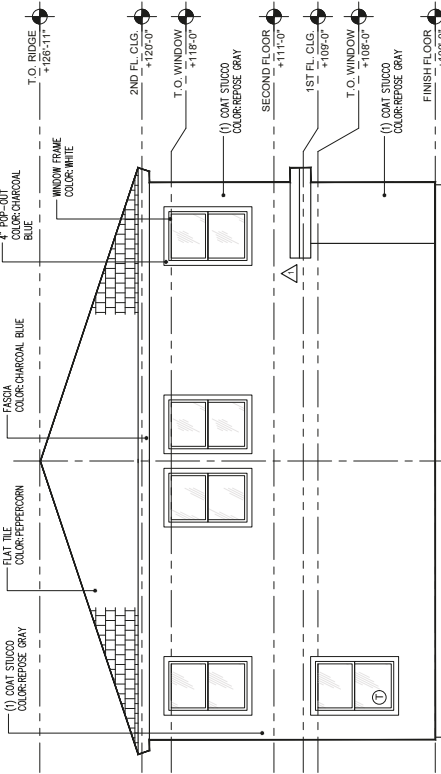
CONTINUOUS GALVANIZED IRON EAVE FLASHING.

ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS. ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS TO BE FINISHED WITH A FLAT ROOF OVER LOAD BEARING COLUMNS.

(1) COAT STUCCO SHALL COMPLY WITH SECTION 1407 AND REQUIRED SPECIAL INSPECTION.

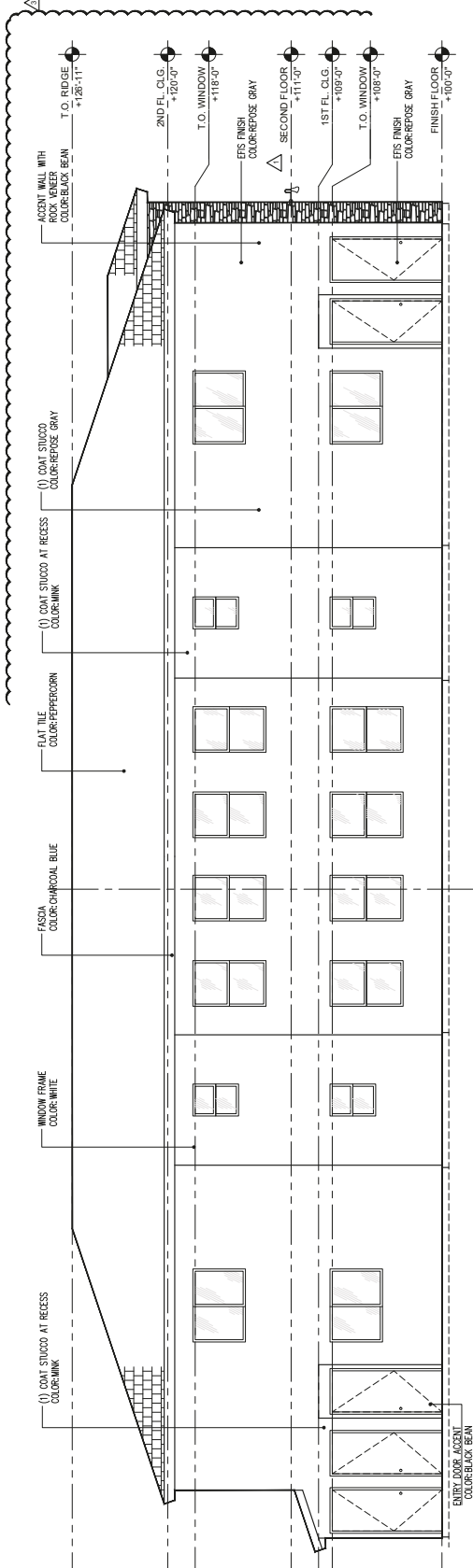
CONCRETE TILE ASSEMBLIES SHALL COMPLY WITH I.B.C. SECTION 1507.3.5

22-06-NS  
12/08/2022



BUILDING REAR ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING LEFT ELEVATION

SCALE: 1/4" = 1'-0"

STAMP:

REV	DATE	DESCRIPTION
01/01/2020	Original	
03/20/2020	Big Comments	
07/28/2020	Big Comments	
11/10/2020	Big Comments	

CONSTRUCTION DOCUMENTS FOR:  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

WESTERN TRADES  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030  
Phone: (702) 238-5211  
Fax: (702) 543-4356

PROJECT:  
9TH STREET  
8-PLEX  
SHEET CONTAINS:  
EXTERIOR  
ELEVATIONS  
DATE:  
NOVEMBER 10, 2020  
LOG NUMBER:  
003-19020  
SHEET:

A4.01

22-0675  
12/08/2022

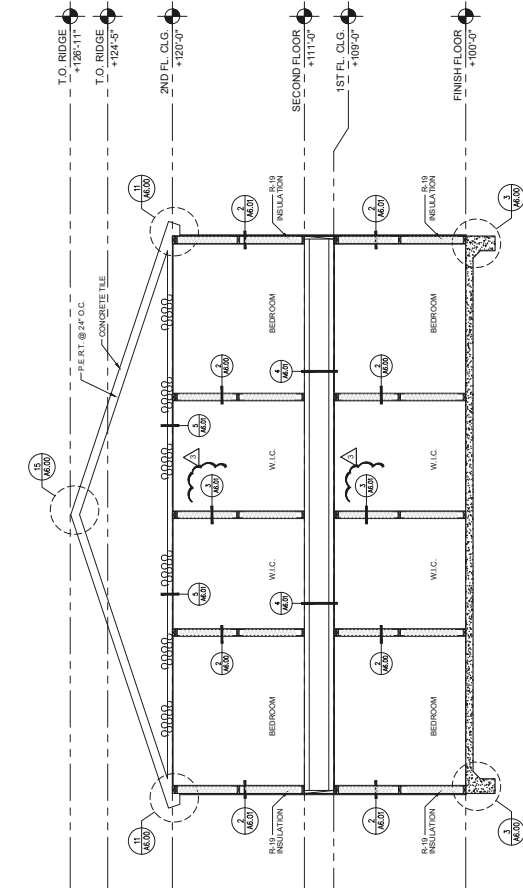
REVISIONS		
REV	DATE	DESCRIPTION
1	01/01/2020	Original
2	03/20/2020	Bldg. Comments
3	07/29/2020	Bldg. Comments
4	11/01/2020	Bldg. Comments

CONSTRUCTION DOCUMENTS FOR:  
**9TH STREET  
8-PLEX**  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

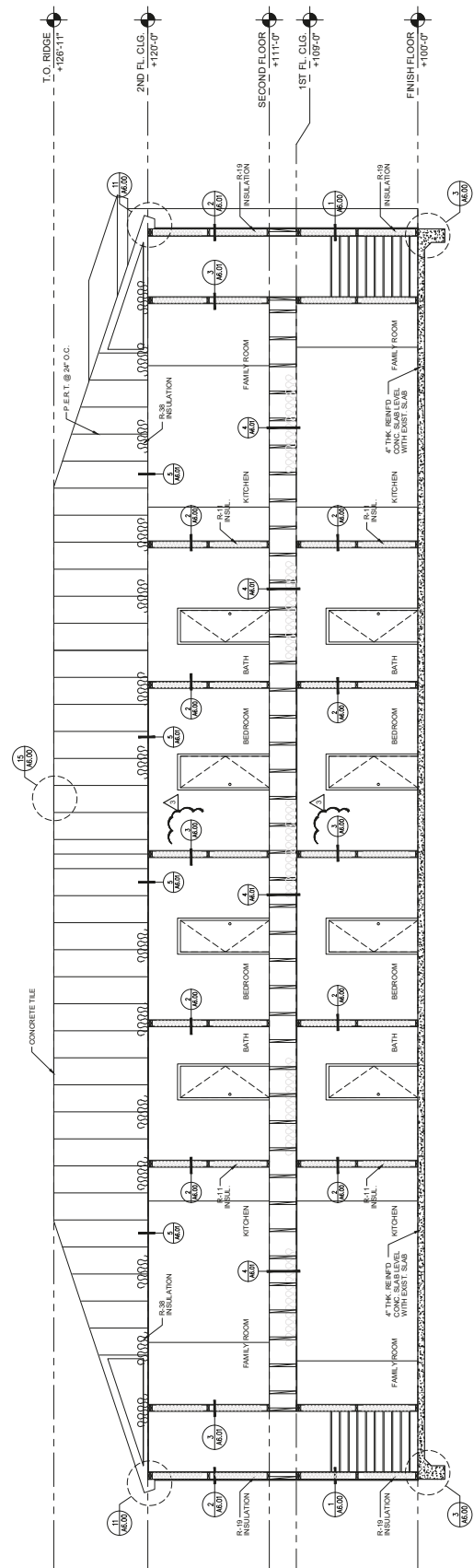
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**WESTERN TRADES**  
CONSTRUCTION, INC.  
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Phone: (702) 238-5211  
Fax: (702) 543-4366

**9TH STREET  
8-PLEX**  
BUILDING SECTIONS  
DATE: NOVEMBER 10, 2020  
UPR NUMBER: 003-19020  
SHEET: A5.00



**BUILDING SECTION 1**  
SCALE: 1/4" = 1'-0"  
NOTE: SCHEMATIC SECTION SHOWN FOR DESIGN REFERENCE ONLY REFER TO ENGINEERING DRAWINGS FOR FRAMING MEMBER SIZES AND LOCATIONS.



**BUILDING SECTION 2**  
SCALE: 1/4" = 1'-0"  
NOTE: SCHEMATIC SECTION SHOWN FOR DESIGN REFERENCE ONLY REFER TO ENGINEERING DRAWINGS FOR FRAMING MEMBER SIZES AND LOCATIONS.

STAMP

REVISIONS

No.	Date	Description
1	01/01/2020	Original
2	03/20/2020	Bldg. Comments
3	07/28/2020	Bldg. Comments
4	11/01/2020	Bldg. Comments

CONSTRUCTION DOCUMENTS FOR

9TH STREET

8-PLEX

638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101

APN # 139-26-410-012

WESTERN TRADES

CONSTRUCTION, INC.

CONTRACTOR LICENSE # 73190

4345 CORPORATE CENTER DR. #200  
N. LAS VEGAS, NV 89030

Phone: (702) 238-5211

Fax: (702) 543-4356

PROJECT

9TH STREET

8-PLEX

SHEET CONTAINS:

TYPICAL

DETAILS

DATE:

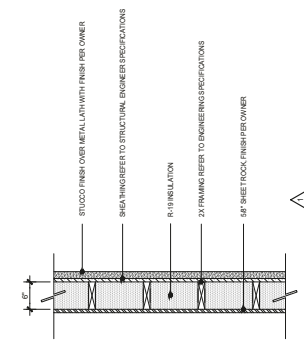
NOVEMBER 10, 2020

UPON NUMBER:

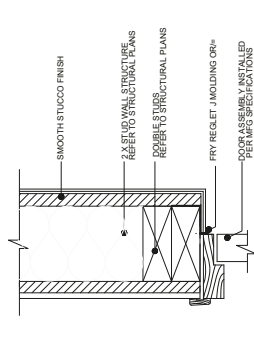
003-19020

SHEET:

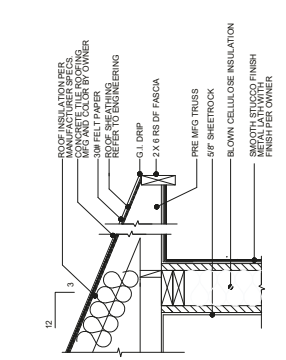
A6.00



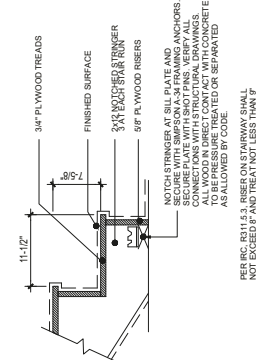
1 EXT. NON-LOAD BEARING WALLS



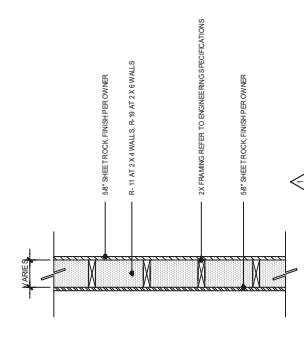
6 TYP. EXTERIOR DOOR JAMB



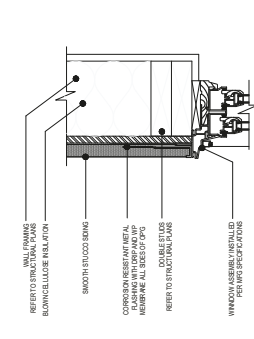
11 TYPICAL FASCIA DETAIL



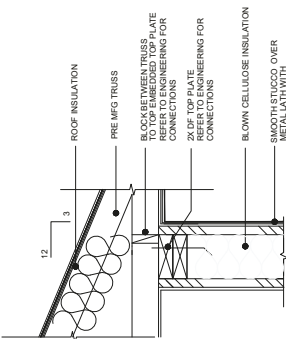
16 STRINGER @ FINISH FLOOR



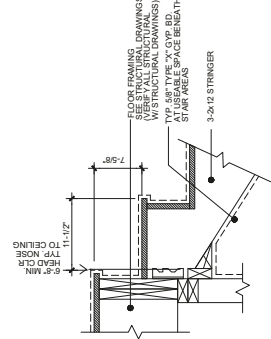
2 INT. NON-LOAD BEARING WALLS



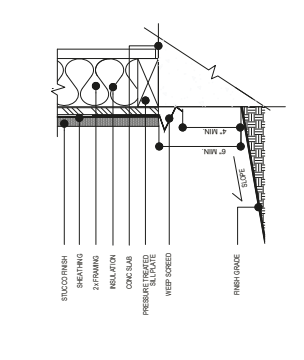
7 EXTERIOR WINDOW JAMB (TYP)



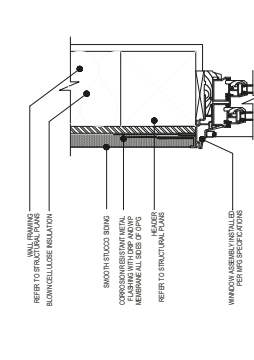
12 TYPICAL TOP PLATE DETAIL



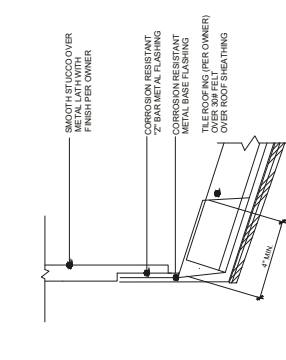
17 STAIR DETAIL @ LANDING



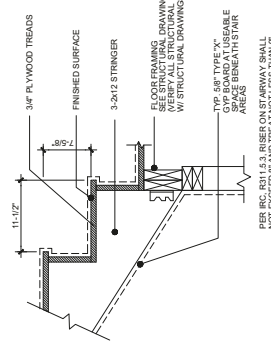
3 TYPICAL WEEP SCREED



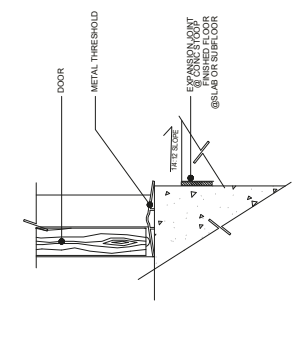
8 EXTERIOR WINDOW HEAD (TYP)



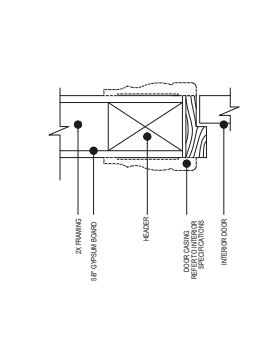
13 ROOF FLASHING DETAIL



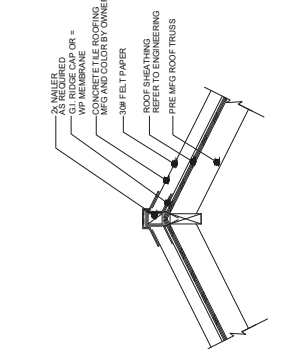
18 STRINGER DETAIL @ LANDING



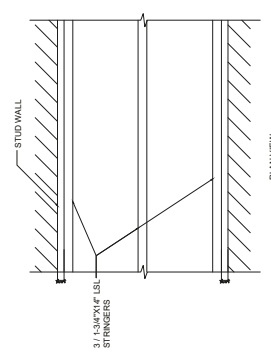
4 TYP DOOR THRESHOLD DETAIL



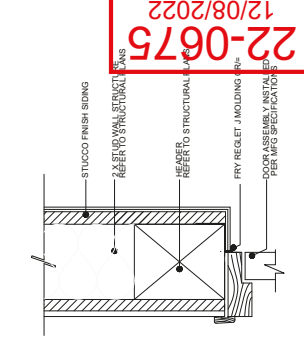
9 INTERIOR DOOR HEAD



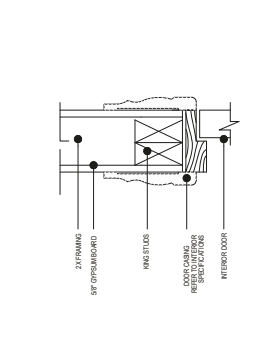
14 RIDGE DETAIL



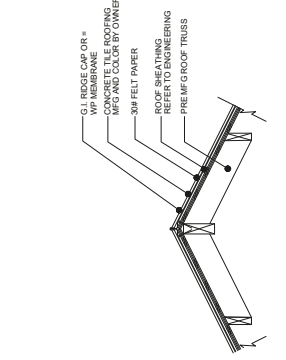
19 TYP. STAIR STRINGER DETAIL



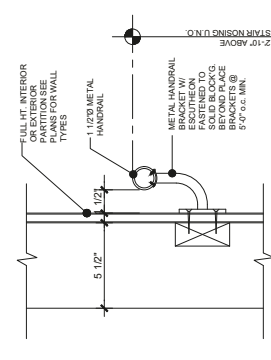
5 TYP. EXTERIOR DOOR HEADER



10 INTERIOR DOOR JAMB

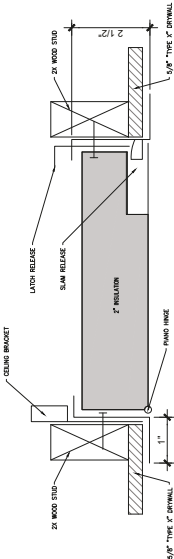


15 HIP DETAIL

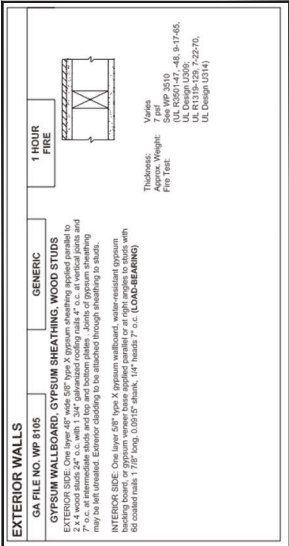


20 TYP. HANDRAIL

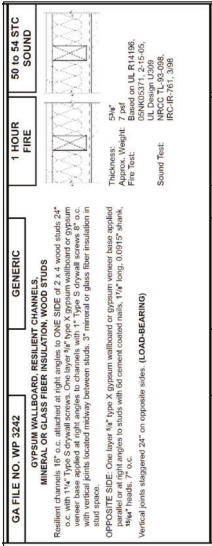
22-0675  
12/08/2022



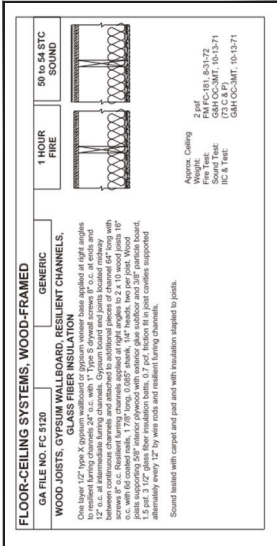
1 1-HR RATED ATTIC ACCESS



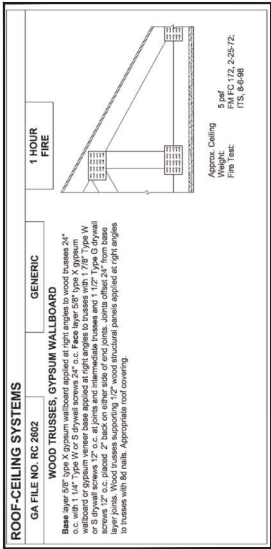
2 1-HOUR RATED EXTERIOR WALL ASSEMBLY



3 1-HOUR RATED INTERIOR WALL ASSEMBLY



4 1-HOUR RATED FLOOR / CEILING ASSEMBLY



5 1-HR RATED ROOF / CEILING ASSEMBLY

22-0675  
12/08/2022

REV	REVISIONS	Date	Description
1	01/01/2020	Original	
2	03/20/2020	Blog Comments	
3	07/29/2020	Blog Comments	
4	11/01/2020	Blog Comments	

CONSTRUCTION DOCUMENTS FOR  
9TH STREET  
8-PLEX  
638 NORTH 9TH STREET  
LAS VEGAS, NEVADA 89101  
APN # 139-26-410-012

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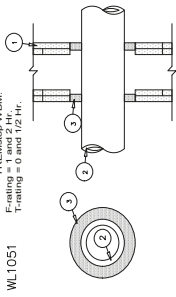
WESTERN TRADES  
CONSTRUCTION, INC.  
CONTRACTOR LICENSE # 73190  
4345 CORPORATE CENTER DR #200  
N. LAS VEGAS, NV 89030  
Fax: (702) 543-4366 Phone: (702) 238-5211

PROJECT  
9TH STREET  
8-PLEX  
SHEET CONTENT:  
TYPICAL  
FIRE RATING  
DETAILS  
NOVEMBER 10, 2020  
SHEET NUMBER  
003-19020  
SHEET

A6.01

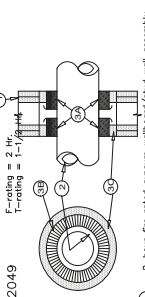
REV	DESCRIPTION	DATE	BY	CHK
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03/30/2020	Big Comments			
07/29/2020	Big Comments			
11/02/2020	Big Comments			

## P17



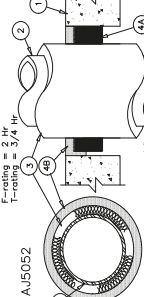
- 1 or 2 hour fire rated gypsum wallboard/stud assembly
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P18



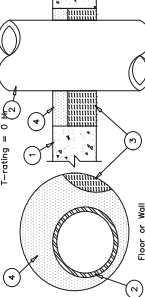
- 2-hour fire rated gypsum wallboard/stud wall assembly.
- Plastic Pipe - 1" (or smaller) Sch. 40 (or heavier) steel.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P19



- Floor or Wall assembly = 7-1/2" thick concrete
- Steel Pipe - 16" (or smaller) Sch. 40 (or heavier) steel.
- Pipe Insulation - Nom. 2" thick fiberglass (Min. 3 pcf) insulation, with Min. 1/2" to Max. 1/2" thick mineral wool insulation.
- TREMAP WBM - wrap strips, wrapped 4 times around the pipe.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

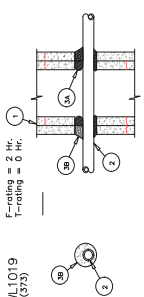
## P20



- Floor or Wall
- Floor or Wall assembly = 7-1/2" thick concrete.
- Steel Pipe - 4" dia. (or smaller) Type K copper, with Max. number of pipes with opening is three (3).
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

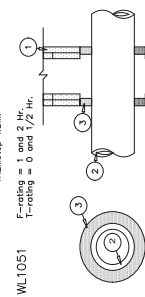
NOTE: For walls apply TREMAP WBM to both surfaces of wall.

## P13



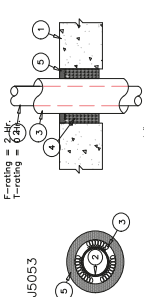
- 2 Hour Fire Rated Through Multiple Metal Pipes through Single Metal Pipe through TREMAP WBM
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P14



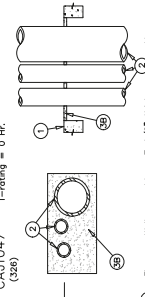
- 1 or 2 - hour fire rated gypsum wallboard/stud assembly
- Steel Pipe - 8" dia. (or smaller) Sch. 40 (or heavier) steel
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P15



- Floor or Wall assembly = 7-1/2" thick concrete
- Steel Pipe - 3" (or smaller) Type K (or heavier) copper
- Pipe Insulation - Nom. 1" thick mineral wool (4 pcf) insulation, with Min. 1/2" to Max. 1/2" thick mineral wool insulation.
- TREMAP WBM - wrap strips, wrapped 4 times around the pipe.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

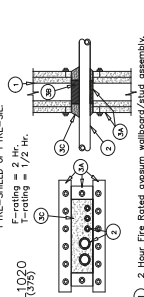
## P16



- Floor or Wall assembly = 7-1/2" thick concrete. Max. area of opening is 288 sq. in.
- Steel Pipe - 4" dia. (or smaller) Type K copper, with Max. number of pipes with opening is three (3).
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

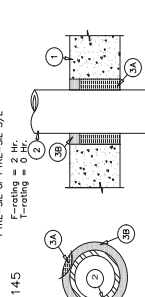
NOTE: For walls apply TREMAP WBM to both surfaces of wall.

## P9



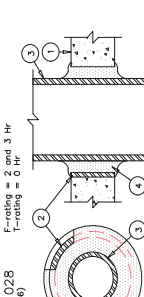
- 2 Hour Fire Rated Through Single Metal Pipe through TREMAP WBM
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P10



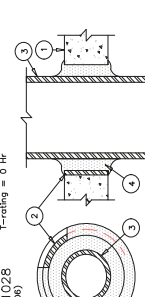
- Floor or Wall assembly = 7-1/2" thick concrete
- Steel Pipe - 4" dia. (or smaller) Sch. 40 (or heavier) steel.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P11



- Floor or Wall assembly = 7-1/2" thick concrete
- Steel Pipe - 16" (or smaller) Sch. 40 (or heavier) steel pipe
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

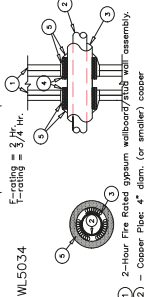
## P12



- Floor or Wall assembly = 7-1/2" thick concrete
- Steel Pipe - 4" dia. (or smaller) Type K copper, with Max. area of opening is 288 sq. in.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

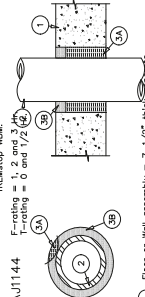
NOTE: For walls apply TREMAP WBM to both surfaces of wall.

## P5



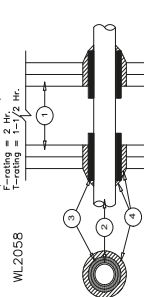
- 2-Hour Fire Rated gypsum wallboard/stud wall assembly.
- Copper Pipe - 4" dia. (or smaller) copper
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P6



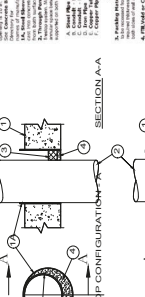
- Floor or Wall assembly = 7-1/2" thick concrete.
- Steel Pipe - 6" dia. (or smaller) Sch. 40 (or heavier) steel.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P7



- 2-Hour Fire Rated gypsum wallboard/stud wall assembly.
- Plastic Pipe - 1" (or smaller) Sch. 40 PVC for use in wall.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

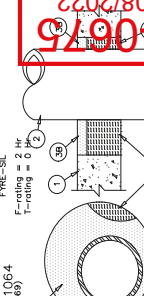
## P8



- 2-Hour Fire Rated gypsum wallboard/stud wall assembly.
- Steel Pipe - 4" dia. (or smaller) Type K copper, with Max. area of opening is 288 sq. in.
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

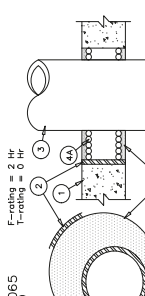
NOTE: For walls apply TREMAP WBM to both surfaces of wall.

## P1



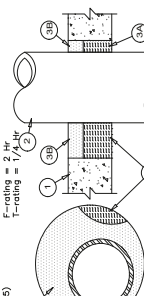
- 2 Hour Fire Rated Through Single Metal Pipe through TREMAP WBM
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P2



- Floor or Wall assembly = 7-1/2" thick concrete
- Steel Pipe - 8" dia. (or smaller) Sch. 40 (or heavier) steel pipe
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P3



- Floor or wall assembly = 7-1/2" thick concrete
- Steel Pipe - 8" dia. (or smaller) Sch. 40 (or heavier) steel pipe
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

## P4



- Floor or wall assembly = 7-1/2" thick concrete
- Steel Pipe - 8" dia. (or smaller) Sch. 40 (or heavier) steel pipe
- 1/2" thick concrete
- 1/2" thick steel plate
- 1/2" thick mineral wool insulation

NOTE: For walls apply TREMAP WBM to both surfaces of wall.

### GENERAL NOTES:

1. TYPICAL PENETRATION DETAILS AREA SHOWN.
2. CONTRACTOR TO PROVIDE ADDITIONAL PENETRATION DETAILS FOR PENETRATION CONDITIONS NOT SHOWN.
3. CONTRACTOR TO OBTAIN SLAB WORK. CONTRACTOR TO PROVIDE WORK. CONTRACTOR TO PROVIDE ENGINEER AND DUA. CONTRACTOR TO PROVIDE ENGINEER AND DUA. CONTRACTOR TO PROVIDE ENGINEER AND DUA.

NOTE: For walls apply TREMAP WBM to both surfaces of wall.

1. TYPICAL PENETRATION DETAILS AREA SHOWN.  
2. CONTRACTOR TO PROVIDE ADDITIONAL PENETRATION DETAILS FOR PENETRATION CONDITIONS NOT SHOWN.  
3. CONTRACTOR TO OBTAIN SLAB WORK. CONTRACTOR TO PROVIDE WORK. CONTRACTOR TO PROVIDE ENGINEER AND DUA. CONTRACTOR TO PROVIDE ENGINEER AND DUA. CONTRACTOR TO PROVIDE ENGINEER AND DUA.

SECTION A-A  
SECTION A-A  
SECTION A-A



