



AGENDA MEMO - COMMUNITY DEVELOPMENT

CITY COUNCIL MEETING DATE: APRIL 19, 2023

DEPARTMENT: COMMUNITY DEVELOPMENT

ITEM DESCRIPTION: APPLICANT: INVESTAR USA - OWNER: EL WALKER, LLC, ET AL

**** STAFF RECOMMENDATION(S) ****

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
22-0592-WVR1	Staff recommends APPROVAL.	
22-0592-ZON1	Staff recommends APPROVAL.	22-0592-WVR1
22-0592-SUP1	Staff recommends DENIAL, if approved subject to conditions:	22-0592-WVR 22-0592-ZON1
22-0592-SDR1	Staff recommends DENIAL, if approved subject to conditions:	22-0592-WVR 22-0592-ZON1 22-0592-SUP1

**** NOTIFICATION ****

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 38

NOTICES MAILED 248 (by City Clerk)

PROTESTS 20 - 22-0592-WVR1
21 - 22-0592-ZON1, 22-0592-SUP1, 22-0592-SDR1

APPROVALS 7 - 22-0592-WVR1
8 - 22-0592-ZON1, 22-0592-SUP1, 22-0592-SDR1

Submitted after Final Agenda
Date 04/18/2023 Items 49a-49d

**** CONDITIONS ****

22-0592-SUP1 CONDITIONS

Planning

1. Approval of a Waiver (22-0592-WVR1) and Rezoning (22-0592-ZON1), and approval of and conformance to the Conditions of Approval for Site Development Plan Review (22-0592-SDR1) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit, as well as submitted as part of any business license application.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

22-0592-SDR1 CONDITIONS

Planning

1. 36-inch box shade trees shall be planted every 15 feet along the south property line.
2. Approval of a Waiver (22-0592-WVR1) and Rezoning (22-0592-ZON1), and approval of and conformance to the Conditions of Approval for Special Use Permit (22-0592-SUP1) shall be required, if approved.
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.

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4. All development shall be in conformance with the site plan, landscape plan and building elevations date stamped 04/13/23, except as amended by conditions herein.
5. Pursuant to Title 19 Appendix F Area 2 Development Standards, a Waiver from Title 19.08.040 is hereby approved, to allow a residential adjacency proximity slope setback of 80 feet where 213 feet is required, and matching setback of zero feet where 20 feet is required.
6. Pursuant to Title 19 Appendix F Area 2 Development Standards, a Waiver from Title 19.08.070 is hereby approved, to allow zero-foot front yard and corner side yard setbacks where 10 feet is required and a four-foot rear yard setback where 20 feet is required; lot coverage of 86 percent where 50 percent is the maximum allowed; zero-foot perimeter landscape buffers along the north and west property lines where 15 feet is required; and a zero-foot perimeter landscape buffer along a portion of the south property line where eight feet is required.
7. Pursuant to Title 19 Appendix F Area 2 Development Standards, a Waiver from Title 19.12.070 is hereby approved, to allow 114 parking spaces where 167 spaces are required.
8. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
9. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
10. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
11. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, which shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

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13. A Comprehensive Construction Staging Plan shall be submitted to the Department of Planning for review and approval prior to the issuance of any building permits. The Construction Staging Plan shall include the following information: Design and location of construction trailer(s); design and location of construction fencing; all proposed temporary construction signage; location of materials staging area; and the location and design of parking for all construction workers.
14. Prior to the submittal of a building permit application, the applicant shall meet with Department of Planning staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Dedicate a 10-foot radius at the southeast corner of Eighth Street and Bonneville Avenue prior to the issuance of permits for this site.
17. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, and replace with new improvements meeting Downtown Masterplan Plan Standards included upgraded street lighting concurrent with development of this site, except as amended by conditions herein. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
18. Coordinate public sewer connection with the Department of Public Works. If utilizing one of the existing private sewer lateral connections, the private lateral should be assessed to verify it is in adequate condition to be used. If a new tap is proposed, the new private lateral will need to be a minimum 6-inch diameter for commercial development per DCSWCS 2.3.2B.
19. Landscape and maintain all unimproved right-of-way adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

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20. Submit a License Agreement for landscaping and private improvements in the Eighth Street and Bonneville Avenue public rights-of-way, prior to the issuance of permits for these improvements. If requested by the City, the applicant shall remove property within the public right-of-way at the applicant's expense pursuant to the terms of the City's License Agreement. The installation and maintenance of all private improvements in the public right-of-way shall be the responsibility of the applicant and any successors in interest to the property and assigns pursuant to the terms of the License Agreement. Coordinate all requirements for the License Agreement with the Land Development Section of the Department of Building and Safety (702-229-4836).
21. Prior to the submittal of construction drawings for this site, submit a pedestrian circulation plan to identify nearby pedestrian attractors and recommend measures to accommodate pedestrians, such as but not limited to pedestrian access, crosswalk, pedestrian activated flashers and temporary sidewalks. Comply with the recommendation of the approved pedestrian circulation plan.
22. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant is proposing to construct a six-story, 113-unit multi-family residential development at the southeast corner of Bonneville Avenue and 8th Street. The site is currently vacant except for an existing single family dwelling at 613 South 8th Street that would be demolished as part of this project.

PROJECT UPDATE

Revised plans were submitted to staff and date stamped 04/13/23 that included the following changes:

- A lower parking level was added with 41 additional parking spaces, increasing the total parking count from 73 to 114 spaces. A Waiver is still required; however, the parking total remains within the 40 percent to 70 percent range targeted for Downtown properties, and if approved, the additional parking will reduce overflow offsite parking on the adjacent streets.
- In response to neighbors' feedback, the dog run area along the south property line was eliminated altogether and the property line solid block wall was increased from six feet to eight feet in height to provide additional screening.
- Staff corrected figures indicating the extent of upper deck and balcony encroachments into setback areas on the west and north side of the property, noting that there are zero-foot building setbacks on these sides. The plans have not changed, nor were the encroachments noted on the plans.

ISSUES

- A revised landscape plan was submitted date stamped 01/17/23 that conforms to the condition imposed by the Planning Commission to provide 36-inch box shade trees at 15-foot intervals along the south property line. A second revision date stamped 02/13/23 had reduced the size of the proposed dog run area along the south property line to align with the abutting parking lot to the south.
- The Planning Commission requested that the applicant hold a neighborhood meeting prior to the City Council hearing for this item. A meeting was scheduled for February 7, 2023 at City Hall Training Room #3. The results are listed in the Background section below.

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- Assessor's Parcel Number 139-34-810-122 is currently zoned R-1 (Single Family Residential) and is 50 feet in width. The applicant requests to rezone this parcel to C-1 (Limited Commercial), which requires a minimum lot width of 100 feet. The parcel cannot be rezoned without prior approval of a Waiver to allow a 50-foot wide lot in the C-1 zoning district. Staff recommends approval of the Waiver.
- Multi-Family Residential is a conditional use in the C-1 (Limited Commercial) zoning district. The project cannot satisfy Conditional Use Regulation 1, which stipulates that the use is permitted only in conjunction with a mixed-use development. A Special Use Permit is therefore required pursuant to Title 19.12.040. Staff recommends denial of this request.
- Waivers of Title 19 development standards pursuant to Title 19 Appendix F for Area 2 are requested from minimum building setback, maximum lot coverage, residential adjacency setback, perimeter landscape buffer and minimum parking standards. Staff recommends denial of the Waiver requests.
- The single-family dwelling at 613 South 8th Street is located in a designated federal historic area. If these actions are approved, this property will need to be documented prior to demolition.
- A condition of approval will require a mapping action to consolidate the lots that make up the subject site, as the proposed building will span multiple lots created by previous mapping actions.

ANALYSIS

The subject parcel is included in the Vision 2045 Downtown Las Vegas Master Plan within the Founders District. The Founders District is an area that contains primarily historic residential dwellings, many of which have converted to professional office space. This transition is expected to continue, as traditional suburban-type residential uses become less suited for an area containing collector streets on each block and an expanding market evolves toward development of higher density mixed-use projects near major transit corridors. The project is located along a current transit corridor on Bonneville Avenue Parkway and within close proximity of a future conceptual transit hub at Charleston Boulevard and Maryland Parkway as envisioned by the Downtown Las Vegas Master Plan. Midrise apartment dwellings are encouraged in this district, but primarily on and near Charleston Boulevard.

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The site is located within the Downtown Las Vegas Overlay District (DTLV-O) Area 2, which is the expanded area of Downtown that is neither zoned for form-based codes nor part of the original Downtown Centennial Plan area. Development that does not conform to Title 19 standards but which meets the intent of the Downtown Master Plan may be presented as a Waiver as part of the Site Development Plan Review. As proposed, Waivers are requested from the following standards:

- Minimum building setbacks in the C-1 zoning district
- Maximum lot coverage in the C-1 zoning district
- Minimum residential adjacency setback from a protected residential property to the west
- Perimeter landscape buffer width in the C-1 zoning district
- Minimum number of parking spaces
- Minimum lot width in the C-1 zoning district (further discussed below)

The site consists of a parcel at the southeast corner of Bonneville Avenue and 8th Street that was rezoned to C-1 in 2019 in favor of a proposed three-story commercial and residential development and the adjoining parcel to the south (APN 139-34-810-122), which is zoned R-1. Approval of this development expired in 2021. The applicant is requesting to rezone Assessor's Parcel Number 139-34-810-122 in order to allow all parcels to be uniformly zoned in favor of the proposed six-story multi-family residential development. As the proposed building would encompass both parcels, a mapping action to combine the underlying lots will be required. However, a Rezoning action to C-1 on APN 139-34-810-122 cannot be approved on its own, as it will not meet the minimum required lot width standard of the C-1 zoning district. Currently the site is legally nonconforming with respect to the R-1 lot width requirement. Therefore, a Waiver (as the site is located within Area 2 of the DTLV-O) must first be submitted and approved prior to action on the proposed Rezoning request.

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Part of the Founders District development strategy is to take advantage of redevelopment opportunities in this area that will deemphasize the need for automobiles and create a transit-oriented, walkable character. Approval of the lot width Waiver will allow for flexibility of future development in conformance with code requirements for the C-1 zoning district, which staff supports. The C-1 zoning district allows for a range of low to medium intensity personal services, commercial and office uses, as well as multi-family residential uses with or without a commercial component. These uses are compatible with the existing professional office uses on surrounding parcels. As there are still several single-family dwellings on R-1 zoned parcels, development in the C-1 district should be sensitive to less intensive areas. Bonneville Avenue is classified as a Major Collector street, which is appropriate for limited commercial uses. Staff therefore recommends approval of the proposed Rezoning to C-1 (Limited Commercial).

Sidewalks and amenity zones with new trees and shrubs are provided within public right-of-way in Bonneville Avenue and 8th Street. If approved, the Department of Public Works will require approval of a License Agreement for installation and maintenance of all private improvements in the public right-of-way as a condition of approval. At the Planning Commission meeting of January 10, 2023, a condition was added to provide 36-inch box shade trees at 15-foot intervals along the south property line within the dog run open space area. Staff received plans date stamped 01/17/23 showing 36-inch box Chinese Pistache trees spaced 15 feet apart in conformance with the condition. These are the only onsite trees provided. Some five-gallon shrubs are provided onsite near the building edge along the north and west sides.

The parking provided, although less than what Title 19 requires, will be adequate for this area, given proximity to bus routes and the growing number of amenities within walking distance.

The Multi-Family Residential use is defined by Title 19.18 as “a structure used or designed as a residence for three or more families or households living independently of each other.” Multi-Family Residential is a conditional use in the C-1 (Limited Commercial) zoning district. This project cannot satisfy Conditional Use Regulation 1, which stipulates that the use is permitted only in conjunction with a mixed-use development. A Special Use Permit is therefore required pursuant to Title 19.12.040. Staff supports Title 19 requirements for mixed-use commercial and residential development in this area as directed by the Vision 2045 Downtown Master Plan, and therefore recommends denial of the Special Use Permit.

The first and second levels of the project would consist primarily of garage parking with several two-story lofts facing 8th Street. The remaining floors would contain 107 studio, one-bedroom and two-bedroom multi-family residential units.

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Remote controlled gated access is from rear alley with entrance on the south portion of the east side of the building and exit on the north portion of the east side. Circulation within the parking garage is logical and would not affect traffic in this area.

According to the Traffic Engineering Section of the Department of Public Works, this project is projected to add approximately 615 vehicle trips per day on Bonneville Avenue, 8th Street and 6th Street. Currently, Bonneville Avenue is at about five percent of capacity and 6th Street is at about 11 percent of capacity. With this project, Bonneville Avenue is expected to be at about six percent of capacity and 6th Street to be at about 15 percent of capacity. Counts are not available for 8th Street, but it is believed to be under capacity.

The Clark County School District (CCSD) has commented on the impact future development might have on the three levels of schools in the area. CCSD projects that approximately 31 additional primary and secondary school students would be generated by the proposed development on this site. According to CCSD, Hollingsworth Elementary School and Martin Middle School are each under capacity for the 2022-23 school year. Rancho High School is about 31 percent over capacity.

Title 19.08.040.B states that “buildings should be compatible with the scale of development allowed by the applicable land uses for the surrounding area as established at the time of application and should be sited and designed to provide a sensitive transition to nearby, less intensive areas.” In addition, “Projects on the edges of zoning districts should be developed in a manner that minimizes the adverse impacts resulting from incongruous height, bulk and scale of large buildings. Alternatives to mitigate such impacts include, but are not limited to, siting and design, additional building setbacks or stepping back of upper floors, and the actual physical reduction of the height, bulk and scale of a project.” At present, the area around this site consists of small offices converted from single family dwellings, most of which are one story in height. A few single-family dwellings also remain. Staff has determined that the height and scale of the proposed development is out of character with that of the surrounding development in this neighborhood, particularly in the area south of Bonneville Avenue and that few, if any, mitigating measures have been considered to ease the impact that this development will have on the existing development in this area.

The proposed multi-family residential development requires multiple Waivers of Title 19 (pursuant to Appendix F Area 2 requirements) that are primarily needed to offset the larger size and scale of the project. Although commercial zoning of the site is appropriate, the development as proposed is not compatible with the character of the surrounding neighborhood. Staff therefore recommends denial of the Special Use Permit and Site Development Plan Review, with conditions if approved.

FINDINGS (22-0592-WVR1)

The property at 613 South 8th Street is legally nonconforming with respect to the R-1 (Single Family Residential) lot width requirement and currently cannot be redeveloped to any commercial development standards, as this site is not yet subject to a form-based code. In order to enable future development flexibility that meets the goals of the Vision 2045 Downtown Las Vegas Master Plan, it is appropriate to be able to combine this parcel with adjacent parcels to create coherent planned developments. Staff recommends approval of the requested lot width Waiver.

FINDINGS (22-0592-ZON1)

In order to approve a Rezoning application, pursuant to Title 19.16.090(L), the Planning Commission or City Council must affirm the following:

1. The proposal conforms to the General Plan.

The proposed C-1 (Limited Commercial) zoning district conforms to the existing MXU (Mixed Use) General Plan designation on the subject site, which includes typical service commercial uses. However, the southernmost parcel (Assessor's Parcel Number 139-34-810-122) does not meet the minimum lot width required for lots in the C-1 zoning district. Therefore, unless a Waiver of this standard is first approved, no action can be taken on this Rezoning request.

2. The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts.

The C-1 zoning district allows for a range of low to medium intensity personal services, commercial and office uses, as well as multi-family residential uses with or without a commercial component. These uses are compatible with the existing office uses on surrounding parcels zoned P-R (Professional Office and Parking). One property on the west side of 8th Street remains zoned R-1 (Single Family Residential) but is surrounded by low-intensity office development. If approved, proposed buildings taller than 15 feet on this site will be subject to residential adjacency standards as a result of the remaining protected use in that location.

3. Growth and development factors in the community indicate the need for or appropriateness of the rezoning.

A large majority of parcels within the Founders District already contain a commercial use or are zoned for commercial uses. In the future, the Founders District is expected to include mixed-use residential and commercial uses with amenities including close proximity to public transit. The subject site is located adjacent to property that is located along a Major Collector Street as classified by the city's Master Plan of Streets and Highways. This circumstance is appropriate for C-1 (Limited Commercial) zoning. If approved, the entire east side of 8th Street would be zoned to allow commercial uses.

4. Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district.

Access to the subject site is from 8th Street, designated as a Major Collector Street. Secondary access is provided from a 20-foot rear alley. 8th street is currently 60 feet wide with no near-term plans for expansion. Current facilities are adequate to meet access requirements for the proposed C-1 zoning district.

FINDINGS (22-0592-SUP1)

In order to approve a Special Use Permit application, per Title 19.16.110(L) the Planning Commission and City Council must affirm the following:

1. The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan.

The proposed Multi-Family Residential use can be conducted in a manner that is harmonious and compatible with adjacent commercial and residential development; however, the design of this development is too large in scale for this neighborhood.

2. The subject site is physically suitable for the type and intensity of land use proposed.

The subject site can accommodate a Multi-Family Residential use, but is not suitable for the particular design proposed.

3. **Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.**

Bonneville Avenue and 8th Street, both 80-foot Major Collector Streets as classified by the city's Master Plan of Streets and Highways, are adequate in size to meet the needs of the proposed Multi-Family Residential use.

4. **Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.**

The proposed use will be subject to business license requirements and routine inspection for compliance, thereby protecting the public health, safety and general welfare.

5. **The use meets all of the applicable conditions per Title 19.12.**

The Multi-Family Residential use is a conditional use in the C-1 (Limited Commercial) zoning district. Approval of a Special Use Permit is required pursuant to Title 19.12.040, as the use is only permitted in conjunction with a mixed-use development.

FINDINGS (22-0592-SDR1)

In order to approve a Site Development Plan Review application, per Title 19.16.100(E) the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

The height of the proposed development is out of character with that of the surrounding development in this neighborhood, and the development is therefore incompatible.

2. **The proposed development is consistent with the General Plan, this Title, and other duly-adopted city plans, policies and standards;**

The proposed multi-family residential development requires multiple Waivers of Title 19 (pursuant to Appendix F Area 2 requirements) that are not supported by staff.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Access to the site would be from the existing rear alley between 8th Street and 9th Street. Circulation within the parking garage is logical and would not affect traffic in this area.

4. **Building and landscape materials are appropriate for the area and for the City;**

The building and materials provided are typical for mid-rise buildings in this area. Landscape planting materials are drought-resistant and appropriate for this area.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The submitted building elevations create an orderly and aesthetically pleasing environment and are varied in wall plane, materials, colors and architectural designs for visual interest. However, they indicate a height that is out of character with existing buildings on surrounding properties.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

Development of the site is subject to building permit review and inspection, thereby protecting the public health, safety and general welfare.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by Planning, Fire, Bldg., etc.</i>	
10/16/19	The City Council approved a request for a Rezoning (ZON-76884) from R-4 (High Density Residential) and R-1 (Single Family Residential) to C-1 (Limited Commercial) on 0.48 acres at the southeast corner of Bonneville Avenue and 8th Street. The Planning Commission and staff recommended approval.
	The City Council approved a request for a Special Use Permit (SUP-76885) for a proposed Multi-Family Residential Use at the southeast corner of Bonneville Avenue and 8th Street. The Planning Commission and staff recommended approval. The approval expired 10/16/21.
	The City Council approved a request for a Site Development Plan Review (SDR-76886) for a proposed three-story tall, 18,600 square-foot commercial and residential development, including 2,675 square feet of office space with Waivers of Appendix F Interim Downtown Las Vegas Area 2 Development Standards on 0.48 acres at the southeast corner of Bonneville Avenue and 8th Street. The Planning Commission and staff recommended approval. The approval expired 10/16/21.
02/18/20	A Reversionary Final Map (FMP-76989) to revert six subdivided lots to acreage on 0.48 acres at the southeast corner of Bonneville Avenue and 8th Street was recorded.
12/13/22	The Planning Commission voted to abey requests for a Rezoning (22-0592-ZON1) from R-1 (Single Family Residential) to C-1 (Limited Commercial), Special Use Permit (SUP1) for a Multi-Family Residential use and Site Development Plan Review (SDR1) for a proposed six-story, 113-unit multi-family residential development with Waivers of Appendix F Interim Downtown Las Vegas Development Standards for Area 2 to the January 10, 2023 Planning Commission meeting at the applicant's request.

<i>Related Relevant City Actions by Planning, Fire, Bldg., etc.</i>	
01/10/23	<p>The Planning Commission voted (5-0-1) to recommend APPROVAL of the following Land Use Entitlement project requests on 0.64 acres at the southeast corner of Bonneville Avenue and 8th Street (APNs 139-34-801-016 and 139-34-810-122), C-1 (Limited Commercial) and R-1 (Single Family Residential) Zones, Ward 3 (Diaz).</p> <p>22-0592-WVR1 - WAIVER - TO ALLOW A 50-FOOT WIDE LOT WHERE 100 FEET IS REQUIRED IN THE C-1 (LIMITED COMMERCIAL) ZONE ON 0.16 ACRES AT 613 SOUTH 8TH STREET [APN 139-34-810-122]</p> <p>22-0592-ZON1 - REZONING - FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) ON 0.16 ACRES AT 613 SOUTH 8TH STREET [APN 139-34-810-122]</p> <p>22-0592-SUP1 - SPECIAL USE PERMIT - FOR A PROPOSED MULTI-FAMILY RESIDENTIAL USE</p> <p>22-0592-SDR1 - SITE DEVELOPMENT PLAN REVIEW - FOR A PROPOSED SIX-STORY, 113-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT WITH WAIVERS OF APPENDIX F INTERIM DOWNTOWN LAS VEGAS DEVELOPMENT STANDARDS FOR AREA 2</p>
02/15/23	<p>The City Council voted to abey to the 04/05/23 City Council meeting the following requests on 0.64 acres at the southeast corner of Bonneville Avenue and 8th Street (APNs 139-34-801-016 and 139-34-810-122), C-1 (Limited Commercial) and R-1 (Single Family Residential) Zones, Ward 3 (Diaz).</p> <p>22-0592-WVR1 - WAIVER - TO ALLOW A 50-FOOT WIDE LOT WHERE 100 FEET IS REQUIRED IN THE C-1 (LIMITED COMMERCIAL) ZONE ON 0.16 ACRES AT 613 SOUTH 8TH STREET [APN 139-34-810-122]</p> <p>22-0592-ZON1 - REZONING - FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) ON 0.16 ACRES AT 613 SOUTH 8TH STREET [APN 139-34-810-122]</p> <p>22-0592-SUP1 - SPECIAL USE PERMIT - FOR A PROPOSED MULTI-FAMILY RESIDENTIAL USE</p> <p>22-0592-SDR1 - SITE DEVELOPMENT PLAN REVIEW - FOR A PROPOSED SIX-STORY, 113-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT WITH WAIVERS OF APPENDIX F INTERIM DOWNTOWN LAS VEGAS DEVELOPMENT STANDARDS FOR AREA 2</p>

<i>Related Relevant City Actions by Planning, Fire, Bldg., etc.</i>	
04/05/23	<p>The City Council voted to abey to the 04/19/23 City Council meeting the following requests on 0.64 acres at the southeast corner of Bonneville Avenue and 8th Street (APNs 139-34-801-016 and 139-34-810-122), C-1 (Limited Commercial) and R-1 (Single Family Residential) Zones, Ward 3 (Diaz).</p> <p>22-0592-WVR1 - WAIVER - TO ALLOW A 50-FOOT WIDE LOT WHERE 100 FEET IS REQUIRED IN THE C-1 (LIMITED COMMERCIAL) ZONE ON 0.16 ACRES AT 613 SOUTH 8TH STREET [APN 139-34-810-122]</p> <p>22-0592-ZON1 - REZONING - FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) ON 0.16 ACRES AT 613 SOUTH 8TH STREET [APN 139-34-810-122]</p> <p>22-0592-SUP1 - SPECIAL USE PERMIT - FOR A PROPOSED MULTI-FAMILY RESIDENTIAL USE</p> <p>22-0592-SDR1 - SITE DEVELOPMENT PLAN REVIEW - FOR A PROPOSED SIX-STORY, 113-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT WITH WAIVERS OF APPENDIX F INTERIM DOWNTOWN LAS VEGAS DEVELOPMENT STANDARDS FOR AREA 2</p>

<i>Most Recent Change of Ownership</i>	
07/17/15	A deed was recorded for a change in ownership on APN 139-34-801-027.
06/09/16	A deed was recorded for a change in ownership on APN 139-34-810-122.

<i>Related Building Permits/Business Licenses</i>	
03/19/20	Application (PRC20-00024) was made for a plan check review for a three-story mixed use development with multi-family residential units and office space. The review was not completed and the application expired 02/16/21 without issuance of permits.

Pre-Application Meeting	
10/10/22	A pre-application meeting was held with the applicant to discuss submittal requirements for a proposed multi-family residential development. The need for multiple waivers of Downtown Overlay District Area 2 standards and a queuing analysis was discussed.

Neighborhood Meeting	
02/07/23	<p>A neighborhood meeting was not required for the requested applications; however, a voluntary neighborhood meeting was held at 5:30 p.m. in Las Vegas City Hall Training Rooms #3 and #4, 495 South Main Street, to discuss the project at the request of the Planning Commission. Three members of the ownership and development team, 20 members of the public, one Ward 3 staff member and one staff member of the Department of Community Development were in attendance.</p> <p>The majority in attendance were not in favor of the project as proposed (six stories, 113 units, 73 onsite parking spaces). Neighbor concerns with responses from the applicant included the following:</p> <ul style="list-style-type: none"> • <i>Timeline for completion of the proposed building.</i> The applicant expects to pull permits by the end of 2023; construction is expected to take 13-15 months to complete. • <i>Rents.</i> One bedroom units are expected to rent for \$1400-\$1500 per month. • <i>Screening of mechanical units.</i> Mechanical units will be located on the roof and screened by a parapet. • <i>Reduction of onsite parking.</i> The development will provide 43% of the required number of spaces and a Waiver has been requested. Additional parking was added in the early planning stages. Applicant has determined this is a sufficient amount to accommodate residents and guests. • <i>Majority concerned about neighborhood onsite and on-street parking being used by residents and guests.</i> Based on past projects, only approximately 50% of tenants will have vehicles, and tenants will be limited to designated onsite spaces through their leases.

Neighborhood Meeting	
02/07/23	<ul style="list-style-type: none"> • <i>Vehicular access during construction.</i> Full access to Bonneville, 8th and the alley will be provided during construction. • <i>Mitigation of possible noise and smells from the proposed dog run area.</i> The turf to be used for the dog run will be treated with a chemical that dissipates smells. Peak use of the dog run will be after working hours, so noise should not be a nuisance to nearby commercial properties during the day. • <i>Security of the property.</i> The property will be surveilled by 12 cameras at all key access points. • <i>Most feel that the proposed building is too tall compared to this neighborhood and introduction of this building would begin to change the special character of the area.</i> Could the building possibly be lowered or the parking be placed underground? Subterranean parking is very expensive due to costs of removing caliche from the ground. In addition, the land in this area is expensive, and greater density is needed for the project to be successful. • <i>City's master plan calls for mixed-use development in this area. Why are commercial uses not proposed on this site?</i> Applicant conducted a feasibility study, which did not support commercial uses at the present time. However, this could change in the future. • <i>Impact of development on Las Vegas Academy drop-off and pick-up traffic.</i> Applicant stated that the impact should be very low, as onsite parking will be provided for tenants. • <i>Renderings provided seem to misrepresent the area.</i> For example, the alley is not as wide as shown. The renderings are conceptual and not fully detailed.

Field Check	
11/07/22	The site consists of vacant land and a single-family dwelling. The undeveloped area is enclosed by a temporary chain link fence and was relatively free of trash and debris, although there were scattered areas of weeds.

Staff Report Page Fifteen
 April 19, 2023 - City Council Meeting

Details of Application Request	
Site Area	
Net Acres	0.64

Surrounding Property	Existing Land Use Per Title 19.12	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Undeveloped	MXU (Mixed Use)	C-1 (Limited Commercial)
	Single Family, Detached		R-1 (Single Family Residential)
North	Office, Other Than Listed	MXU (Mixed Use)	P-O (Professional Office and Parking)
South	Office, Other Than Listed	MXU (Mixed Use)	P-O (Professional Office and Parking)
East	Office, Other Than Listed	MXU (Mixed Use)	P-O (Professional Office and Parking)
West	Office, Other Than Listed	MXU (Mixed Use)	P-O (Professional Office and Parking)
	Single Family, Detached		R-1 (Single Family Residential)

Master and Neighborhood Plan Areas	Compliance
Las Vegas 2050 Master Plan Area: Downtown Las Vegas	Y
Vision 2045 Downtown Las Vegas Master Plan (Founders District)	Y
Las Vegas High School Neighborhood Plan	Y
Special Area and Overlay Districts	Compliance
DTLV-O (Downtown Las Vegas Overlay) District – Area 2	N
LW-O (Live/Work Overlay) District	Y

Other Plans or Special Requirements	Compliance
Trails	N/A
Las Vegas Redevelopment Plan Area – Area 1	Y
Interlocal Agreement	N/A
Project of Significant Impact (Development Impact Notification Assessment)	N/A
Project of Regional Significance	N/A

DEVELOPMENT STANDARDS

Pursuant to Title 19.08, the following standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	28,000 SF	N/A
Min. Lot Width	100 Feet	50 Feet	N*
Min. Setbacks			
• Front (Bonneville)	10 Feet	0 Feet	N**
• Side	10 Feet	10 Feet	Y
• Corner (8th)	10 Feet	0 Feet	N**
• Rear	20 Feet	4 Feet	N**
Max. Lot Coverage	50 %	86 %	N**
Max. Building Height	Limited by residential adjacency	71 Feet	N**
Trash Enclosure	Screened, Gated, w/ a Roof or Trellis	Screened, gated within parking garage	Y
Mech. Equipment	Screened	Screened within parking garage	Y

*A Waiver of Title 19.08.070 is required to allow a lot width of 50 feet prior to rezoning APN 139-34-810-122.

**A Waiver of Title 19 is requested for relief from this standard. See Waiver table below.

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	213 Feet	80 Feet	N**
Adjacent development matching setback	20 Feet	0 Feet	N**
Trash Enclosure	50 Feet	220 Feet	Y

Staff Report Page Seventeen
April 19, 2023 - City Council Meeting

Existing Zoning	Permitted Density	Units Allowed
C-1 (Limited Commercial)	N/A	N/A
R-1 (Single Family Residential)	6.70 du/ac	1
Proposed Zoning	Permitted Density	Units Allowed
C-1 (Limited Commercial)	N/A	N/A
Existing General Plan	Permitted Density	Units Allowed
MXU (Mixed Use)	Limited only by residential adjacency	Unlimited

Pursuant to Title 19.08, the following standards apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Buffer Trees:				
• North	1 Tree / 20 Linear Feet	5 Trees	0 Trees	N*
• South	1 Tree / 20 Linear Feet	6 Trees	8 Trees	Y
• East	N/A	N/A	0 Trees	N/A
• West	1 Tree / 20 Linear Feet	5 Trees	0 Trees	N*
TOTAL PERIMETER TREES		24 Trees	8 Trees	N*
Parking Area Trees	1 Tree / 6 Uncovered Spaces, plus 1 tree at the end of each row of spaces	N/A	N/A (all spaces covered)	N/A
LANDSCAPE BUFFER WIDTHS				
Min. Zone Width				
• North	15 Feet		0-5 Feet	N**
• South	8 Feet		0 Feet	N**
• East	N/A		0 Feet	N/A
• West	15 Feet		0-4 Feet	N**
Wall Height	6 to 8 Feet Adjacent to Residential		8-foot CMU wall along south PL	N/A

*An Exception of Title 19 is not required for relief from this standard, as the applicant is requesting zero-foot perimeter buffers.

**A Waiver of Title 19 is requested for relief from this standard. See Waiver table below.

Street Name	Functional Classification of Street(s)	Governing Document	Actual Street Width (Feet)	Compliance with Street Section
Bonneville Ave	Major Collector	Master Plan of Streets and Highways Map	68	N*
8th St	Major Collector	Master Plan of Streets and Highways Map	60	N*

*Except for a radius at the corner of the intersection, no new dedications of public right-of-way are required.

Pursuant to Title 19.08 and 19.12, the following standards apply:

Parking Requirement - Downtown (Areas 1-3)							
Use	Gross Floor Area or Number of Units	Required		Provided		Compliance	
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Multi-Family Residential:							
1 bedroom/studio/micro	101 units	1.25 spaces per unit	127				
2 bedrooms	12 units	1.75 spaces per unit	21				
Guest Parking	113 units	1 space per 6 units	19				
TOTAL SPACES REQUIRED (unweighted)			167				
TOTAL SPACES REQUIRED (weighted requirement, see below)			67-117		114		N*
Regular and Handicap Spaces Required			64-112	3-5	110	4	N*
Downtown Form Based Code Parking Standards - Title 19.09.100.G							
Parking Standards High Load – Zone 3			Between 40% and 70%		68%		Y

*A Waiver of Title 19 is requested for relief from this standard. See Waiver table below.

Staff Report Page Nineteen
April 19, 2023 - City Council Meeting

Projects located within the Downtown Las Vegas Overlay District may be evaluated based on a weighted parking requirement as detailed in Title 19.09.100. This table compares the Title 19.12 parking requirements for this project with the weighted requirement in Title 19.09, but is not determinative of code conformance. Projects located within the Downtown Las Vegas Overlay (Area 1) are not subject to the automatic application of parking requirements. However, the above table should be used to illustrate the requirements of an analogous project in another location in the City.

<i>Waivers</i>		
<i>Requirement</i>	<i>Request</i>	<i>Staff Recommendation</i>
10-foot front yard building setback	To allow a zero-foot front yard setback	Denial
10-foot corner side yard building setback	To allow a zero-foot corner side yard setback	Denial
20-foot rear yard setback	To allow a 4-foot rear yard setback	Denial
Max. 50% lot coverage	To allow lot coverage of 86%	Denial
3:1 Residential adjacency proximity slope setback from protected property (min. 213 feet), and 20-foot setback from west property line matching required setback of protected property	To allow a proximity slope setback of 80 feet and matching setback of zero feet	Denial
15-foot perimeter landscape buffers adjacent to right-of-way	To allow zero-foot perimeter landscape buffers along the north and west property lines	Denial
8-foot perimeter landscape buffers adjacent to interior lot lines	To allow a zero-foot perimeter landscape buffer along the south property line	Denial
167 parking spaces based on Title 19.12 requirements	To allow 114 parking spaces	Denial



① Amenity Deck Corner 3D



② Corner Entrance 3D

REVISIONS

MARK	DATE	DESCRIPTION

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CONTRACTOR	
WEST 4th and BONNEVILLE APTS. SUBMITTAL FOR THE CONTRACTOR AS A DESIGN-BUILD GENERAL CONTRACTOR 607 S. 8th Street Las Vegas, NV 89101 (702) 798-3977 (702) 798-3908 www.breslinbuilders.com	PROJECT NO.: 22-0592 DATE: 04/13/2023 DRAWN BY: TMM CHECKED BY: TMM

Date:	4/13/23
Project No.:	1822A
Drafted By:	TMM
Checked By:	TMM

BRESLIN BUILDERS DESIGN-BUILD GENERAL CONTRACTOR 4710 WEST POST ROAD, SUITE 140 LAS VEGAS, NEVADA 89118 (702) 798-3977 FAX (702) 798-3908 DESIGN AND CONSTRUCTION LICENSED GENERAL CONTRACTOR LICENSE #0018103 www.BreslinBuilders.com

Project:
**8th and Bonneville
 Apartments**

607 S. 8th Street
 Las Vegas, Nevada 89101

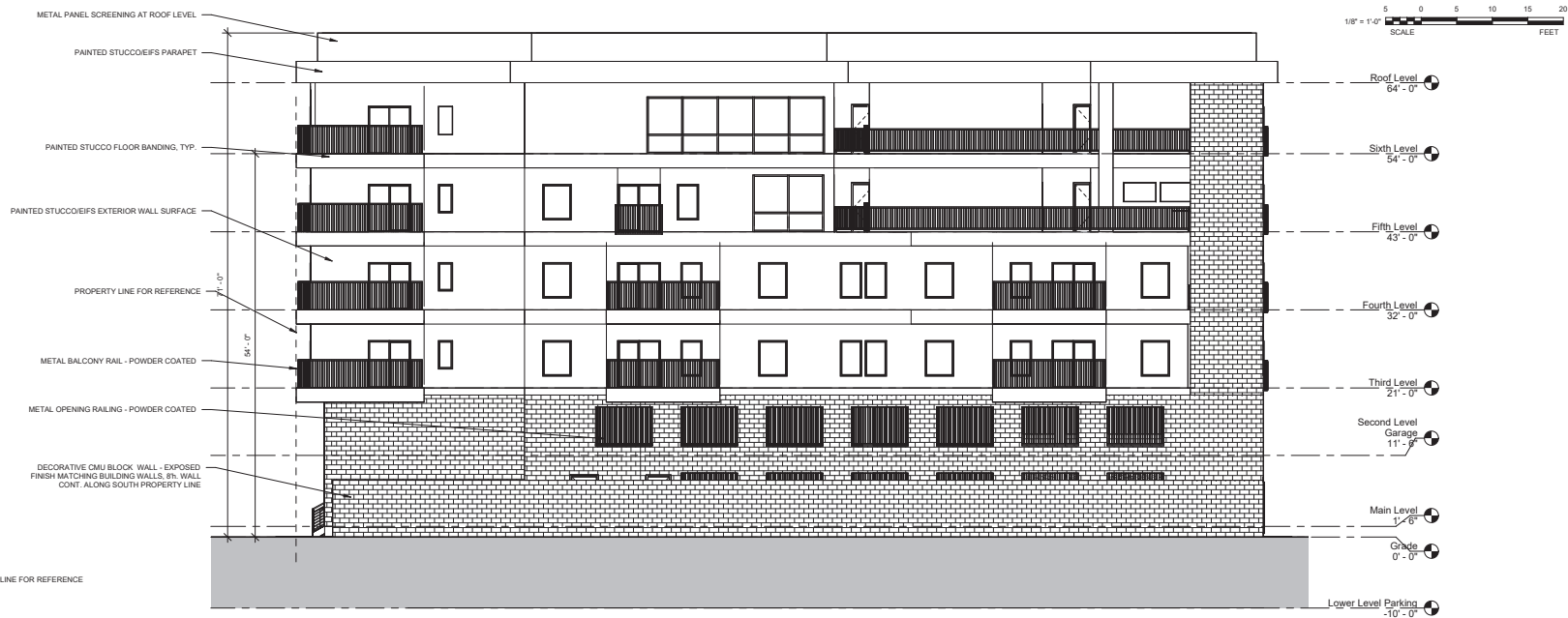
Sheet Title:

3D Massing

22-0592
 04/13/2023

Sheet No.:

A001



② **South Elevation**
1/8" = 1'-0"



① **West Elevation**
1/8" = 1'-0"

[illegible]

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<h1>CONTRACTOR</h1>	
THESE PLANS ARE PREPARED AND SUBMITTED BY THE CONTRACTOR AS A REPRESENTATIVE OF THE ARCHITECT FOR THE PROJECT OF TOWN OF MARIETTA PROJECT NO. 2018-16-03 CONTRACT NO. 2018-16-03 DATE OF PREPARATION OF THESE PLANS: 01/11/2018 PROJECT LOCATION: 10000 W. 10TH AVE. S. W. MARIETTA, GA 30067 PROJECT NO. 2018-16-03 CONTRACT NO. 2018-16-03 DATE OF PREPARATION OF THESE PLANS: 01/11/2018 PROJECT LOCATION: 10000 W. 10TH AVE. S. W. MARIETTA, GA 30067	
CONTRACTOR'S NAME 2018-16-03 CONTRACT NO. 2018-16-03 DATE OF PREPARATION OF THESE PLANS: 01/11/2018 PROJECT LOCATION: 10000 W. 10TH AVE. S. W. MARIETTA, GA 30067	CONTRACTOR'S SIGNATURE DATE PROJECT PREPARED BY DATE

Date:
4/12/23

Project No.:
1822A

Drafted By:
TMM

Checked By:
TMM

BRESLIN
BUILDERS
DESIGN-BUILD GENERAL CONTRACTOR

4710 WEST POST ROAD, SUITE 140
LAS VEGAS, NEVADA 89118
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DESIGN AND CONSTRUCTION
LICENSED GENERAL CONTRACTOR

LICENSE #0018160

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Project:
**8th and Bonneville
Apartments**

607 S. 8th Street
Las Vegas, Nevada 89101

Sheet Title:
Elevations

1

Sheet No:

A200



② East Elevation
1/8" = 1'-0"



① North Elevation
1/8" = 1'-0"

REVISIONS

MARK	DATE	DESCRIPTION

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CONTRACTOR	DATE	DESCRIPTION

Date:	4/12/23
Project No.:	1822A
Drafted By:	TMM
Checked By:	TMM

BRESLIN BUILDERS
DESIGN-BUILD GENERAL CONTRACTOR
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DESIGN AND CONSTRUCTION
LICENSED GENERAL CONTRACTOR
LICENSE #009163
www.BreslinBuilders.com

Project:
**8th and Bonneville
Apartments**

607 S. 8th Street
Las Vegas, Nevada 89101

Sheet Title:

Elevations

Sheet No.:

A201

22-0592
04/13/2023

1 Landscape Plan

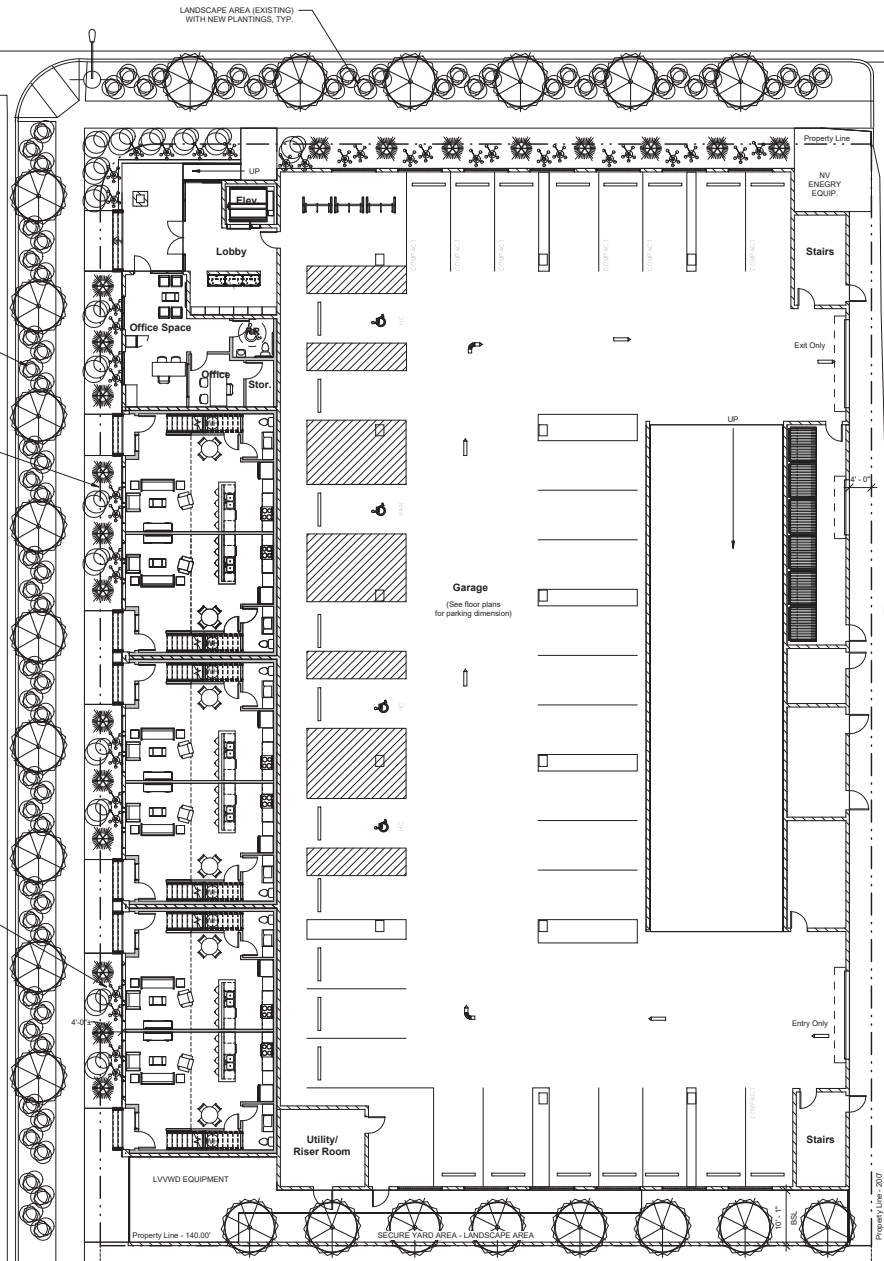
3/22' = 1"=0'

LANDSCAPE AREA AT BASE OF BUILDING, TYP. BETWEEN BUILDING AND EXISTING SIDEWALK.

PROPERTY LINE, TYP.

LANDSCAPE AREA (EXISTING) WITH NEW PLANTINGS, TYP.

LANDSCAPE AREA (EXISTING) WITH NEW PLANTINGS, TYP.



LANDSCAPE LEGEND:

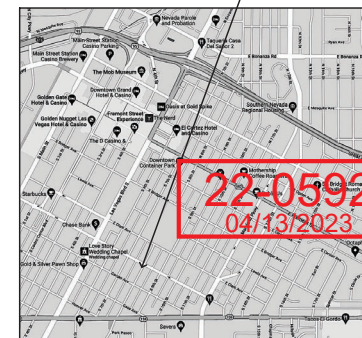
	Chinese Pistache	Pistacia Chinsensis	36" Box
	Deer Grass	Muhlenbergia rigens	5 Gallon
	Lantana	Lantana montevidensis	5 Gallon
	Trailing Rosemary	Rosmarinus officialis	5 Gallon
	Heavenly Bamboo	Nandina domestica	5 Gallon

LANDSCAPE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
2. THE LANDSCAPE CONTRACTOR SHALL APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION. PLANT MATERIAL SHALL HAVE IDENTIFICATION TAGS ON AT LEAST 10% OF TOTAL QUANTITY OF EACH SPECIES. EACH TAG SHALL SHOW THE GENUS, SPECIES AND VARIETY, ETC. THE LANDSCAPE CONTRACTOR SHALL PROVIDE MATCHING SIZES AND FORMS OF LIKE SHRUB SPECIES AS SHOWN ON DRAWINGS.
3. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO DESIGN/BUILD THE IRRIGATION SYSTEM IN ACCORDANCE WITH LOCAL CODES AND ACCEPTABLE INDUSTRY STANDARDS.
4. DECOMPOSED GRANITE USED ON THIS PROJECT SHALL BE 1/4" MINUS. COLOR SHALL BE SELECTED BY THE DESIGNER/OWNER AND SHALL BE A MINIMUM OF 2" IN DEPTH TYPICAL IN ALL PLANTING BEDS. DECOMPOSED GRANITE SHALL CONTAIN 40% FINES AND 60% AGGREGATE. THE LANDSCAPE CONTRACTOR SHALL RECEIVE VERIFICATION OF MIX FROM THE SUPPLIER AND PRESENT VERIFICATION TO THE DESIGNER/OWNER PRIOR TO ANY CONSTRUCTION.
5. LANDSCAPE BOULDERS COLOR SHALL MATCH OR COMPLEMENT ROCK GROUND COVER. ALL BOULDERS TO BE GRANITE UNLESS NOTED OTHERWISE. BOULDERS SHALL BE ROUND IN SHAPE AND SHALL BE 2' TO 4' IN DIAMETER, SIZED ACCORDING TO THE FOLLOWING PERCENTAGES:
40% 4' LARGEST DIAMETER
40% 3' LARGEST DIAMETER
20% 2' LARGEST DIAMETER
6. THE BOULDER SHALL BE SET BY THE LANDSCAPE CONTRACTOR WITH NO MORE 1/4 OF ROCK DIAMETER SET INTO FINISHED GRADE.
7. ALL LANDSCAPING SHALL BE INSTALLED PER CITY OF LAS VEGAS TITLE 19 ZONING CODES AND OTHER APPLICABLE CODES.
8. EACH PLANT SHALL BE PROVIDED IT'S OWN DRIP IRRIGATION LINE. MAIN LINES SHALL BE A MINIMUM OF 1" AND ISOLATION VALVES SHALL BE INCORPORATED AT DIFFERENT PLANTING AREAS AND PLANTING TYPES.
9. ALL AREAS SHALL RECEIVE DECOMPOSED GRANITE AS COVERING UNLESS NOTED OTHERWISE.
10. ALL LANDSCAPING SHALL BE ON AN AUTOMATIC WATERING SYSTEM WITH AN ELECTRIC TIME CLOCK. THE TIME CLOCK SHALL BE PLACED WITHIN THE BUILDING.
11. THE LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL SLEEVES REQUIRED UNDER PAVEMENT AND SIDEWALK AREAS. PROVIDE A MINIMUM OF (3) PVC CONDUITS WITH (1) 1" MINIMUM AND (2) 2" MINIMUM. ALL LANDSCAPE AREAS SHALL BE INTERCONNECTED.
12. ALL TREES PLANTED ALONG RIGHT-OF-WAY SHALL BE PLANTED AT 3'-0" MINIMUM BACK OF SIDEWALK. TREES WITHIN 5' OF SIDEWALKS OR WALLS SHALL BE PLANTED WITH A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.
13. ANY REQUIRED PLANT MATERIAL THAT DOES NOT SURVIVE, OR SUSTAINS SEVERE DAMAGE, SHALL BE REPLACED WITHIN NINETY (90) DAYS.
14. ALL EXISTING LANDSCAPE AREAS SHALL BE DE-WEEDED AND SHALL HAVE THE TOP 6" OF SOIL REPLACED WITH CLEAN WEED FREE MATERIAL. ALL EXISTING LANDSCAPE MATERIAL SHALL BE REMOVED AND DISPOSED OF.

3/22' = 1"=0'
SCALE
0 5 10 15 20 25 30
FEET

PROJECT LOCATION



REVISIONS

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CONTRACTOR

Project No.: 1822A
Contractor: TMM
Date: 4/12/23
Project Name: 8th and Bonneville Apartments
Contractor Address: 4710 West Post Road, Suite 140, Las Vegas, NV 89118
Contractor Phone: (702) 798-3977
Contractor Fax: (702) 798-3908
Contractor Email: info@breslinbuilders.com
Contractor Website: www.breslinbuilders.com

BRESLIN BUILDERS

DESIGN-BUILD GENERAL CONTRACTOR

4710 WEST POST ROAD, SUITE 140
LAS VEGAS, NEVADA 89118
(702) 798-3977
FAX (702) 798-3908

DESIGN AND CONSTRUCTION LICENSED GENERAL CONTRACTOR

12/20/2012 #000000000

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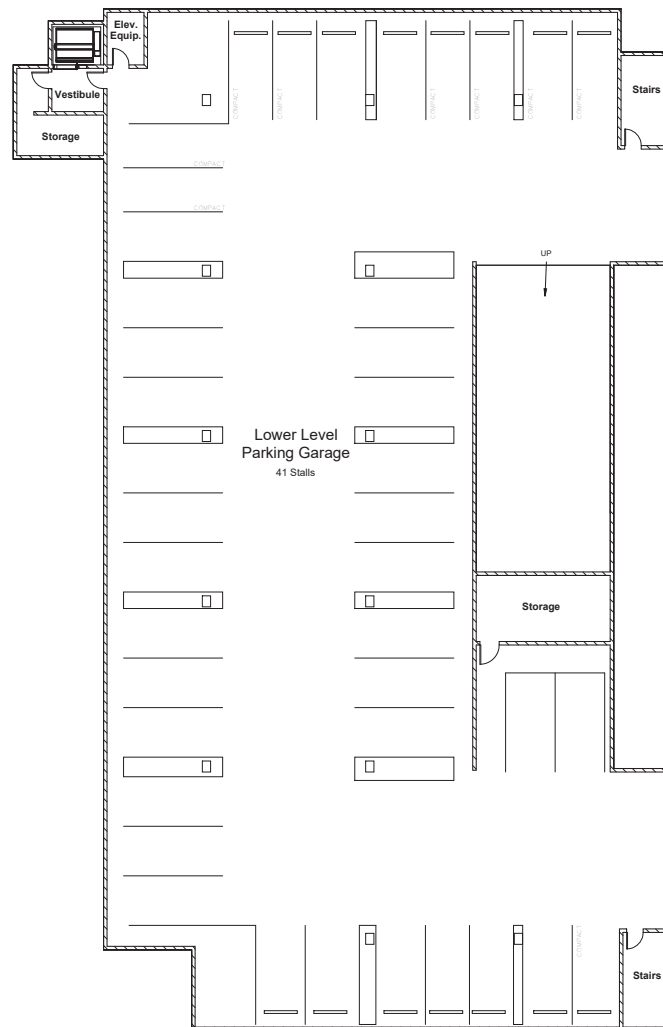
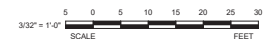
Project:
8th and Bonneville
Apartments

607 S. 8th Street
Las Vegas, Nevada 89101

Sheet Title:
Landscape Plan

Sheet No:

A011



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CONTRACTOR

Project Name: 8th and Bonneville Apartments
Contractor: Breslin Builders, Inc.
Contract No.: 22-0592
Contract Start Date: 04/13/2023
Contract End Date: 04/13/2023
Contractor Address: 4710 West Post Road, Suite 140, Las Vegas, NV 89118
Contractor Phone: (702) 798-3977
Contractor Fax: (702) 798-3908
Contractor Email: info@breslinbuilders.com
Contractor Website: www.breslinbuilders.com

Date: 4/13/23
Project No.: 1822A
Drafted By: TMM
Checked By: TMM

BRESLIN BUILDERS

DESIGN-BUILD GENERAL CONTRACTOR
4710 WEST POST ROAD, SUITE 140
LAS VEGAS, NEVADA 89118
(702) 798-3977
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DESIGN AND CONSTRUCTION
LICENSED GENERAL CONTRACTOR
LICENSE #4018103

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Project:
**8th and Bonneville
Apartments**

607 S. 8th Street
Las Vegas, Nevada 89101

Sheet Title:

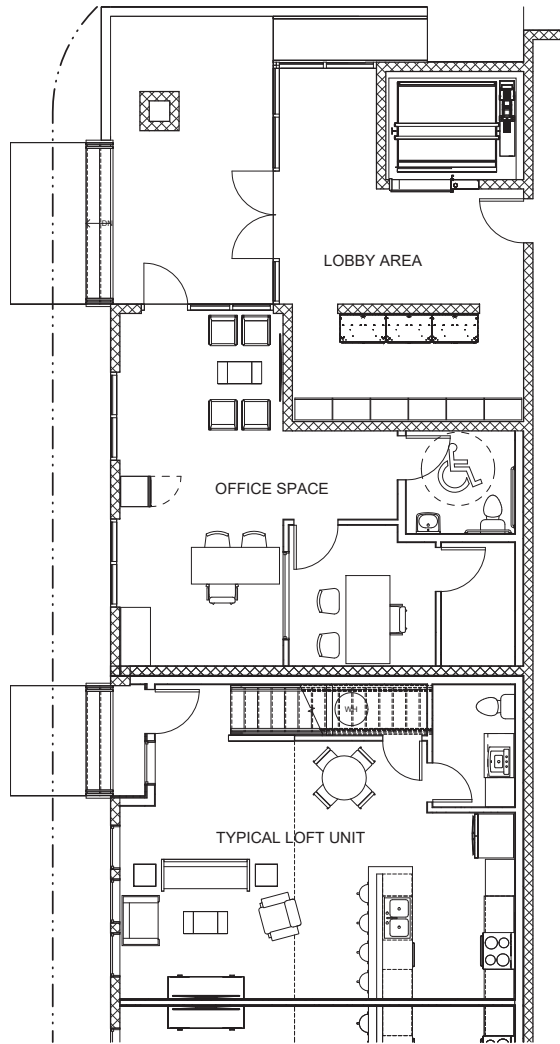
**Lower Level
Garage**

Sheet No:

A099

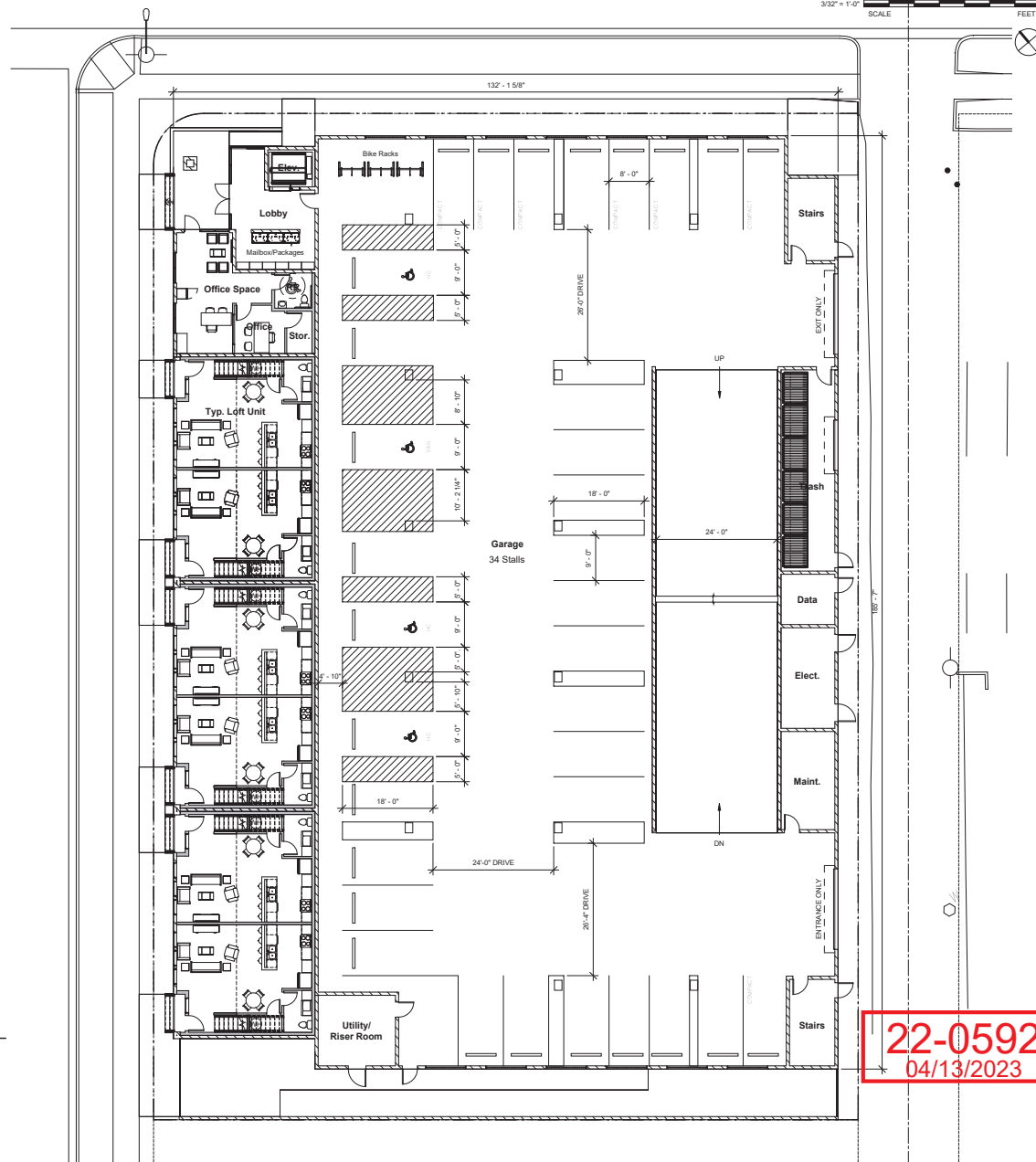
② Lower Level Garage

3/32" = 1'-0"



2 Enlarged Office and Loft Plan
1/4" = 1'-0"

1 Main Level Floor Plan
3/32" = 1'-0"



22-0592
04/13/2023

REVISIONS		
MARK	DATE	DESCRIPTION

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Drafted By	TMM
Checked By	TMM
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Checked By	TMM

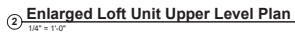
BRESLIN BUILDERS
DESIGN-BUILD GENERAL CONTRACTOR
4710 WEST POST ROAD, SUITE 140
LAS VEGAS, NEVADA 89118
(702) 798-3977
FAX (702) 798-3908
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LICENSED GENERAL CONTRACTOR
LICENSE #00000000
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Project:
8th and Bonneville Apartments
607 S. 8th Street
Las Vegas, Nevada 89101

Sheet Title:
Main Level Floor Plan

Sheet No:

A100



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Date:
4/12/23

Project No.:
1822A

Drafted By:
TMM

Checked By:
TMM

Project:
**8th and Bonneville
Apartments**

607 S. 8th Street
Las Vegas, Nevada 89101

Sheet Title:

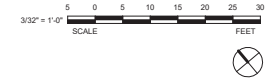
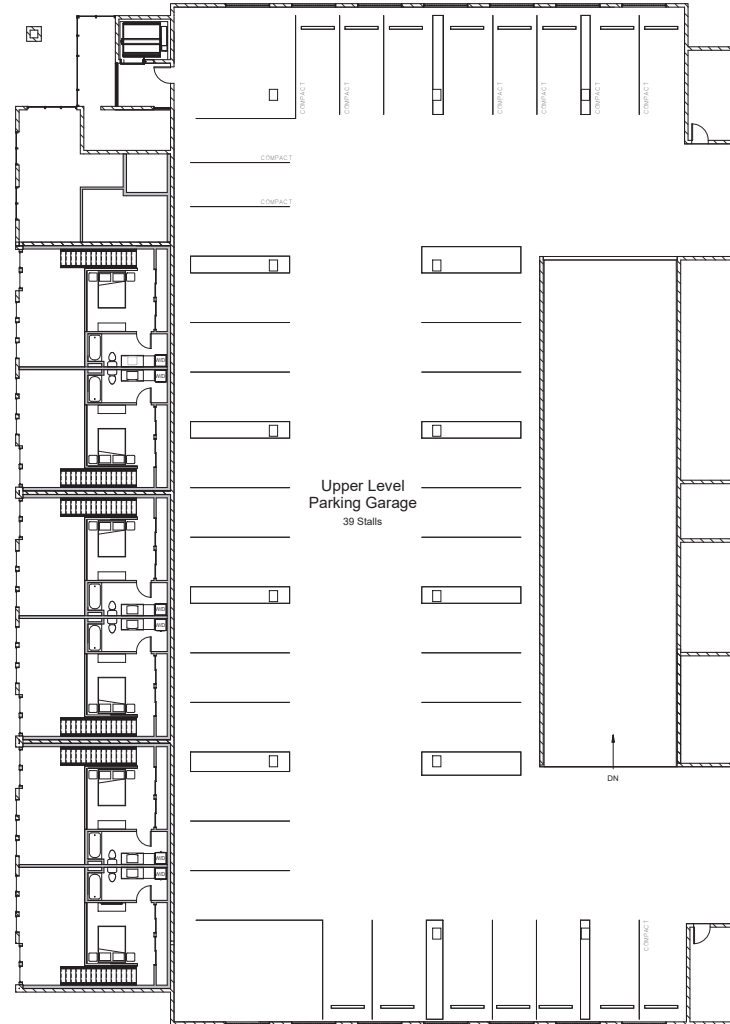
Main Level Mezz Plan

Sheet No:

A101

22-0592
04/13/2023

1 Second Level Garage Floor Plan
3/32" = 1'-0"



REVISIONS		
MARK	DATE	DESCRIPTION

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Contractor Email: info@breslinbuilders.com	
Contractor Website: www.breslinbuilders.com	
Contractor License: 40018103	
Contractor Signature: [Signature]	
Contractor Title: [Title]	

Date:	4/12/23
Project No.:	1822A
Drafted By:	TMM
Checked By:	TMM

BRESLIN BUILDERS

DESIGN-BUILD GENERAL CONTRACTOR

4710 WEST POST ROAD, SUITE 140
LAS VEGAS, NEVADA 89118
(702) 798-3977
FAX (702) 798-3908

DESIGN AND CONSTRUCTION
LICENSED GENERAL CONTRACTOR

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Project:
**8th and Bonneville
Apartments**

607 S. 8th Street
Las Vegas, Nevada 89101

Sheet Title:
**Garage Second
Level**

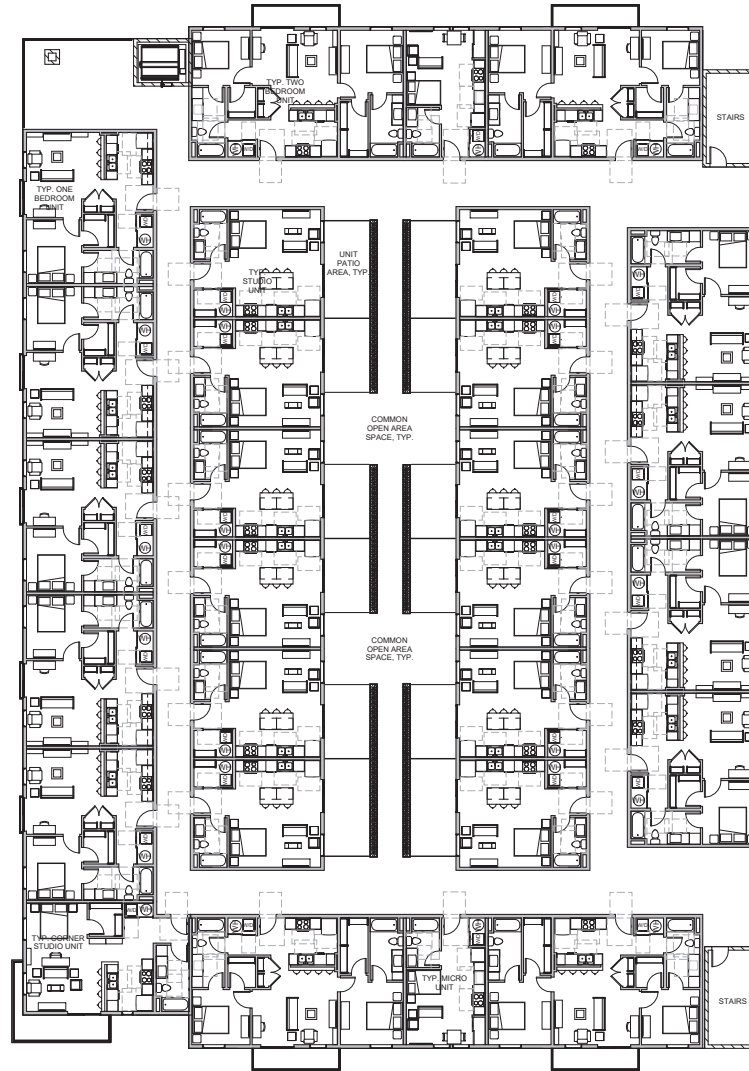
Sheet No.:

A102

22-0592
04/13/2023

1 Third Level Floor Plan
3/32" = 1'-0"

3/32" = 1'-0"



3/32" = 1'-0"
SCALE
0 5 10 15 20 25 30
FEET



REVISIONS

MARK	DATE	DESCRIPTION

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CONTRACTOR

Project No. 1822A
Contractor Name
Contractor Address
Contractor Phone
Contractor Email
Contractor Website
Contractor License
Contractor Insurance
Contractor Bond
Contractor Signature
Contractor Stamp

Date:

4/12/23

Project No.:

1822A

Drafted By:

TMM

Checked By:

TMM

BRESLIN BUILDERS

DESIGN BUILD GENERAL CONTRACTOR

4710 WEST POST ROAD, SUITE 140

LAS VEGAS, NEVADA 89118

(702) 798-3977

FAX (702) 798-3908

DESIGN AND CONSTRUCTION LICENSED GENERAL CONTRACTOR

LICENSE #0018100

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Project:

8th and Bonneville

Apartments

607 S. 8th Street

Las Vegas, Nevada 89101

Sheet Title:

Third Level Floor

Plan

Sheet No.:

A103

22-0592
04/13/2023

① Fourth Level Floor Plan

3/32" = 1'-0"



3/32" = 1'-0"
SCALE



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4/12/23

Project No.:

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Drafted By:

TMM

Checked By:

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8th and Bonneville

Apartments

607 S. 8th Street

Las Vegas, Nevada 89101

Sheet Title:

Fourth Level Floor

Plan

Sheet No.:

A104

22-0592
04/13/2023

1 Fifth Level Floor Plan
3/32" = 1'-0"



3/32" = 1'-0"
SCALE
FEET



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Contractor License
Contractor Insurance
Contractor Bond
Contractor Signature
Contractor Stamp

Date: 4/12/23
Project No.: 1822A
Drafted By: TMM
Checked By: TMM

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8th and Bonneville
Apartments

607 S. 8th Street
Las Vegas, Nevada 89101

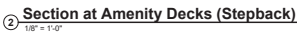
Sheet Title:

Fifth Level Floor
Plan

Sheet No:

A105

22-0592
04/13/2023


$$\frac{1}{3/32''} = 1'0''$$


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A106



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CONTRACTOR

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 Project Address: 607 S. 8th Street, Las Vegas, NV 89101
 Project Phone: (702) 798-3977
 Project Fax: (702) 798-3908
 Project Email: info@breslinbuilders.com
 Project Website: www.breslinbuilders.com
 Project Manager: [Blank]
 Project Engineer: [Blank]
 Project Architect: [Blank]
 Project Designer: [Blank]
 Project Draftsman: [Blank]
 Project Checker: [Blank]
 Project Approver: [Blank]

Date:

4/12/23

Project No.:

1822A

Drafted By:

TMM

Checked By:

TMM

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Project:
**8th and Bonneville
 Apartments**

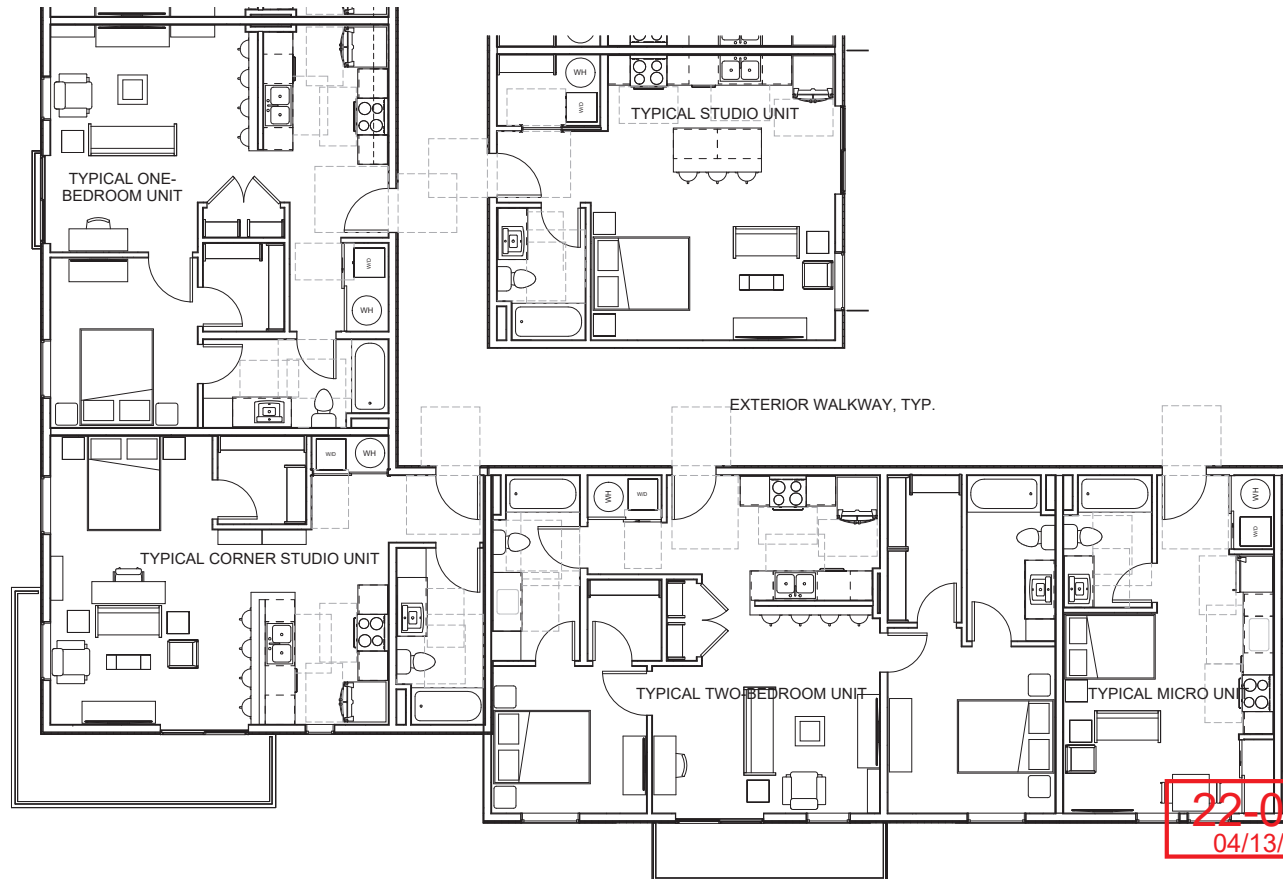
607 S. 8th Street
 Las Vegas, Nevada 89101

Sheet Title:

**Enlarged Unit
 Plans**

Sheet No.:

A110



22-0592
04/13/2023

① **Enlarged Unit Plans**
 1/4" = 1'-0"



22-0592
04/13/2023



Updated April 12, 2022

City of Las Vegas Planning Department
495 S. Main St.
Las Vegas, NV 89101

Re: 8th and Bonneville Apartments
22-0592 - Justification Letter

To Whom It May Concern:

On behalf of the owners, we respectfully request approval for a new 113-unit “market-rate” multi-family apartment project to be constructed on the southeast corner of Eighth Street and Bonneville Avenue in downtown Las Vegas, 607 S. 8th Street. The project will be located on two parcels, APN 139-34-801-016 and 139-34-810-122 (the parcels will be combined via a required mapping process).

The existing northern parcel is currently zoned C-1. The southern parcel is zoned R-1. A **Zone Change** for the southern parcel will be required (R-1 to C-1 matching the northern parcel), as will a **Special Use Permit** for the project due to the resulting C-1 zoning. Multi-family is a conditional use in C-1 with mixed-use (Title 19.12.070), however, this project is proposing only multi-family uses (no retail due to the location in the downtown area). Note that a portion of the main level area will be used as an office, main building entrance, and parcel area, which will provide a commercial aspect and non-residential facade at the street corner. The balance of the street level façade will consist of street-accessed residential loft units and secure parking garage facades. A standard **Site Development Plan Review** is also being requested per Title 19 requirements.

The project will have a two-story above-grade-level podium level of Type I construction with four levels of Type V construction atop the podium levels. The ground and second levels consist of enclosed secure garage areas, two-story loft units, an office area, and a lobby entrance. Other utilities and support rooms are included on the main level. To expand the parking needs for the project we have included a lower level (below grade) parking level. The upper four residential levels will have a variety of market-rate unit types including a few micros, numerous studio and one-bedroom units, and several two-bedroom units. The fourth and fifth levels also have various amenities, including a fitness center, indoor gathering area, outdoor gathering decks, and various seating areas. The façade and deck areas on the south side have

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been stepped to provide a varied look consisting of stepped-back open deck uses, etc., taking advantage of the spectacular views to the south including The Strat, the Las Vegas Strip, and surrounding mountains. We do not anticipate the project to be a mid-rise structure with the highest occupiable floor under the 55-foot height requirement from the grade level.

The building exterior finishes will be a combination of exposed decorative CMU block (main level, stairs, and elevator shaft), painted stucco surfaces (with an assorted color palette), metal railings (with both balconies and Juliet), and decorative metal rooftop mechanical screening. A mixture of color surfaces and stepped and recessed reveals will add interest and articulation to the façade. Other materials include an aluminum storefront system at the main entrance and office areas and at the amenity areas.

A total of 114 parking stalls have been provided within the secure multi-level parking garage, including the recently added lower-level parking garage area. As this project is within the downtown area, parking requirements are not automatically applied per Title 19 allowances. Per standard Title 19.12.070 requirements, a total of 167 stalls (166.08 stalls) would be required (68.26% provided). Off-site parking is available immediately in front of our project (an additional 12-13 stalls) with other stalls in the surrounding area. The site is adjacent to a major RTC bus line. With the increase of ride-sharing options, public transportation use, remote and work-from-home options, as well as other forms of transportation including potential participation in the RTCs Bike Share program, this reduction in parking will not adversely affect the operations of the building, the tenants, or the area. Further, this reduction is consistent with other multi-family projects approved in the downtown area.

As the parcels are (or are anticipated to be) zoned C-1 (19.08.070 C-1), **several waivers** are requested to maximize the development opportunities and significant investment providing needed downtown residential opportunities. Consistent with other similar multi-family projects approved and constructed in the downtown area, we request a waiver for building setbacks (4'-6" on the north frontage where 10'-0" is required, 4'-0" on the west frontage where 10'-0" is required, and 4'-0" where 20'-0" is required on the northern alley frontage – note, the southern setback exceeds Title 19 requirements at 10'-1"), lot coverage adjustment (85.5% where 50% is allowed), and residential adjacency building height due to being adjacent to two remaining R-1 zoned parcels (a vast majority of the surrounding parcels have already been rezoned to C-1, P-O, or P-R).

Other than the 4'-0" setback at the alley area (which will have an asphalt surface provided and used to help increase the improved driving area of the alley for better access to the garage entrance and exit), the other setback areas will still have ample landscaping provided between the back of sidewalk and the building footprint (approximately 7'-0" of landscape area). This landscape area is in addition to the approximate 5'-0" wide landscape zone between the back of curb and the sidewalk along the street frontage, which has a variety of ground covering, shrubs, and trees provided. The landscape areas provided will exceed Title 19 requirements.

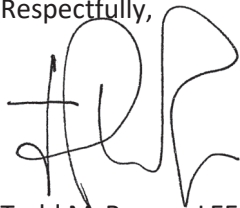
At the request of the neighbor to our immediate south, we have eliminated the “Pet Yard” area once anticipated along a small portion of the south property line. In addition to exceeding Title 19 requirements for a buffer and setback on the southern property line, as well as the added 36” minimum box shade buffer trees (added during the Planning Commission approval), we have increased the decorative solid CMU block wall along the southern property line from 6’-0” to 8’-0”, further helping to buffer the commercial office use to the south of our project.

A waiver allowing the southern parcel to be rezoned C-1 is required, as the current width is less than 100 feet as required by Title 19 (50 feet is provided). This parcel will be combined via an approved mapping process with the northern parcel to create one large parcel for the entire project.

We find that the proposed project is consistent with the existing and proposed uses in the surrounding area and is consistent with the current C-1 zoning in place (or is being requested). Traffic will not be adversely impacted as the surrounding streets can more than meet the needs of this project. The proposed project will not adversely affect the surrounding uses (generally existing commercial uses) and will provide a variety of new “market-rate” multi-family units (micro, studio, one-bedroom, and two-bedroom) greatly needed within the downtown area. This project, as well as other similar multi-family residential projects, will help further the City’s desire for high-density residential projects within the downtown area, as well as per their various Master Plans in place.

Should additional information be needed, or other questions arise, please feel free to contact me at (702) 798-3977, mobile at (702) 234-5159, or tmcbrayer@breslinbuilders.com.

Respectfully,

A handwritten signature in black ink, appearing to read 'T. McBrayer', with a stylized, flowing script.

Todd McBrayer, LEED AP
Preconstruction | Design | PM

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